

**CITY OF PALM BEACH GARDENS
PLANNING, ZONING, AND APPEALS BOARD
Agenda Cover Memorandum**

Meeting Date: March 8, 2016
Petition: PUDA-15-11-000061

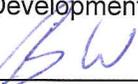
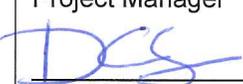
Subject/Agenda Item:

PUDA-15-11-000061 – Gardens Corporate Center – Request for a PUD Amendment to allow two professional office buildings and a parking garage.

Public Hearing & Recommendation to City Council: A request from Gardens Corporate Center, LLC for approval of an amendment to the Medical Mall Planned Unit Development (PUD), known as the Gardens Corporate Center PUD, and site plan approval to allow two (2) professional office buildings and a parking garage on Phase 2. The PUD is approximately 15.64 acres and is located in the Regional Center PCD on the northeast corner of PGA Boulevard (PGA Bypass) and Alternate A1A.

Recommendation to APPROVE

Recommendation to DENY

<p>Reviewed by: Director of Planning & Zoning  _____ Natalie M. Crowley, AICP</p> <p>Development Compliance  _____ Bahareh Wolfs, AICP</p> <p>City Attorney _____ R. Max Lohman, Esq.</p> <p>Approved By: City Manager _____ Ronald M. Ferris</p>	<p>Originating Dept.: Planning & Zoning: Project Manager  _____ Dawn C. Sonneborn, AICP, Principal Planner</p> <p><input checked="" type="checkbox"/> Quasi – Judicial <input type="checkbox"/> Legislative <input checked="" type="checkbox"/> Public Hearing</p> <p>Advertised: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Date: 2/26/16 Paper: Palm Beach Post</p> <p>Affected parties: <input type="checkbox"/> Notified <input checked="" type="checkbox"/> Not Required</p>	<p>Finance: Accountant  _____ Tresha Thomas</p> <p>Fees Paid: ____</p> <p>Funding Source: <input type="checkbox"/> Operating <input checked="" type="checkbox"/> Other <u>N/A</u></p> <p>Budget Acct.#: <u>N/A</u></p> <p>Effective Date: <u>N/A</u></p> <p>Expiration Date: <u>N/A</u></p>	<p>PZAB Action: <input type="checkbox"/> Rec. Approval <input type="checkbox"/> Rec. App. w/ Conds. <input type="checkbox"/> Rec. Denial <input type="checkbox"/> Continued to: _____</p> <p>Attachments:</p> <ul style="list-style-type: none"> • Development Application and Project Narrative • Location Map • Reduced Development Plans • Regional Center PCD Master Plan
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

EXECUTIVE SUMMARY

The Applicant is requesting a PUD amendment to develop the vacant Phase 2 land in the Gardens Corporate Center PUD (formerly Medical Mall PUD) with two (2) 11-story professional office buildings and a three (3)-story parking garage. The overall PUD contains two (2) phases and is 15.64 acres. Phase 1 includes an existing ten (10)-story professional and medical office building and parking garage with 185,057 square feet. The other existing building in Phase 1 is a three (3)-story skilled nursing facility with 120-beds and 70,000 square feet. The skilled nursing facility was built in 1996 and the professional/medical office building was built in 1997. The PUD is located on the northeast corner of PGA Boulevard (PGA Bypass) and Alternate A1A, with Kyoto Gardens Drive to the north, and Lake Victoria Gardens Avenue to the east.

BACKGROUND

The subject site is located in the Regional Center Planned Community Development (PCD) district (formerly the Regional Center DRI), which includes the Gardens Corporate Center PUD approved by Resolution 118, 1994 (formerly known as the Medical Mall PUD). This Resolution also approved the site plan for the overall PUD, which included two (2) phases. Phase 1 included the medical/professional office building and separate 120-bed skilled nursing facility. Phase 2 included two (2) medical/professional office buildings. The three (3)-story skilled nursing facility with 120-beds at 70,000 square feet in Phase 1 was constructed in 1996. The ten (10)-story professional/medical office building and parking garage at 185,057 square feet, also in Phase 1 was built in 1997. Over the years, this building has been modified to mostly professional office use and is referred to as the Financial Center building.

The PUD was amended by Resolution 89, 1995 and Resolution 69, 1996 (both modifying the exterior architectural finishes to the Phase 1 buildings), Resolution 124, 1996 (amending signage), and Resolution 164, 1996 (minor amendments to the site plan).

On December 6, 2001, the City Council approved Ordinance 42, 2001 amending Phase 2 of the PUD to allow two (2) six-story office buildings and one (1) six-story parking structure consisting of 42,906 square feet of medical use, 157,627 square feet of professional office use, 13,997 square feet of bank use, and 9,413 square feet of ancillary use, for a total of 223,943 square feet, and 93,260 square feet of parking structure. This Ordinance included approval of two (2) waivers for Phase 2: to allow 9-foot wide parking spaces in the parking garage; and to allow a maximum building height of six-stories (98 feet) when 36 feet was required.

On June 21, 2007, the City Council approved Resolution 66, 2007, approving Downtown at the Gardens to temporarily use this subject parcel for valet and employee parking with an expiration date of July 21, 2010. Resolution 27, 2010 extended the expiration date until December 21, 2013, which has expired. The site currently contains a temporary paved parking lot and a mix of native and non-native vegetation.

On May 2, 2013, the City Council approved Ordinance 6, 2013 and Resolution 23, 2013, rescinding the Regional Center DRI development order and transferring certain conditions of approval to the PCD development order and adopted a PCD Master Plan. The Master Plan

shows the subject parcel with 223,943 square feet of office use.

LAND USE & ZONING

The subject site is zoned Planned Community Development (PCD) district with a Planned Unit Development (PUD) overlay and has a future land use designation of Professional Office (PO).

Table 1. Existing Zoning Land Use Designations

EXISTING USE	ZONING	LAND USE
<u>Subject Property</u>	Planned Community Development (PCD), with a Planned Unit Development (PUD) overlay	Professional Office (PO)
<u>North</u> Kyoto Gardens Drive and Downtown at the Gardens	Planned Community Development (PCD)	Professional Office (PO)
<u>South</u> PGA Bypass and PGA Boulevard Right-of-Way and Retention Pond	N/A	N/A
<u>East</u> Medical Mall Phase I <i>(existing skilled nursing facility and professional office building)</i>	Planned Community Development (PCD), with a Planned Unit Development (PUD) overlay	Professional Office (PO)
<u>West</u> Alternate A1A Right-of-Way ----- Across from Alternate A1A is the vacant PGA Office Center	N/A ----- Planned Community Development (PCD)	N/A ----- Industrial (I)

PROJECT DETAILS

Site Details

The overall PUD is 15.64 acres, with the area of this site plan amendment containing 10.24 acres, which comprises the former Phase 2 vacant land area and the internal two (2)-way access road that serves the PUD. The temporary valet parking lot has expired. Phase 1 of the PUD consists of an existing ten (10)-story professional/medical office building and parking garage (185,057 square feet) and a three (3)-story skilled nursing facility with 120-beds (70,000 square feet). The project is within the Regional Center Planned Community Development District (PCD). As noted previously, the existing ten (10) story building is mostly professional office and is known as the Financial Center building.

Proposed Project

The Applicant is proposing to develop two (2) 11-story professional office buildings and a three (3)-story parking garage located centrally between the office buildings. Each building is 111,971.5 square feet, for a total of 223,943 square feet. The proposed parking garage is 63,443 square feet. The proposed building square footage is consistent with the previously approved 223,943 square feet, and the proposed parking garage is smaller than the previously approved parking garage, which was at 93,260 square feet. Each building proposes an outdoor plaza with a featured water-wall and outdoor seating areas.

PGA Boulevard Corridor Overlay

The PUD is located within the PGA Boulevard Corridor Overlay and is subject to Section 78-221 of the City's Land Development Regulations. PGA Boulevard is the City's "Main Street" and the two (2) professional office buildings, with their modern and iconic architecture compliment the vision for the PGA Boulevard Corridor Overlay.

Special Front Setback and PCD Buffers

The project contains a 55-foot PCD buffer/Special Front Setback along Alternate A1A and PGA Boulevard/PGA By-Pass. The actual landscape area along Alternate A1A ranges from approximately 60-feet to 75-feet, and approximately 113-feet along PGA Boulevard/PGA By-Pass. The North Palm Beach County Improvement District (NPBCID) owns the land within the PCD Buffer. The City and the Applicant have coordinated with the NPBCID to transfer ownership of the PCD Buffer area to the City of Palm Beach Gardens, which is currently in progress.

Project Landscaping

The proposed landscaping adjacent to Alternate A1A includes a mixture of Slash Pine and Sabal Palms planted with various grasses such as Wild Coffee, Compact Fire Bush, and Dwarf Fakahatchee Grass in groups of plantings located on both sides of the existing meandering sidewalk in the buffer area. These plantings continue along the north side of the existing sidewalk along Kyoto Gardens Drive. To the east of the Alternate A1A meandering sidewalk area are groupings of Red Maple and Sabal Palms with similar under plantings. Canary Island Date Palms and Japanese Blueberry trees are proposed all three (3) corners of the property. Densely planted Sabal Palms are proposed with Compact Fire Bush and Tryalis shrubs adjacent to the parking structure facing Alternate A1A.

A 20-foot landscape buffer is proposed along Kyoto Gardens Drive, consistent with code, containing plantings of Cathedral Oak and Japanese Blueberry trees, Small Leaf Clusia hedge, and various under plantings such as Juniper and Wild Coffee.

Along PGA Boulevard/PGA By-Pass, the Applicant has proposed to keep the existing mature Oak and Pine trees, and clear the area of any trees within the new ingress roadway. New under plantings such as, Plumbago, Bird of Paradise, Green Island Ficus and Creeping Juniper are proposed under the existing trees and along the new ingress roadway. The existing

meandering sidewalks will remain within both buffers, with sidewalk modifications required due to the new right-in only access from the PGA By-Pass.

The Applicant has proposed median landscaping adjacent to the property within Alternate A1A, and road shoulder landscaping adjacent to the existing sidewalks within the PCD buffer on Alternate A1A and PGA Boulevard/PGA By-Pass.

The internal access road that serves both Phase 1 and 2 within the PUD is within the ownership of the Applicant and the entry median within this access road is currently landscaped and shown on the landscape plans.

The project proposes 44 percent open space, which provides substantially more than the 10 percent minimum required per code, and proposes 30,763 landscape points where 11,237 are required by code.

Architecture

The architecture is in keeping with the established vision of the PGA Boulevard Corridor Overlay, with modern classic architecture with glass, steel and pyramid-shaped rooftop elements that are steel frame structures with paint color to match the synthetic stucco materials in a creamy-white paint color. The buildings will have four (4)-sided architecture with the majority of the buildings containing a curtain wall glass system with a mirror-like glazing.

The overall building massing for the proposed buildings has been reduced from the previous site plan approval by lowering the proposed parking garage from six (6)-stories to three (3)-stories, and by narrowing the footprint of the two (2) office buildings and increasing their height from six (6)-stories to 11-stories.

The entry doors are aluminum storefront with glass to match and aluminum framing with a kynar (a resin-based) finish in white to match the steel frames and stucco finishes. At ground level, a pedestrian plaza is proposed for each building with brick pavers, hardscape and water features, including an eight (8) foot fountain-wall with five (5) square architectural columns, featuring decorative banding and pre-cast caps. Seating walls will be incorporate around the fountain-wall for pedestrians and employees. Stucco finishes and colors on the fountain-walls are proposed to match the stucco finishes on the buildings.

The proposed floor plans for each building consists of four (4) office suites per floor with a central octagonal corridor with restrooms and elevators at the center. Each suite as currently shown on the architectural plans is approximately 2,500 square feet. However, the Applicant has advised that each floor plan can be custom designed per tenant needs and would not necessarily contain four (4) office suites on each floor. The first floor of each building contains two (2) office suites, plus a main entry lobby, mailroom, storage rooms, and hospitality/reception room to be shared by the tenants for the entire building. A secondary lobby and entry is proposed in each building for access to the central parking garage.

The proposed building height of each of the two (2) office buildings is 139 feet, 4 inches. The pyramid rooftop features, are not included in the building height and extends 58-feet, eight (8)

inches above the proposed building height. The Applicant has requested a height waiver, which is explained further in this report. The current site plan was approved with a height waiver to allow 98 feet for the Phase 2 buildings. The existing adjacent Phase I building is approved at 151 feet to the top of the skylight.

The three (3)-story parking garage is proposed at a building height of 32-feet, eight (8)-inches, and 48-feet for the parking garage elevator tower on the parking top level. It is located between the two (2) office buildings, with stucco finishes and colors to match the office buildings. The landscaping along the west side of the parking garage proposes dense foundation plantings, in addition to the landscape buffer, to create a visual buffer from the parking structure.

Traffic, Access and Circulation

The proposed changes are within the approved trip thresholds of the Regional Center PCD. The City's Traffic Consultant has issued their letter, dated September 17, 2015, stating the project meets the Traffic Performance Standards of Palm Beach County and the City of Palm Beach Gardens. The Regional Center was determined to be built-out, with the issuance of the Build-Out Determination letter issued November 31, 2013, referencing Ordinance 6, 2013 and Resolution 23, 2013, which vested the project trips.

The subject site has two (2) existing access points. One (1) from Kyoto Gardens Drive and one (1) from Lake Victoria Gardens Avenue, which are connected with a two (2)-way access road serving the entire PUD. The Applicant is also proposing a new right-in only access connection from PGA Bypass lane directly into Phase 2.

Vehicular circulation is proposed around the Phase 2 site, with a brick-paver circular entry in front of each proposed office building, and vehicular roundabouts with brick-paver features proposed behind each building, providing loading zones in these areas, and adequate emergency vehicle turn-around movement.

The PUD has an existing pedestrian connection across Kyoto Gardens Drive to Downtown at the Gardens, with a flashing ground-level pedestrian cross-walk.

Parking and Loading

The Applicant is proposing 177 surface parking spaces and 713 parking spaces within the three (3)-story parking garage for a total of 890, where 747 spaces are required. The parking garage proposes parking spaces at 9 feet wide by 18.5 feet, which is typical of most parking garages within the City. This reduced parking space size is allowed for office use per Section 78-344(l)(1) b., and requires City Council approval. The overall proposed parking exceeds the required parking by 143 spaces, which is within the maximum 20 percent that is allowed per Section 78-345(d)(1). Staff encouraged the Applicant to provide additional parking due to the current trends of increased needs for parking that are likely to be affiliated with professional office uses, and as a result, the Applicant has incorporated additional parking.

For the surface parking, the Applicant is proposing 9.5 foot by 18.5 foot parking stalls with 25 foot wide drive aisles, consistent with Code.

The Applicant is proposing four (4) loading zones in the vehicular roundabouts behind each building, with two (2) loading zone spaces in each roundabout.

Drainage

The subject project is within the area included in an existing conceptual SFWMD permit and Unit No. 19 of the North Palm Beach County Improvement District drainage area. Site grading for this project will be designed to direct runoff to a series of inlets and underground pipelines, interconnected to convey the flow based on the design storm event.

Lighting

Lighting for the project will meet the requirements of Section 78-182 of the City's code for both the surface and parking garage lighting. Staff has provided a condition of approval recommending pedestrian scale lighting be provided along the sidewalks within the buffers along Alternate A1A and PGA Boulevard.

Signage

A monument entry sign and two (2) directional signs are shown on the site plan, however, the Applicant has indicated a separate sign package will be submitted in the future for Staff review and City Council approval.

Waiver Request/Staff Analysis

The Applicant is requesting one (1) waiver.

Table 2. Waiver Request

Code Section	Requirement	Proposed	Waiver	Staff Support
78-153 Building Height	36 feet	139'-4"	103'-4"	Yes

The Applicant is requesting a waiver of building height from the 36 feet to 139 feet, four (4) inches. The proposed pyramid shaped Art in Public Places on top of the building is not included in the proposed building height. The art extends 58-feet, eight (8) inches above the building height. The current site plan was approved with a building height waiver to allow 98 feet for Phase 2. The existing adjacent Phase I building is approved at 151 feet to the top of the skylight. The proposed height is consistent with the surrounding character along the PGA Boulevard corridor, and also due to its close proximity to the PGA Boulevard flyover. Other building heights in the area are: The Phase 1 Financial Center building at 141 feet, The Landmark buildings at 192 feet and 160 feet, Downtown at the Gardens at 75 feet, the Hilton Gardens Inn at 87 feet, and the adjacent 3507 Kyoto Gardens Drive office building at 80 feet. These taller buildings are consistent with the character of the City's main corridor and the 2006 height charrette conducted by Staff. Staff supports this waiver.

STAFF ISSUES

1. Staff has recommended pedestrian scale lighting be provided along the sidewalks within the PCD buffers along Alternate A1A and PGA Boulevard. This lighting will provide visibility and safety for pedestrians. The Applicant does not agree with Staff and has not provided this lighting on the photometrics plans. A condition of approval has been provided, accordingly.
2. The Applicant has submitted an Art in Public Places petition for the pyramid rooftop elements to be considered art. Staff has concerns with this type of architectural element serving as Art in Public Places. The project is within the PGA Boulevard Corridor Overlay and the modern, classic architecture with glass, steel, and rooftop elements will bring an iconic presence to the corridor, which is in keeping with the established vision of the PGA Boulevard Corridor Overlay. However, the merits of good architecture within the corridor should stand on their own. Although the elements are visually dramatic, they should be considered part of the architectural character of the buildings and not as Art in Public Places. A condition of approval has been provided, accordingly.
3. The glass that is proposed for the two (2) buildings will have a mirror-like reflective glazing. The Applicant has provided samples of the glass and photographs of other buildings with this type of finish. Staff is concerned that this type of highly reflective glass may cause visibility issues for vehicular drivers along PGA Boulevard and especially eastbound drivers during the sunset hours. Staff has provided a condition of approval, accordingly.

DEVELOPMENT REVIEW COMMITTEE (DRC)

A Development Review Committee (DRC) meeting was held on August 19, 2015. All major technical comments have been resolved.

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of petition PUDA-15-11-000061 with one (1) waiver and the following draft conditions of approval:

1. Prior to the issuance of the first building permit, the Applicant shall comply with City Code Section 78-261, Art in Public Places (AIPP) and submit construction cost estimates to verify the one percent (1%) vertical construction cost for the required AIPP fee. Art in Public Places is required if the vertical construction cost of all new improvements on the project site is greater than One Million Dollars (\$1,000,000). The Applicant shall provide art on site or make a payment in lieu thereof. (Planning and Zoning)
2. Any architectural roof elements proposed for the office buildings shall not count toward the Art in Public Places requirements. (Planning and Zoning)

3. There is an existing bus stop adjacent to this PUD located on Kyoto Gardens Drive. As part of the Applicant's Art in Public Places requirement, contribution towards or installation of an artistic bus shelter is recommended. (Planning and Zoning)
4. Prior to the issuance of the first land alteration permit, the Applicant shall schedule a pre-permit meeting with the Planning and Zoning Department. (Planning and Zoning)
5. Prior to the issuance of the building permit, the Applicant shall provide a light and glare analysis of the proposed office buildings to ensure that harmful sunlight glare reflecting off of the mirrored glazing on the proposed building glass does not impede drivers of vehicles traveling eastbound and westbound on PGA Boulevard at sunrise and sunset. (Planning and Zoning)
6. Any signage proposed for the project must be consistent with the architecture of the proposed buildings. (Planning and Zoning)
7. Prior to the first Certificate of Occupancy, the Alternate A1A median landscaping shall be completed. This condition may be null and void if satisfied by other parties and/or the completion date may be extended by City staff. (City Forester)
8. Prior to the first Certificate of Occupancy, the Kyoto Gardens Drive road shoulder landscaping shall be completed. (City Forester)
9. The Applicant, successors and assigns shall be responsible for the perpetual maintenance of all landscaping and hardscape as depicted on the approved site plan and shown on Exhibit A. This includes at a minimum, the landscaping, irrigation, lighting, drainage, sidewalks, and ingress road. (City Forester)
10. Prior to the issuance of the first Building Permit for vertical construction, digital files of the approved plat shall be submitted to the Planning and Zoning Division. (GIS Manager, Development Compliance Officer)
11. Addressing Plan approval is required prior to the issuance of the first Building Permit for vertical construction. (GIS Manager)
12. Prior to the issuance of the clearing permit, infrastructure permit, or the building permit for the vertical construction, whichever occurs first, the Applicant shall provide itemized cost estimates and surety for the project (public or private), in accordance with the LDR Sections 78-309 and 78-461. The itemized cost estimates shall include all public elements for the onsite and offsite infrastructure, landscaping and irrigation-related improvements for the project. The cost estimates shall be dated, signed and sealed by a professional engineer and landscape architect registered in the State of Florida. Surety will be based on 110% of the total combined City approved cost estimates and shall be posted with the City. (Engineering)

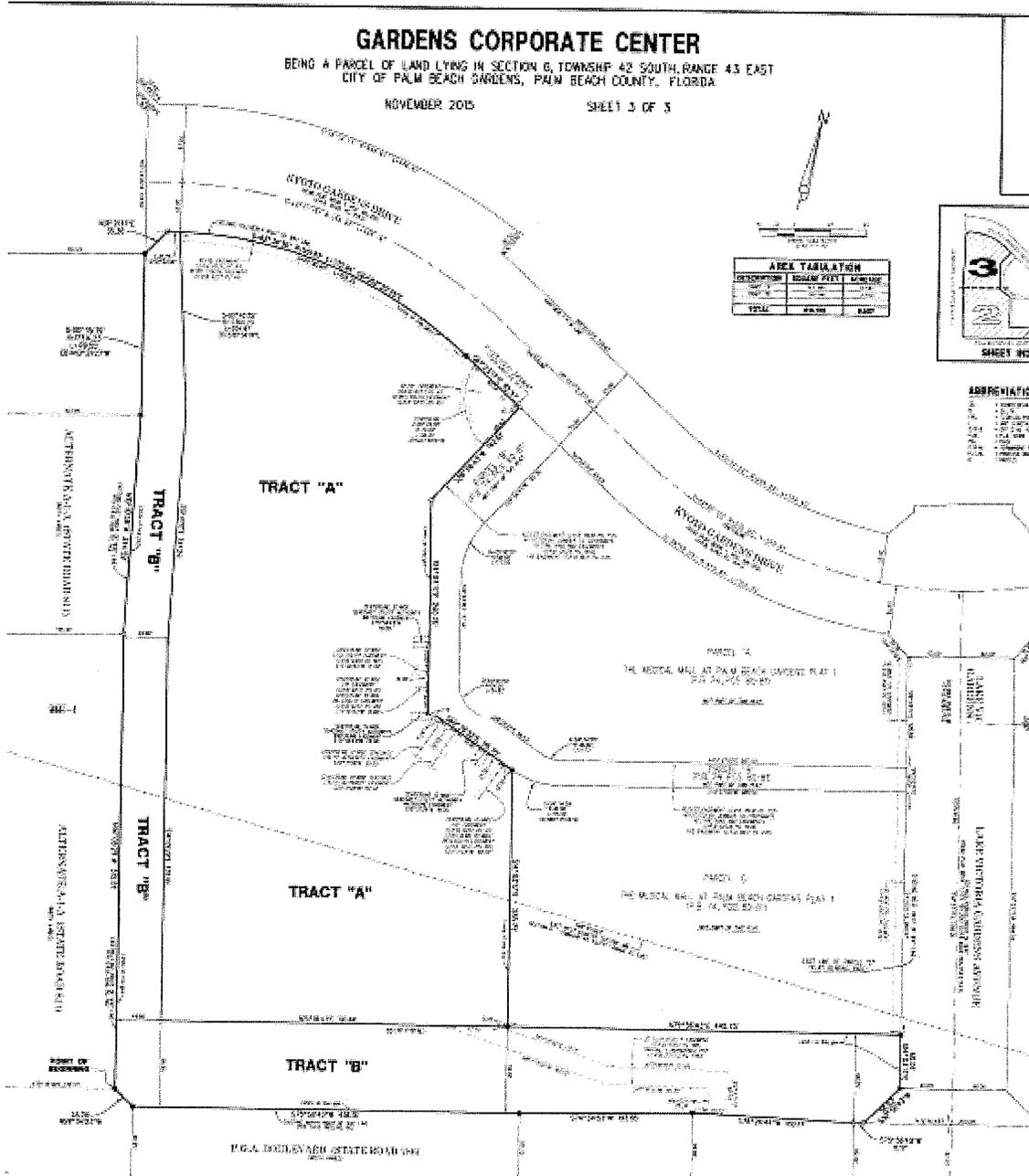
13. Prior to the issuance of the infrastructure permit, the Applicant shall receive a Technical Compliance Approval letter (TCA) for this project in accordance with the City's LDR. Prior to the issuance of a vertical building permit, the plat for this project shall be approved by City Council. Any modifications to the PCD buffer or the FDOT easement shall be reflected on the plat, if applicable. (Engineering)
14. Prior to the issuance of the clearing permit or infrastructure permit or demolition permit, whichever comes first, the Applicant shall submit an updated construction phasing and safety plan for the City to review. The construction phasing and safety plan shall include all necessary construction zone signage and fencing as required by the Engineering Department and will need to be monitored throughout the construction duration and modified as necessary to allow for safe and effective pedestrian and vehicular movement throughout the project. If at any time the contractor wishes to modify the phasing plan, please submit revised phasing plan to the City Engineer for review. (Police and Engineering)
15. Prior to the issuance of the infrastructure permit, the Applicant shall submit a site lighting permit application along with a signed and sealed Photometric plan to the City. (Engineering)
16. Prior to the issuance of the infrastructure permit, a site lighting permit shall be approved by City Staff and include the public sidewalk along PGA Boulevard and Alt. A1A. The installation of the lighting shall be prior to the first Certificate of Occupancy. (Engineering)
17. Prior to the issuance of the infrastructure permit, the required ADA elements for the building entrance, pedestrian access areas and ramps shall be shown and detailed on the permit plans for our review. (Engineering)
18. Prior to the commencement of construction, the Applicant shall schedule a pre-construction meeting with City staff. Inspections related to the infrastructure permit will not be performed until the pre-construction meeting has occurred. In addition, failure to comply with this condition could result in a Stop Work Order of all work/construction activity for the subject development site. (Engineering)
19. The following items are required to be ongoing throughout the project:
 - a) The construction, operation and/or maintenance of any elements of the subject project shall not have any negative impacts on the existing drainage of surrounding areas. If, at any time during the project development, it is determined by the City that any of the surrounding areas are experiencing negative drainage impacts caused by the project, it shall be the Applicant's responsibility to resolve said impacts in a period of time and a manner acceptable to the City prior to additional construction activities. The City may cease issuing building permits and/or Certificates of Occupancy until all drainage concerns are resolved. (Engineering)

- b) Prior to the issuance of the Infrastructure permit, if applicable, the Applicant shall provide the City Engineer with copies of all permits, permit applications and Requests for Additional Information to and from regulatory agencies regarding issues on all permit applications, certifications and approvals including South Florida Water Management District, Northern Palm Beach County Improvement District, Seacoast, Palm Beach County, Health Department, FDOT, etc. (Engineering)
 - c) The applicant shall comply with all Federal EPA and State of Florida Department of Environmental Protection NPDES requirements, including but not limited to, preparation of a storm water pollution prevention plan and identification of appropriate Best Management Practices, as generally accepted by the Environmental Protection Agency (EPA) and/or local regulatory agencies, for construction activities, implementation of the approved plans, inspection, and maintenance of controls during construction. Including a Notice of Intent prior to the issuance of infrastructure permit and Notice of Termination prior to the issuance of the Certificate of Completion for the infrastructure permit. (Engineering)
20. Prior to the issuance of the certificate of occupancy, the Applicant shall provide electronic certified civil design as-builts both in pdf and AutoCAD. (Engineering)
21. Prior to the issuance of the certificate of completion, the Applicant shall provide copies of the required testings as provided for on the plans and specifications and in accordance with the FDOT for our review. (Engineering)
22. Prior to the issuance of a Certificate of Occupancy for the new building, the applicant shall submit all required recorded easements and easement modifications to the City. (Engineering)
23. All pavement marking and striping, excluding parking stall striping, shall be installed with thermoplastic materials. Also, paver bricks of appropriate color shall be used on paver brick areas, in lieu of paint or thermoplastic material for conformance with Section 78-344 of the City's LDR. (Engineering)
24. The Applicant shall be responsible for conducting evaluations to determine the need for improvements on Kyoto Gardens Drive and Lake Victoria Gardens Avenue as requested by the City Engineer. Studies will include traffic patterns and movements for vehicles entering and exiting the project and must be submitted within 60 days of the request. Upon determining the need for the specified improvements, the Applicant will be required to construct the improvements within 180 days of the request by the City Engineer. The City shall have the authority to request a study through the issuance of the final Certificate of Occupancy. Improvements may include: (Engineering)
- a) A southbound dual right turn lane from Lake Victoria Gardens Avenue onto PGA Boulevard

- b) Increase the northbound left turn lane stacking on Lake Victoria Gardens Avenue.
- c) Provide an eastbound right turn lane from Kyoto Gardens Drive onto Lake Victoria Gardens Avenue.

EXHIBIT A (Condition of Approval #9)

All of Tract B as shown on the draft Gardens Corporate Center Plan



CITY OF PALM BEACH GARDENS
DEVELOPMENT APPLICATION

Planning and Zoning Division
Growth Management Department
CITY OF PALM BEACH GARDENS
10500 North Military Trail
Palm Beach Gardens, FL 33410
(561) 799-4243 Fax (561) 799-4281

Request:

- | | |
|------------------------------------------------------------------------|--------------------------------------------------|
| <input type="checkbox"/> Planned Community Development (PCD) | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Planned Unit Development (PUD) | <input type="checkbox"/> Rezoning |
| <input checked="" type="checkbox"/> Amendment to PCD, PUD or Site Plan | <input type="checkbox"/> Site Plan Review |
| <input type="checkbox"/> Conditional Use | <input type="checkbox"/> Concurrency Certificate |
| <input type="checkbox"/> Amendment to the Comprehensive Plan | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Administrative Approval | <input type="checkbox"/> Miscellaneous |
| <input type="checkbox"/> Administrative Appeal | <input type="checkbox"/> Other |

Date Submitted: July 1, 2015

Project Name: Gardens Corporate Center

Owner: Gardens Corporate Center LLC

Applicant (if not Owner): _____

Applicant's Address: 4500 PGA Boulevard PBG FL 33410 Telephone No. 561-691-9050

Agent: Cypress Realty of Florida and Gentile Glas Holloway O'Mahoney & Associates, Inc.

Contact Person: Nader Salour/Dodi Buckmaster Glas E-Mail: salour@cypressrealtyfl.com/dodi@2gho.com

Agent's Mailing Address: 1907 Commerce Lane Suite 101 Jupiter FL 33458

Agent's Telephone Number: 561-768-9288/561-575-9557

FOR OFFICE USE ONLY	
Petition Number: _____	Date & Time Received: _____
<u>Fees Received</u>	
Application \$ _____	Engineering \$ _____
Receipt Number: _____	

Architect: Kelly Design & Architecture, Inc.
Engineer: Michael B. Schorah & Associates, Inc.
Planner: Gentile Glas Holloway O'Mahoney & Associates, Inc.
Landscape Architect: Krent Wieland Design

Site Information: **Note: Petitioners shall submit electronic digital files of approved projects. See attachment for details.**

General Location: northeast corner of the PGA bypass and Alternate AIA

Address: 3874 Kyoto Gardens Drive

Section: 06 Township: 42 Range: 43

Property Control Number(s): 52-43-42-06-00-000-3120, 52-43-42-06-03-002-0000, 52-43-42-06-00-000-3080

Acres: 15.6 Current Zoning: PUD Requested Zoning: N/A

Flood Zone: _____ Base Flood Elevation (BFE) – to be indicated on site plan _____

Current Comprehensive Plan Land Use Designation: PO

Existing Land Use: PO Requested Land Use: N/A

Proposed Use(s) i.e. hotel, single family residence, etc.: professional office

Proposed Square Footage by Use: 223,943 s.f. (vested)

Proposed Number and Type of Dwelling Unit(s) i.e. single family, multifamily, etc. (if applicable):
N/A

Justification

Justification

Information concerning all requests (attach additional sheets if needed) {Section 78-46, Application Procedures, Land Development Regulations}

1. Explain the nature of the request: The PUD Site Plan Amendment being submitted will allow
a change in the proposed architecture and site plans to accommodate the new architecture. The
overall concept of the plan is essentially the same with to professional office towers and a parking
garage between them.

2. What will be the impact of the proposed change on the surrounding area? _____
The PUD Site Plan Amendment application will not impact the surrounding area.

3. Describe how the rezoning request complies with the City's Vision Plan and the following elements of the City's Comprehensive Plan – Future Land Use, Transportation, Housing, Infrastructure, Coastal Management, Conservation, Recreation and Open Space, Intergovernmental Coordination and Capital Improvements.

This application is not a rezoning request.

4. How does the proposed project comply with City requirements for preservation of natural resources and native vegetation (Section 78-301, Land Development Regulations)?

The proposed development of this site was previously approved and will not affect the
preservation of natural resources or native vegetation as previously approved.

5. How will the proposed project comply with City requirements for Art in Public Places (Chapter 78-261, Land Development Regulations)?

6. Has project received concurrency certification?

Yes this project received concurrency vesting based on the previous approval.

Date received: _____

Legal Description of the Subject Property

(Attach additional sheets if needed)

See attached deed for legal description

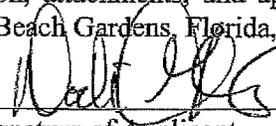
Location

The subject property is located approximately 0 mile(s) from the intersection of
PGA Boulevard and Alt. AIA, on the ^x north, east, south,
west side of PGA Boulevard bypass (street/road).

Applicant's Certification

I/We affirm and certify that I/we understand and will comply with the land development regulations of the City of Palm Beach Gardens, Florida. I/WE further certify that the statements or diagrams made on any paper or plans submitted herewith are true to the best of my/our knowledge and belief. Further, I/we understand that this application, attachments, and application filing fees become a part of the official records of the City of Palm Beach Gardens, Florida, and are not returnable.

Applicant is:



Signature of Applicant

__ Owner Dodi Buckmaster Glas
Print Name of Applicant

__ Optionee 1907 Commerce Lane, Suite101
Street Address

__ Lessee Jupiter, FL 33458
City, State, Zip Code

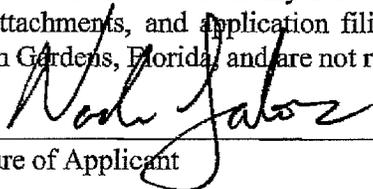
Agent (561) 575-9557
Telephone Number

__ Contract Purchaser (561)575-5260
Fax Number
dodi@2gho.com
E-Mail Address

Applicant's Certification

I/We affirm and certify that I/we understand and will comply with the land development regulations of the City of Palm Beach Gardens, Florida. I/WE further certify that the statements or diagrams made on any paper or plans submitted herewith are true to the best of my/our knowledge and belief. Further, I/we understand that this application, attachments, and application filing fees become a part of the official records of the City of Palm Beach Gardens, Florida, and are not returnable.

Applicant is:



Signature of Applicant

___ Owner

Nader Salour, Cypress Realty of Florida

Print Name of Applicant

___ Optionee

1907 Commerce Lane Suite 103

Street Address

___ Lessee

Jupiter, FL 33458

City, State, Zip Code

Agent

561-768-9288

Telephone Number

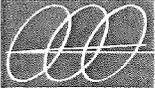
___ Contract Purchaser

561-768-9288

Fax Number

salour@cypressrealtyfl.com

E-Mail Address



Gardens Corporate Center

PROJECT NARRATIVE PUD Site Plan Amendment February 16, 2016

Request/Location:

On behalf of Gardens Corporate Center, LLC, we would like to request a PUD Site Plan Amendment to Phase 2 of the Medical Mall Planned Unit Development (PUD) known as the Gardens Corporate Center (f/k/a Medical Mall Phase 2) to allow Class "A" professional office buildings. The subject site is located on the northeast corner of the PGA Boulevard (PGA Bypass) and Alternate AIA in the City of Palm Beach Gardens Florida. Only the Phase 2 area is addressed with this request.

Proposed:

The proposed buildings and garage parking structure are consistent with the previously approved 223,943 s.f. square footage of professional office space that is vested based on Ordinance 6, 2013.

The PUD Site Plan Amendment application is being requested to allow changes to the approved site plan and architecture, the site changes more specifically are as follows:

- The site plan has been revised to reflect 177 surface parking spaces and approximately 711 parking spaces within the proposed garage;
- Addition of an entrance into the site from the PGA Bypass Lane;
- The architecture has been redesigned to provide a modern iconic design consistent with PGA Corridor.
- Art in Public Places (AIPP) locations have been shown on the proposed site plan on the building rooftop).

History:

The following is a list of all the approvals for Gardens Corporate Center:

Gardens Corporate Center LIST OF APPROVALS		
Petition No.	Application Request	Date of Approval
Resolution 9, 1984	MacArthur Regional Center DRI approved on 458 acres of land	February 16, 1984
Resolution 118, 1994	Creating a PUD for construction of professional office buildings and a Skilled Nursing Facility within the Regional Center DRI	September 1, 1994
Resolution 21, 1995	The Medical Mall at Palm Beach Gardens Plat 1 – replatting to include the Gardens Corporate Center, prior to issuance of the next building permit	February 16, 1995
Resolution 89, 1995	Approve modification to exterior of Medical Mall	September 7, 1995

Gardens Corporate Center LIST OF APPROVALS		
Petition No.	Application Request	Date of Approval
Resolution 69, 1996	Approve modification to exterior of Medical Mall	April 18, 1996
Resolution 164, 1996	Approve modification to exterior of Medical Mall	December 5, 1996
Resolution 64, 1998	Approve Master Signage for MacArthur Center	September 3, 1998
Resolution 10, 2001	Granting Waivers to allow additional wall signs and for two (2) signs to be located beneath the tenth floor parapet of the 3801 PGA Boulevard Building	January 18, 2001
Ordinance 42, 2001	Amend Phase 2 of the "Medical Mall"	December 6, 2001
Resolution 66, 2007	Approving an agreement between the City of Palm Beach Gardens and Downtown at the Gardens related to parking at Downtown at the Gardens	June 2007
Resolution 27, 2010	Approving an agreement between the City of Palm Beach Gardens and Downtown at the Gardens related to parking at Downtown at the Gardens	June 3, 2010
MISC 12-04-000084	Time extension for the temporary parking for use on the Gasman Property for a period of three (3) years (expires June 2015)	June 12, 2012
Ordinance 06-13	Amending regional center	May 2, 2013
Resolution 22-13	Rescinding of DRI	April 4, 2013
Resolution 23-13	Approved Master Plan and conditions	May 2, 2013
Resolution 47, 2013	Modify a previously approved monument sign for Phase 1 (3801 PGA Boulevard)	July 16, 2013

Surrounding Uses:

The subject site is bounded on the north by Kyoto Gardens and then Downtown at the Gardens; to the east is the Medical Mall Phase 1; to the south is PGA Boulevard; and to the west is Alternate AIA.

Existing Zoning and Land Use Designations

EXISTING USE	FUTURE LAND USE	ZONING
SUBJECT PROPERTY:	PO	PUD
TO THE NORTH : <i>Kyoto Gardens and Downtown at the Gardens</i>	PO	PCD
TO THE SOUTH : <i>PGA By Pass, PGA Boulevard</i>		PCD
TO THE EAST : <i>Medical Mall Phase I</i>	PO	PCD
TO THE WEST : <i>Alternate AIA</i>		

Concurrency:

A Traffic Report has been submitted as part of the application request. However, the project is vested pursuant to Ordinance 6, 2013.

Architecture:

The architecture is in keeping with the established caliber of the PGA corridor and the City of Palm Beach Gardens while also creating a unique statement for this location. The proposed buildings are designed with clean lines and steel to reflect a modern classic character in neutral hues that are consistent in the corridor. A sense of place is defined with the proposed rooftop art (AIPP) that provides iconic elements that will read during the day and night. At the ground level hardscape and water are used in artistic amenities that will include a water wall and outdoor seating. Thus the proposed project will create locational identity from a far and at the pedestrian level. The Art in Public Places requirement is being address to emphasize location and as a part of the architectural character of the building itself.

Parking and Circulation:

The applicant is proposing a revised site plan to provide an additional direct access point (ingress only) along the PGA Boulevard bypass into the Phase II building parking lot. This additional access will allow for better circulation through the site.

The proposed site plan includes on-grade parking, as well as the proposed 3 story garage. This maintains more open space and improves the parking choices on the site. Parking will exceed the code required number.

Landscape:

The landscape is being designed to maintain consistency with the established natural character of the area with highlighted hardscape amenity areas for office clientele.

Landscape Points:

The table below shows how the proposed plan exceeds required points.

	LANDSCAPE POINTS
Required Landscape Points	11,237
Approved	
Provided Landscape Points	30,763

Waivers:

Ordinance 42, 2001 approved on December 6, 2001 granted the following two waivers for Phase 2 in Ordinance 42, 2001:

1. A waiver from Section 78-344(l), which requires 10-foot wide parking spaces to allow for 9-foot wide parking spaces in the parking garage. The Applicant has maintained the reference on the waiver and deviation chart since the 9' spaces will need to be approved by City Council.
2. A waiver for maximum height for buildings – Section 78-153 which allows a maximum building of 36 feet, to allow for buildings up to 6-stories (98 feet) in height.

The proposed waiver is:

1. Height of proposed building (Section 78-153) – previous waiver to 98 feet – proposing 139’-4”. **Note - on approved Site Plan dated December 6, 2001/Ordinance 42, 2001 - existing Phase 1 building is approximately 151’ to top of skylight; proposed Phase 2 – 89’-6” to top of parapet; and garage is 75’ to ridge high point); a waiver for 98 feet is currently approved. Thus our request is consistent with the previous approvals and provides for height in a location where the City has established a character for the corridor which is in proximity of I-95 and that sets a sense of arrival to the City. The four sided iconic architecture provides added benefit for this consideration. The highest point accommodates the AIPP sculpture which is located on top of each tower.**

WAIVER				
			PROPOSED	REQUESTED WAIVERS
1. Max. Building Height – Phase 2	Sec. 78-153	(36 feet)	139’-4” plus 50’ to the top of the Proposed Art in Public Places (previous approval (98ft. Ord 42,2001)	Yes

Criteria for waivers is provided for in Section 78-158 of the code. Please note that all the requested waivers fulfill these criteria:

1. **The request is consistent with the city's comprehensive plan – the proposed waiver is consistent with the provisions of the Land Development Regulations that allow for waivers in Planned Developments. The proposed waiver is not in violation of the Comprehensive Plan.**
2. **The request is consistent with the purpose and intent of this section – the proposed waiver is consistent with the provisions of the code that allow waiver requests within a Planned Development district necessary to implement the site plan, based upon the most comparable zoning district to provide for more innovative design.**
3. **The request is in support of and furthers the city's goals, objectives, and policies to establish development possessing architectural significance, pedestrian amenities and linkages, employment opportunities, reductions in vehicle trips, and a sense of place – the approval of the site plan and architectural design of the overall project satisfies the city's goals and objectives for a project with architectural significance, pedestrian amenities, linkages, employment opportunities, trip reduction and a sense of place. This request provides for the opportunity to create an iconic modern design with the two (2) office buildings and garage in a premier location of the City.**
4. **The request demonstrates that granting of the waiver will result in a development that exceeds one or more of the minimum requirements for PUDs – the proposed**

waiver will enhance the development of the site by providing an iconic modern design with Art in Public Places for the enjoyment of the City.

5. **The request for one or more waivers results from innovative design in which other minimum standards are exceeded** – *the proposed improvements and subsequent waiver promotes innovate and creative planning and design that will improve the functionality and efficiency of the site, while addressing current market trends. Note - the additional height are consistent with the established development pattern in the existing PUD, the PCD and this area of the City.*
6. **The request demonstrates that granting of the waiver will result in the preservation of valuable natural resources, including environmentally-sensitive lands, drainage and recharge areas, and coastal areas** – *the site has previously been used as a temporary parking lot for Downtown at the Gardens with some of the areas being cleared. The proposed improvements and waiver requests will have no impact on valuable natural resources or environmentally-sensitive lands. In fact the use of a parking structure reduces surface parking requirements, this maintains open space.*
7. **The request clearly demonstrates public benefits to be derived, including but not limited to such benefits as no-cost dedication of rights of way, extensions of pedestrian linkages outside of the project boundaries, preservation of important natural resources, and use of desirable architectural, building and site design techniques** – *the waiver request will result in public benefits such as promoting the City with a desirable architectural building and site design techniques. The granting of the waiver will allow the site to make improvements that will enhance the functionality, efficiency and aesthetics of the site in keeping with the character of the corridor.*
8. **Sufficient screening and buffering, if required, are provided to screen adjacent uses from adverse impacts caused by a waiver** – *sufficient screening and buffering has been provided. The granting of the waiver will not cause any adverse impact to the adjacent uses.*
9. **The request is not based solely or predominantly on economic reasons** – *the waiver request is not based solely and predominantly on economic reasons. The request permit improved design consistent with the established development character. The waiver will allow the development of this project to provide desirable architecture and aesthetically pleasing features which includes art which makes a strong iconic statement for this location.*
10. **The request will be compatible with existing and potential land uses adjacent to the development site** – *Phase 2 of the former Medical Mall PUD was previously approved for 223,943 s.f. and 6 stories and was then and is now compatible with the existing land uses of the adjacent property and the waiver request is consistent with established PUD character and the overall pattern of development. It is in keeping with City character and a policy that provides for height in the corridor.*

11. The request demonstrates the development will be in harmony with the general purpose and intent of this section, and that such waiver or waivers will not be injurious to the area involved or otherwise detrimental to the public health, safety, and welfare – the proposed waiver is in harmony with the intent of this LDR section and City designed policy for this location.

SITE ANALYSIS: CONSISTENCY WITH THE CURRENT APPROVAL				
	Code PO	Existing Approval	Proposed Phase 2 Building	New Waiver Requested
<i>Max Lot Coverage</i>	35%	32.1%	18.1%	No
<i>Max Building Height</i>	36 feet	98 feet (waiver)	139'-4" feet	Yes
<i>Min. Open Space (per PCD)</i>	10%	48.4%	44.1%	No
<i>Setbacks</i>				
<i>Front – Kyoto Gardens Drive</i>	25 feet	27 feet	97.4 feet	
Special Front Setback – - PGA Overlay – PGA Blvd,	78-221(d)(4)	No pavement or building within the 55 foot setback;	PGA Blvd. - 55' to the proposed easement; 113.1' to the existing right of way	No
Special Front Setback – - Alt. AIA	78-186 (5)a	No pavement or building within the 55 foot setback;	57' to the existing right of way of Alt. AIA	No
<i>Side - east</i>	27 feet		610' to Lake Victoria Gardens	
<i>Parking</i>				
<i>Number Required</i>	747	884	900	No
<i>Stall Dimensions</i>	10'x18.5'	9.5' x 18'5 surface 9' x 18.5' garage	9.5' x 18'5 surface 9' x 18.5' garage	No

On behalf of the applicant Gardens Corporate Center, LLC, Nader Salour of Cypress Realty of Florida and Gentile Glas Holloway O'Mahoney & Associates, Inc. respectfully requests processing of this application. The Project Managers at Gentile Glas Holloway O'Mahoney & Associates, Inc. are Dodi Buckmaster Glas, Benjamin Dolan, and Pat Lentini.

LOCATION MAP:



Downtown at
the Gardens
FLU: PO
Z: PCD

Kyoto Gardens Drive

Alternate A-1-A

PGA By-Pass

North Tower
11-Story
Office Bldg.

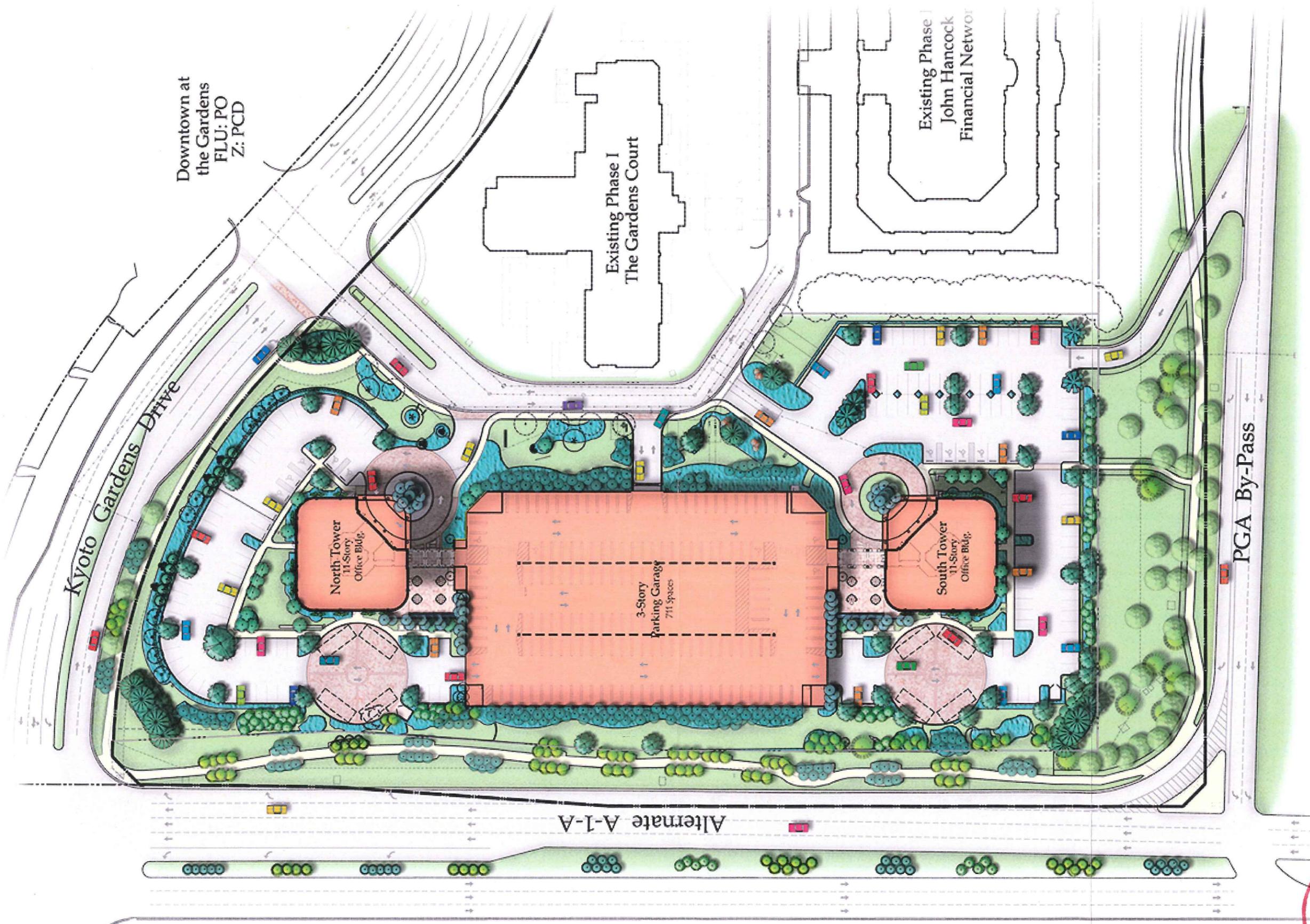
3-Story
Parking Garage
711 Spaces

South Tower
11-Story
Office Bldg.

Existing Phase I
The Gardens Court

Existing Phase I
John Hancock
Financial Network

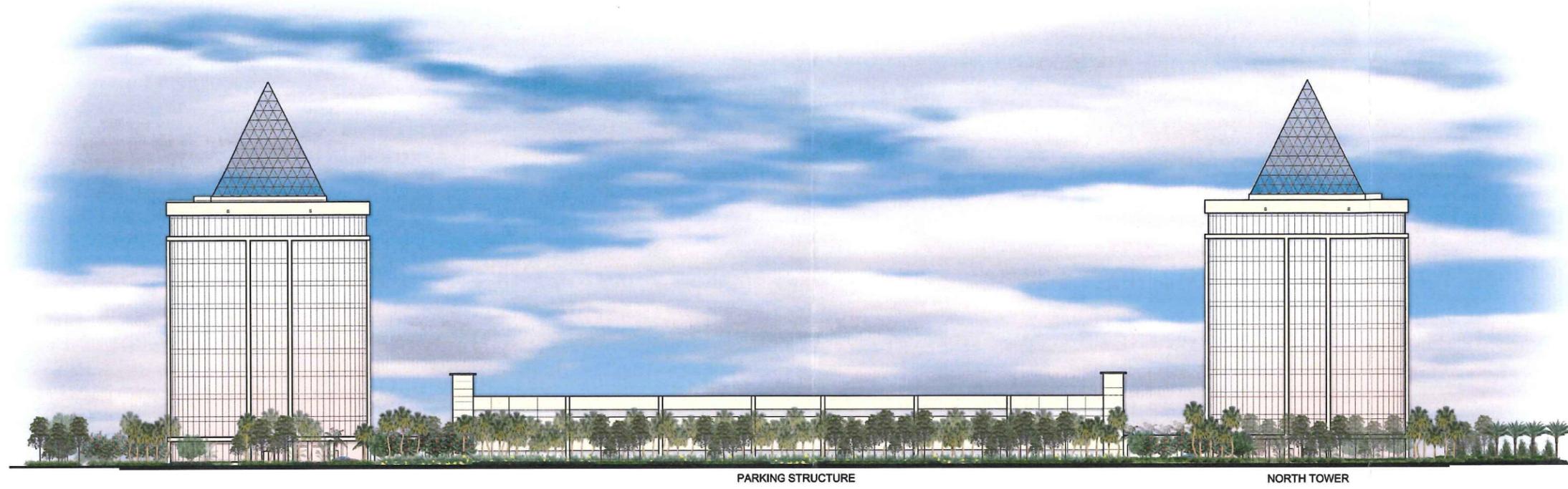
CITY OF
PALM BCH GDNS
FEB 17 2016
PLANNING &
ZONING





CITY OF
PALM BEACH
2016
PLANNING &
ZONING

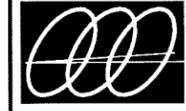




OVERALL WEST ELEVATION
SCALE: 1" = 30'-0"



PARKING STRUCTURE
OVERALL SOUTH ELEVATION
SCALE: 1" = 30'-0"



Gentile Glas Holloway O'Mahoney & Associates, Inc.
Landscape Architects
Planners and Environmental Consultants

1907 Commerce Lane
Suite 101
Jupiter, Florida 33458
561-575-9557
561-575-5260 FAX
www.2gho.com

Gardens Corporate Center Palm Beach Gardens, Florida

Designed: MTH
Drawn: MTH
Approved: GGG MTH EMC
Date: 7/2/15
Job no. 15-0402
Revisions: 09/02/15
10/21/15
01/15/16
02/04/16
02/24/16

Cad no. CAD0

Seal

LC C000177
Sheet Title:
Master Development Plan

Scale: 1" = 60'

Sheet No.

MP-1
15-0402

SITE DATA: (PHASE 1 & 2)

TOTAL SITE GROSS AC.:	15.64 Ac.	
LOT COVERAGE:		
MIN. OPEN SPACE:	REQUIRED	PROVIDED
PHASE 1 OPEN SPACE:	10%	116,599.88 s.f.(2.68 Ac.), 49.7%
(Gardens Court & 3801 Bldg.)		
PHASE 2 OPEN SPACE:	10%	196,808 s.f.(4.51 Ac.), 44.1%
GRAND TOTAL OPEN SPACE PHASE 1 & 2:		313,407.88 s.f.(7.19 Ac.), 46%
BUILDING DATA:		
TOTAL APPROVED BUILDING S.F.:	478,000 S.F.	
EXISTING BUILDING S.F.(PHASE 1):	254,057 S.F.	
PROPOSED BUILDING S.F. (PHASE 2):	223,943 S.F.	
PARKING DATA:		
PHASE 1 PARKING TOTAL:	763 SPACES	
PHASE 2 PARKING TOTAL:	890 SPACES	
GRAND TOTAL PARKING:	1,653 SPACES	

SITE DATA:(PHASE 2)

PETITION NO.:	PUDA-15-11-000081	
PROJECT NAME:	GARDENS CORPORATE CENTER	
EXISTING FUTURE LAND USE:	PCD/PO- PROFESSIONAL OFFICE	
ZONING:	PUD; Planned Use Development	
SECTION - TOWNSHIP - RANGE:	6-42-43	
PCN #:	52-43-42-08-00-000-3080	
	52-43-42-08-00-000-3120	
	52-43-42-08-00-002-0000	
SITE AREA AC.:	10.24 AC. (446,275 s.f.)	
EXISTING/ PROPOSED USE:	MEDICAL / PROFESSIONAL OFFICE	
BUILDING DATA:		
TOTAL APPROVED BUILDING S.F.:	478,000 S.F.	
EXISTING BUILDING S.F. (PHASE 1):	254,057 S.F.	
PROPOSED BUILDING S.F. (PHASE 2):	223,943 S.F.	
NORTH TOWER:	111,971.5 S.F.	
SOUTH TOWER:	111,971.5 S.F.	
GARAGE FOOTPRINT:	63,443 S.F.	(NOT INCLUDED IN TOTAL APPROVED BUILDING S.F.)
BUILDING SETBACKS:		
FRONT SETBACK (KYOTO GARDENS DR.):	REQUIRED 25'	PROVIDED 97.4'
SIDE STREET SETBACK (PGA BLVD.): (FROM PARCEL PROPERTY LINE)		
TO PAVEMENT:	55'	113.13'
TO BUILDING:	55'	185.38'
SIDE STREET SETBACK (ALT. A1A): (FROM PARCEL PROPERTY LINE)		
TO PAVEMENT:	55'	57.3'
TO TOWER:	55'	155.4'
TO GARAGE:	55'	78.1'
SIDE SETBACK (EAST): (Established in Phase 1 by the John Hancock Bldg.)	27'	162.6'
BUILDING HEIGHT LIMIT:	36' MAX	139.4'
LOT COVERAGE:		
MIN. OPEN SPACE:	REQUIRED 10%	PROVIDED 196,808 s.f.(4.51 Ac.), 44.1%
MAX BUILDING LOT COVERAGE:	35%	60,676.94 s.f., 18.1%
PARKING DATA:		
TOTAL PARKING:	REQUIRED 747 SPACES (1/300 s.f.)	PROVIDED 890 SPACES
NORTH TOWER SURFACE PARKING:		69 SPACES
SOUTH TOWER SURFACE PARKING:		108 SPACES
GARAGE PARKING:		713 SPACES
HANDICAP PARKING:	15 SPACES (2% of total)	15 SPACES
LOADING SPACES:	3 SPACES	4 SPACES
BIKE PARKING:	38 SPACES	40 SPACES

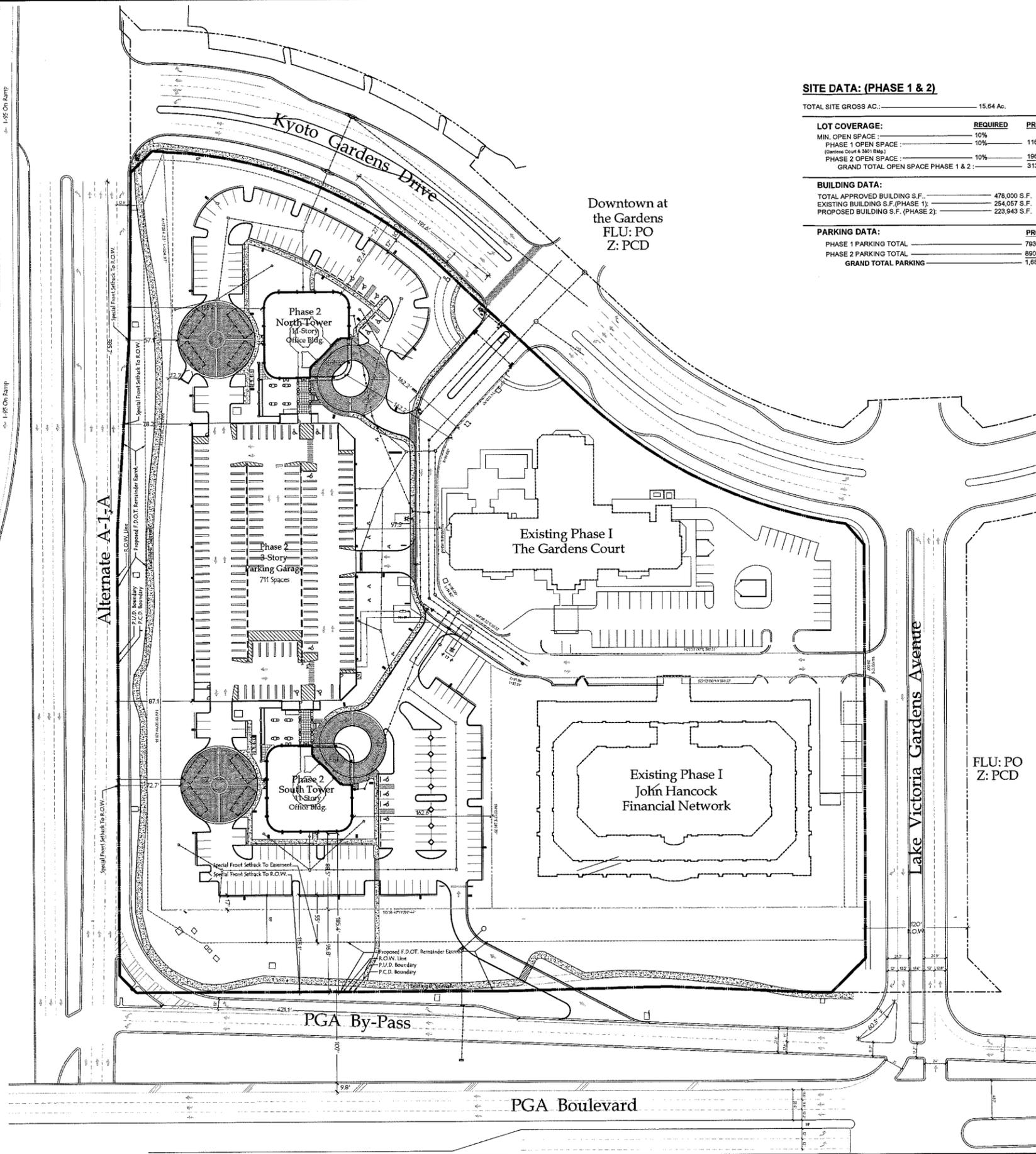
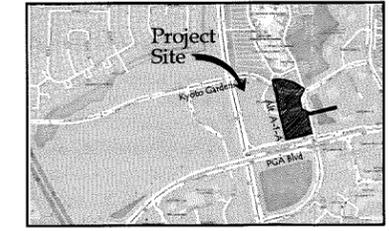
WAIVERS:

	WAIVERS	PROPOSED	REQUESTED WAIVERS
1. Max. Building Height - Phase 2	Sec. 78-153 (36 feet)	139'-4" plus 50' to the top of the Proposed Art in Public Plaza (previous approval 08L Ord 42-2001)	Yes

GENERAL NOTES:

- ALL HANDICAP ACCESSIBLE RAMPS SHALL MEET ALL APPLICABLE LOCAL, REGIONAL, STATE, AND FEDERAL ACCESSIBILITY GUIDELINES AND REGULATIONS. ANY MODIFICATIONS SHALL BE PROVIDED BY THE ENGINEER OF RECORD.
- ALL LIGHT POLES SHALL BE FIELD LOCATED SO AS TO AVOID CONFLICT WITH ANY EXISTING UTILITIES AND PROPOSED FOR EXISTING VEGETATION.
- ALL ENTRIES AND SIDEWALKS SHALL BE LIGHTED BY A TIMER CLOCK OR PHOTOCELL SENSOR ENGAGED LIGHTING.
- ALL STRIPING SHALL BE THERMOPLASTIC MATERIAL AS APPROVED BY THE CITY OF P.B.G. ALL PAVEMENT AREAS REQUIRING STRIPING SHALL USE WHITE PAVER BRICK.
- SIDEWALKS TO HAVE A FIBROUS EXPANSION JOINT @ 20' O.C.; ALL SIDEWALKS SHALL BE A MINIMUM OF 5' WIDTH.
- ALL CURBS TO BE 12" CURB UNLESS OTHERWISE NOTED.
- CURB RAMPS SHALL CONFORM TO F.D.O.T. INDEX 304 AND A.D.A. REQUIREMENTS FOR TRUNCATED DOME SURFACE.
- HANDICAP PARKING SIGNS SHALL BE PLACED BEHIND THE SIDEWALK IN AREAS WHERE SIDEWALK ABUTS THE STALL AND OUTSIDE THE TWO AND A HALF (2-1/2) FOOT OVERHANG AREA WHERE WHEEL STOPS ARE NOT PROVIDED.
- REGULATORY SIGNS, DIRECTIONAL SIGNS, PAVEMENT MARKINGS AND PEDESTRIAN CROSSWALKS ARE CONCEPTUAL ONLY AND WILL BE FINALIZED WITH CONSTRUCTION PLANS.
- THE PROPOSED SITE SPECIFIC STORM WATER DRAINAGE SYSTEM IS CONCEPTUAL ONLY AND DETAILED PLANS & CALC. SHALL BE SUBMITTED BY THE APPLICANT FOR REVIEW AND BE APPROVED BY THE CITY OF P.B.G. DURING THE CONSTRUCTION REVIEW PROCESS.
- REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING, DETAILS FOR COLORS, TYPE AND MATERIALS.
- ALL NINE FOOT SPACES SHALL BE DOUBLE STRIPED.

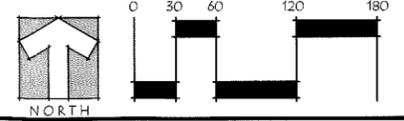
LOCATION MAP:

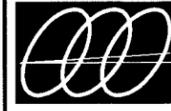


Downtown at the Gardens
FLU: PO
Z: PCD

FLU: PO
Z: PCD

PGA Boulevard





Gentile Glas Holloway O'Mahoney & Associates, Inc.
Landscape Architects
Planners and Environmental Consultants

1907 Commerce Lane
Suite 101
Jupiter, Florida 33458
561-575-9557
561-575-5260 FAX
www.2gho.com

Gardens Corporate Center Palm Beach Gardens, Florida

Designed: MTH/BRD
Drawn: MTH/BRD
Approved: GGG/MTH/EMO
Date: 7/2/15
Job no: 15-0402
Revisions: 09/02/15
10/21/15
01/15/16
02/24/16

Cad no. CADO

Seal

LC C000177

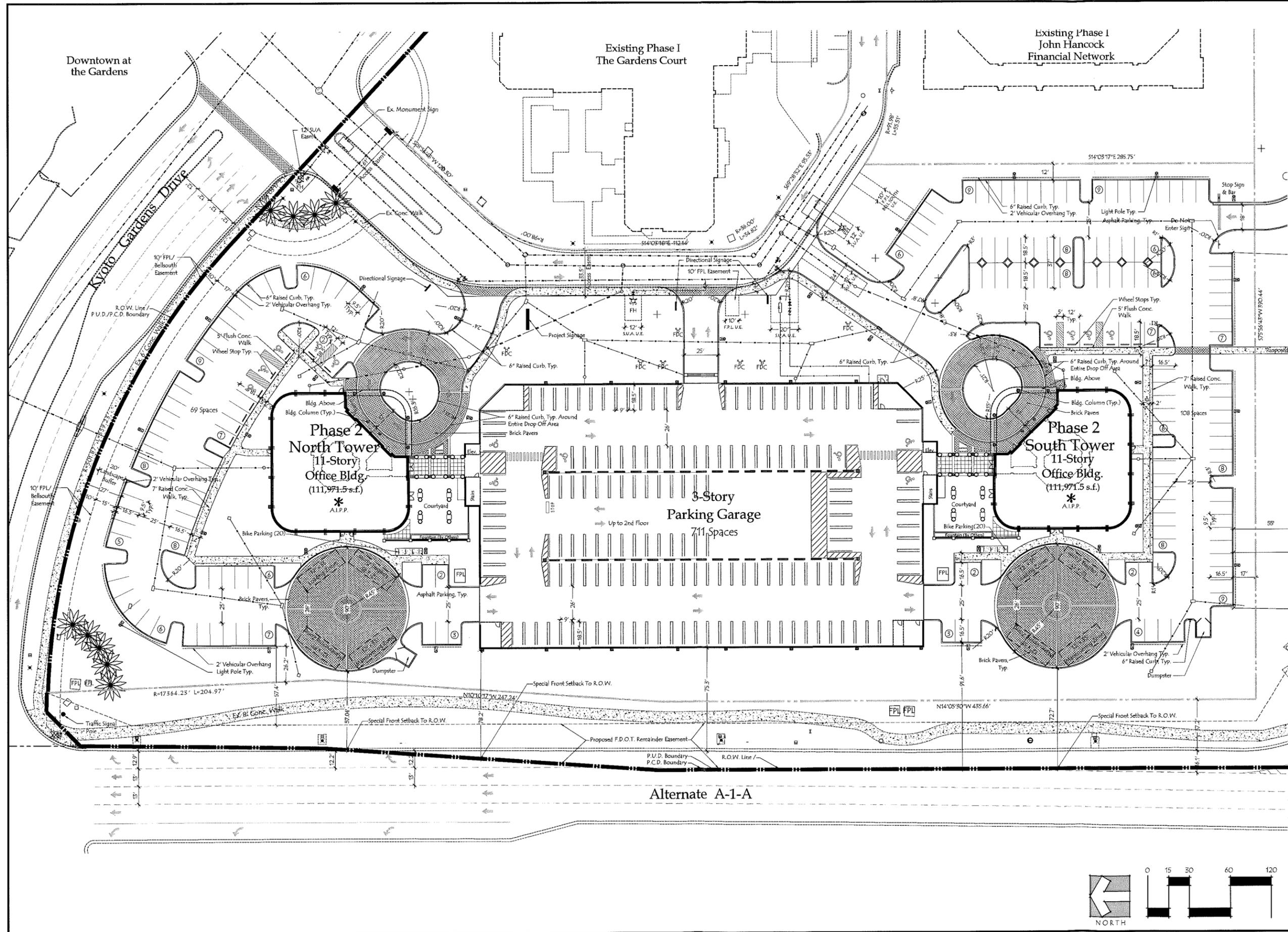
Sheet Title:
Site Development Plan

Scale: 1" = 30'

Sheet No.

SP-1

15-0402



Downtown at the Gardens

Existing Phase I
The Gardens Court

Existing Phase I
John Hancock
Financial Network

**Phase 2
North Tower
11-Story
Office Bldg.
(111,971.5 s.f.)**
*
A.I.P.P.

**3-Story
Parking Garage
711 Spaces**
Up to 2nd Floor

**Phase 2
South Tower
11-Story
Office Bldg.
(111,971.5 s.f.)**
*
A.I.P.P.

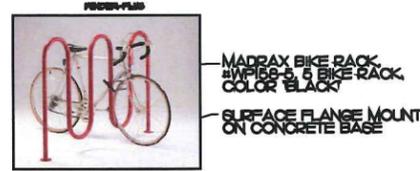
Alternate A-1-A



**Gentle Glas
Holloway
O'Mahoney
& Associates, Inc.**
Landscape Architects
Planners and
Environmental Consultants

1907 Commerce Lane
Suite 101
Jupiter, Florida 33458
561-575-9557
561-575-5260 FAX
www.2gho.com

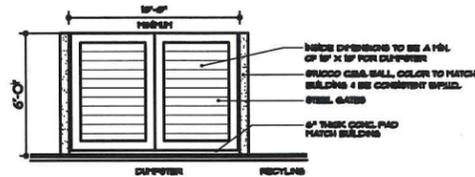
Gardens Corporate Center
Palm Beach Gardens, Florida



BIKE RACK EQUAL TO UPB6-5 5 LOOP UNDER-PLUS FOR 5 BIKES W/ INGROUND INSTALLATION. 4 POWDER COATED FINISH TO MATCH BENCHES AS MANUFACTURED BY MADRAX. 4 DISTR. BY CONTRACT CONNECTIONS (888-432-2283).

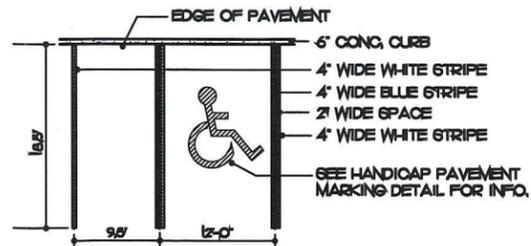
Bike Rack Detail

NTA



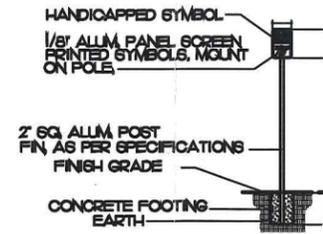
Dumpster Enclosure Detail

NTA



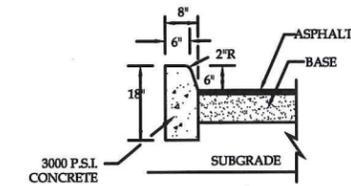
Handicap Parking Stall Detail

NTA



Disabled Parking Sign

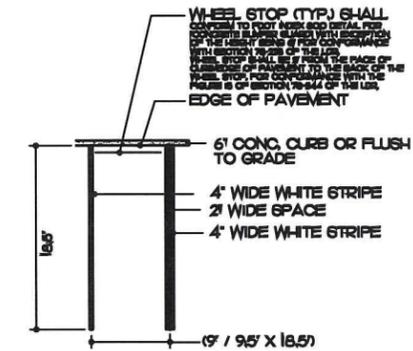
NTB



Type "D" Curb Detail

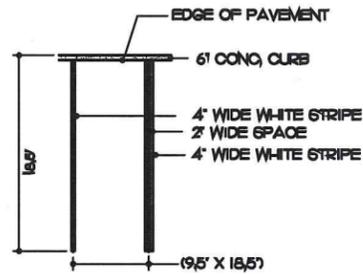
REFER TO FOOT INDEX 300 FOR ADDITIONAL INFORMATION.

NTA



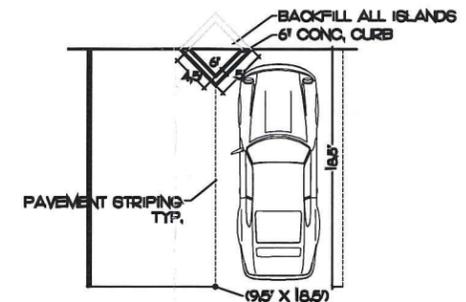
Wheel Stop Parking Stall Detail

NTA



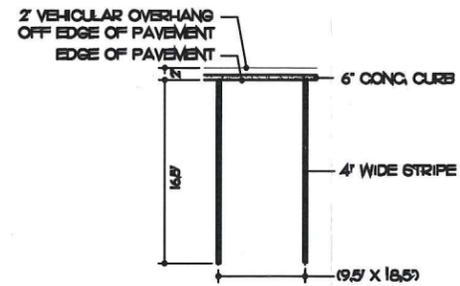
'D' Curb Parking Stall Detail

NTA



Parking Diamond Detail

NTA



2' Overhang Parking Stall Detail

NTA

Designed: MTH/BRD
Drawn: MTH/BRD
Approved: GGG/MTH/EMO
Date: 6/25/15
Job no. 15-0402
Revisions: 09/02/15
10/21/15
02/17/16

Cad no. CAD0

Seal

LC C000177
Sheet Title:
**Site
Plan
Details**

Scale: As Shown

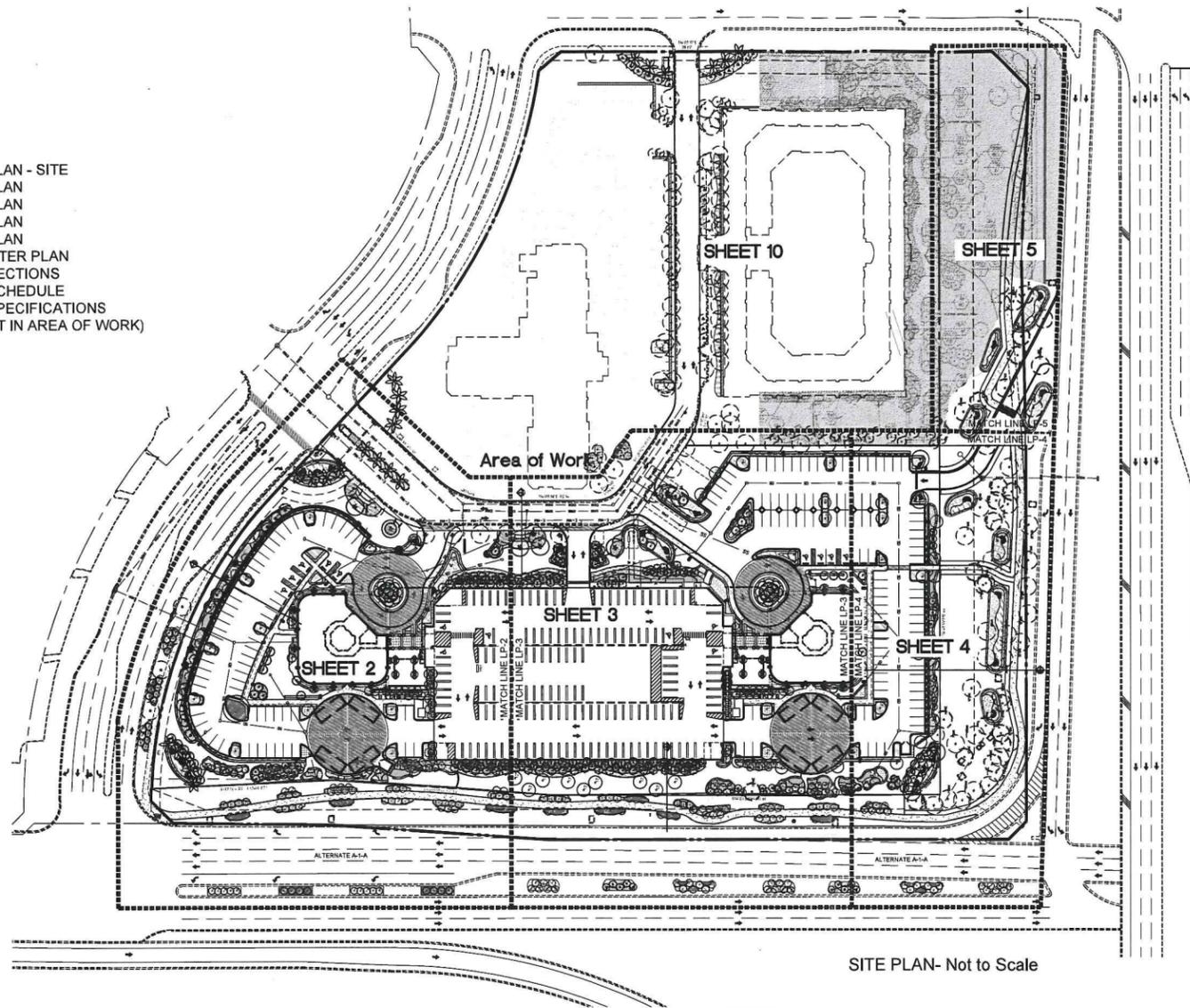
Sheet No.

SP-2

15-0402

SHEET INDEX

LP-1	LANDSCAPE PLAN - SITE
LP-2	LANDSCAPE PLAN
LP-3	LANDSCAPE PLAN
LP-4	LANDSCAPE PLAN
LP-5	LANDSCAPE PLAN
LP-6	GARAGE PLANTER PLAN
LP-7	LANDSCAPE SECTIONS
LP-8	LANDSCAPE SCHEDULE
LP-9	LANDSCAPE SPECIFICATIONS
LP-10	PARCEL B (NOT IN AREA OF WORK)



SITE PLAN- Not to Scale

OPEN SPACE REQUIREMENTS

1 SPECIMEN TREE X 25 PTS	25 PTS
23 TREES X 15 PTS	345 PTS
26 TREES X 15+2=17 PTS	442 PTS
17 TREES X 15+4=19 PTS	323 PTS
37 TREES X 1 PT	37 PTS
42 TREES X 1 PT	42 PTS
32 TREES X 1 PT	32 PTS
8 TREES X 15+4=19 PTS	152 PTS
42 TREES X 20 PTS	840 PTS
55 TREES X 20 PTS	1,100 PTS
7 TREES X 20+25=45 PTS	315 PTS
28 PALMS X 1 PT	28 PTS
43 PALMS X 3.3+2=5.3 PTS	227.9 PTS

LANDSCAPE TABULAR

SPECIMEN TREES (13" DBH OR GREATER)	15 ADDITIONAL POINTS
SPECIMEN PLANTS	25 ADDITIONAL POINTS
SPECIMEN PALMS	20 PTS. PLUS 1 PT/IN GREATER THAN 5" DBH
NATIVE TREES (5" DBH)	15 POINTS PLUS 1 PT/FT GREATER THAN MIN.
CITY PREFERRED TREE SPECIES 12" HT. MIN.	5 POINTS
TREES NOT LISTED ON LIST OR LESS THAN 12" HT	3.3 POINTS PLUS 1 PT/CT GREATER THAN 8" MIN.
CITY PREFERRED PALMS SPECIES 8" CT	1 POINT
PALMS NOT LISTED OR LESS THAN MINIMUM	1 POINT
ALL SHRUBS	2 POINTS/10 SF OR 1/4 PT EA.
ALL GROUND COVERS	1/2 POINT/10 SF
GRASS / SOD	11 PER 100 SF POINTS REQUIRED
TOTAL POINTS REQUIRED - 11,237 PTS.	POINTS PROVIDED
TOTAL POINTS PROVIDED - 20,486 PTS.	

25 ADDITIONAL POINTS	44,628 SQ. FT. (10.24 AC)
15 ADDITIONAL POINTS	44,628 SQ. FT. (10% OF TOTAL SITE)
25 ADDITIONAL POINTS	196,808 SQ. FT. (44.1% OF TOTAL SITE)
20 PTS. PLUS 1 PT/IN GREATER THAN 5" DBH	78,723.2 SQ. FT. (40% OF OPEN SPACE, 196,808 SQ. FT. SQ. FT.)
15 POINTS PLUS 1 PT/FT GREATER THAN MIN.	76,068 SQ. FT. (38.8% OF OPEN SPACE)
5 POINTS	
3.3 POINTS PLUS 1 PT/CT GREATER THAN 8" MIN.	
1 POINT	
1 POINT	
2 POINTS/10 SF OR 1/4 PT EA.	
1/2 POINT/10 SF	
11 PER 100 SF POINTS REQUIRED	
POINTS PROVIDED	

TOTAL SITE AREA	446,275 SQ. FT. (10.24 AC)
TOTAL OPEN SPACE REQUIRED	44,628 SQ. FT. (10% OF TOTAL SITE)
TOTAL OPEN SPACE PROVIDED	196,808 SQ. FT. (44.1% OF TOTAL SITE)
(LANDSCAPE OPEN SPACE FOR POINT CALCULATION ONLY)	
MAXIMUM AMOUNT OF SOD PERMITTED	78,723.2 SQ. FT. (40% OF OPEN SPACE, 196,808 SQ. FT. SQ. FT.)
SOD PROVIDED	76,068 SQ. FT. (38.8% OF OPEN SPACE)

LANDSCAPE POINTS REQUIRED	5,355.36 PTS (OF REQ OPEN SP.)/23,611.44 (OF PROV. OPEN SP.)/68,128/100 = 682 x12
LANDSCAPE POINTS PROVIDED	30,763 POINTS (NOT INCL. EXISTING VEGETATION)
(WAIVER FOR REQUIRED POINTS)	
4 PREFERRED TREE SPECIES PROVIDED	80 %
4 PREFERRED PALM SPECIES PROVIDED	100 %
11 PREFERRED SHRUBS SPECIES PROVIDED	79 %

19,375 SHRUBS X 1 POINT	19,375 PTS
2,229 GROUND COVERS X 1/2 PT	1,114.5 PTS
76,068 SQ FT SOD X 1/2 PT/10 SF	1,901.7 PTS
TOTAL PROVIDED POINTS	30,763 PTS

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

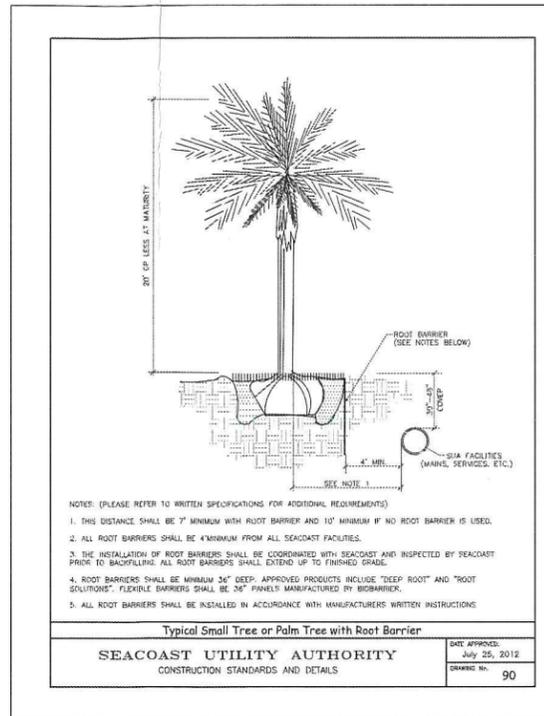
PLEASE NOTE:

Land Development Notes for Palm Beach Gardens

- Landscaping shall be field adjusted to avoid any conflicts with street lighting and utilities.
- All landscape areas shown shall receive 100% coverage with an automatic irrigation system. Irrigation spray shall not wet or cross any walk pavements or structures. All irrigation fixtures and equipment shall meet all traffic standards for 'clear zone' criteria. Irrigation systems shall provide an automatic rain switch override as required per code.
- No planting in lake maintenance easement except with special permit by the Northern Palm Beach County Drainage Improvement District and the City of Palm Beach Gardens.
- Property Owner shall hold harmless the Engineer, Landscape Architect, all governing agencies and any authorized easement users from any damages or claims associated with planting, maintenance or removal of planting that is installed in any easement. Owner shall grant removal agreements to authorized easement users as required to accommodate Owner's request for planting in easement.
- No Ficus Trees shall be planted within twenty-five (25) feet of any utility easement, drainage easement or any habitable structure. Any Ficus Tree planted within twenty-five (25) feet of any utility or drainage easement shall be in approved containers or employ approved root barrier methods.
- All landscaping within the un-built portions of the Road Right-of-Way are considered temporary and subject to special permit conditions. All temporary landscaping is subject to removal upon construction of future road phases.

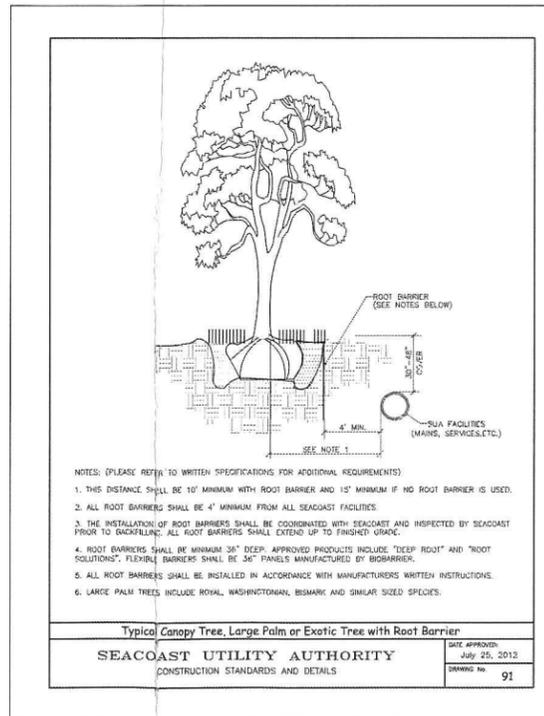
PLANTING SETBACK AND CLEARANCE NOTES

- Refer to Civil Engineering Plans for all roadways, utilities, drainage, road striping, sleeving, etc. Contractor shall verify the locations of all utilities and pavements prior to planting.
- Maintain "Safe-eight corners" and "Safe-eight Clear Zones" (SSCZ) as shown on plan and detail for planting within. Within safe-eight clear zones, plant materials shall not obstruct a vertical zone between 30" inches and 8' feet as measured from crown of road.
- Maintain vertical clearances for landscaping according to Palm Beach County Streetscape Standards.
 - Road pavements - Thirteen feet six inches (13'-6") minimum clearance above pavement.
 - Walkways, Bike paths and cart paths - Ten feet (10'-0") minimum clearance above pavement.
- Where trees are planted within 15' any right-of-way, sidewalk or utility, root barrier shall be provided along object to be protected. Verify clearances with utility company or agency install root barriers in accordance with Manufacturer's specifications
- Landscaping shall be adjusted to avoid conflicts with streetlights and utilities.
- Planting clearances and separation from utilities shall conform to Seacoast Utilities' criteria.
 - General setbacks from face of trunk to any water main, sewer main, fire hydrant or service (meters, back flow preventers, check valves, cleanouts etc.)
 - All large canopy trees-15' min. (ii). All small + medium trees-10' min. (iii). All large palms (i.e. royals, phoenix, coconut)-15' min. (iv). All small + medium palms (i.e. queen, foxtail, alexander)- 10' min. (v). All hedges, shrubs and ground covers - 5' min.
 - Allowable setback of face of trunk from Seacoast Utilities with 36" deep PVC panel-type root barrier. ("Deep-Root" UB48-2 or Seacoast approved equal) . All root barriers shall be 4' min. clear to all SUA facilities.
 - All large canopy trees- 10' min. w/ 8' min. clear to rootball. (i). All small and medium trees- 7' min. w/ 5' min. clear to rootball. (ii). All large palms (i.e. royals, phoenix, coconut) -10' min. w/ 8' clear to rootball



- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
- THIS DISTANCE SHALL BE 7' MINIMUM WITH ROOT BARRIER AND 10' MINIMUM IF NO ROOT BARRIER IS USED.
 - ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEACOAST FACILITIES.
 - THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 - ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
 - ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS

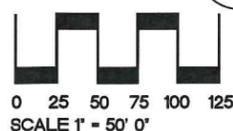
Typical Small Tree or Palm Tree with Root Barrier
SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
DATE APPROVED: July 25, 2012
DRAWING NO. 90



- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
- THIS DISTANCE SHALL BE 10' MINIMUM WITH ROOT BARRIER AND 15' MINIMUM IF NO ROOT BARRIER IS USED.
 - ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEACOAST FACILITIES.
 - THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 - ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS". FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
 - ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 - LARGE PALM TREES INCLUDE ROYAL, WASHINGTONIAN, BISMARK AND SIMILAR SIZED SPECIES.

Typical Canopy Tree, Large Palm or Exotic Tree with Root Barrier
SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS
DATE APPROVED: July 25, 2012
DRAWING NO. 91

Resubmission-City of PBG
02/15/16



KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC26000275

Gardens Corporate Center, LLC
3874 KYOTO GARDENS DRIVE



20150215-Resubmission
20160203-Resubmission
20160213-Resubmission
20151120-Resubmission
20151020-Resubmission
20150202-For Submission
20150101-For Submission
20150615-Issued to Client

DRAWING TITLE:	
Landscape Plan	
Sheet	
LP-1	



KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
DeLray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg. LA 1039
Cert. of Authorization LC26000275

Gardens Corporate Center, LLC

3874 KYOTO GARDENS DRIVE



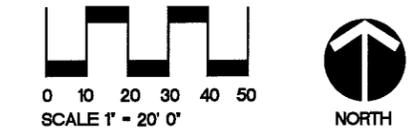
ALTERNATE A-1-A

NOTE: MAINTAIN LANDSCAPING MIN 2'-6" FROM EDGE OF CURB.

NOTE: MAINTAIN LANDSCAPING MIN 2'-6" FROM EDGE OF CURB.

CAUTION: PLEASE NOTE
Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits in hand prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

Resubmission-City of PBG
02/15/16



20150215-Resubmission
20160103-Resubmission
20160113-Resubmission
20151129-Resubmission
20150202-For Submission
20150201-For Submission
20150615-Issued to Client
ISSUE HISTORY

COMM NO. 15007A
PROJ MGR: AM
DRAWN BY: AM
CHECKED BY: KJW

DRAWING TITLE:
Landscape Plan
Sheet
LP-2

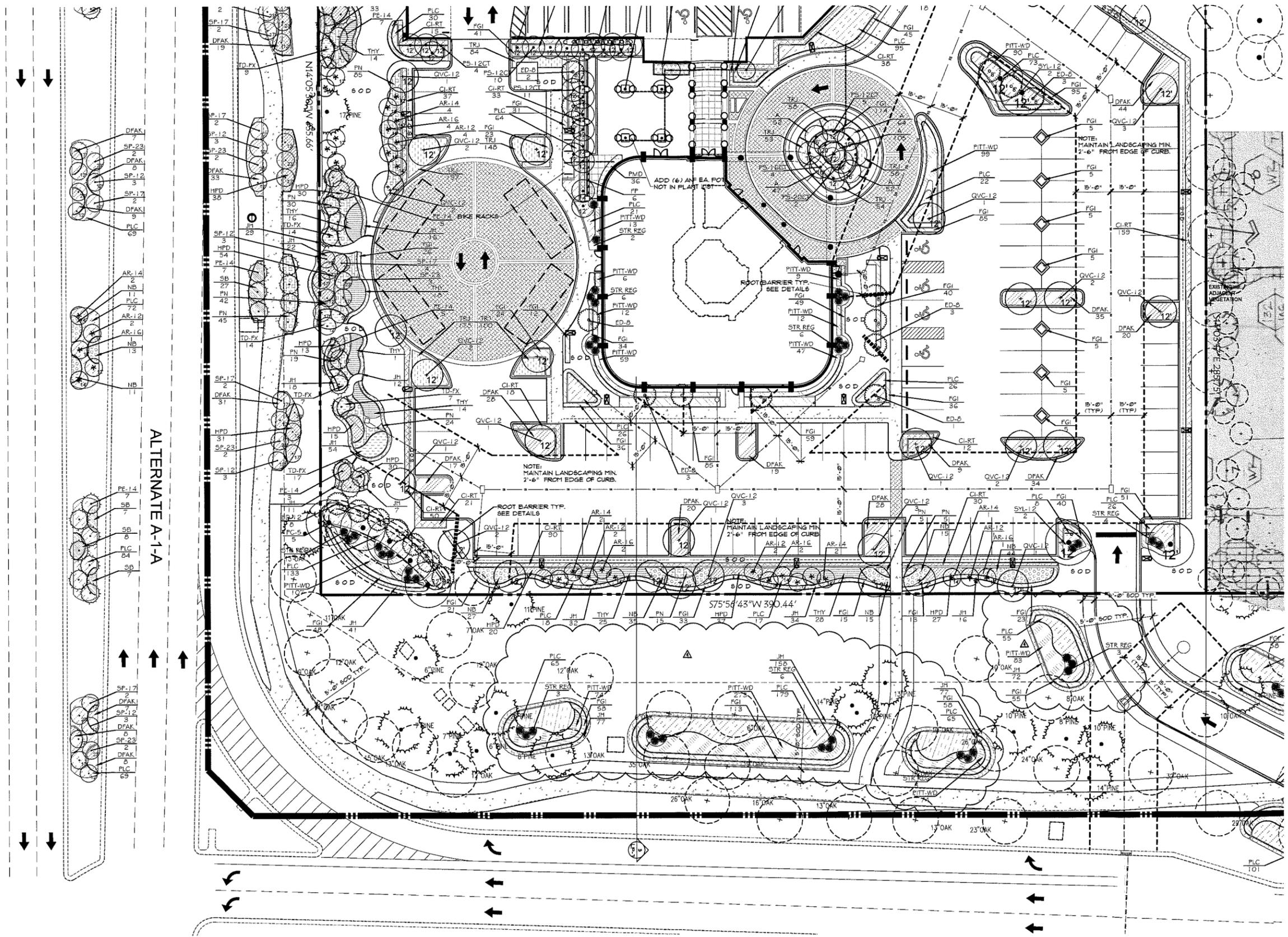
This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - It is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.



KRENT WIELAND DESIGN, INC. LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC26000275

Gardens Corporate Center, LLC
3874 KYOTO GARDENS DRIVE

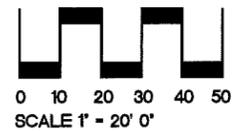


ALTERNATE A-1-A

CAUTION: PLEASE NOTE
Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - It is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.

Resubmission - City of PBG
02/15/16



20150215 - Resubmission
20160203 - Resubmission
20161113 - Resubmission
20181120 - Resubmission
20191020 - Resubmission
20190921 - For Submission
20190701 - For Submission
20190615 - Issued to Client
ISSUE HISTORY
COMM NO. 15007A
PROJ MGR AM
DRAWN BY: AM
CHECKED BY: KWL

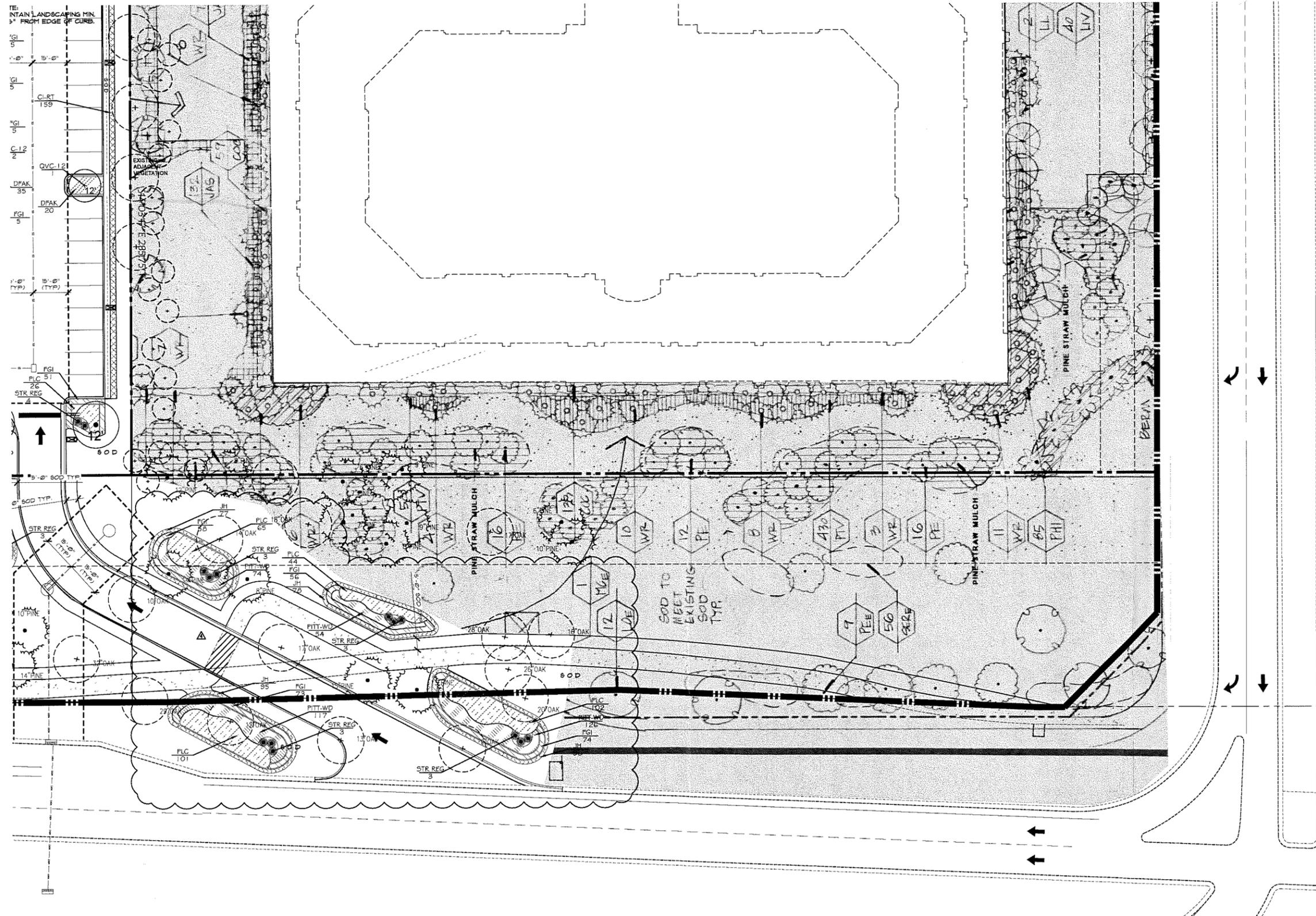
DRAWING TITLE
Landscape Plan
Sheet
LP-4



KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC26000275

Gardens Corporate Center, LLC
3874 KYOTO GARDENS DRIVE



20150215-Resubmission
20160203-Resubmission
20160113-Resubmission
20151120-Resubmission
20151020-Resubmission
20150921-For Submission
20150701-For Submission
20150615-Issued to Client

ISSUE HISTORY
COMM NO. 15007A
PROJ MGR: AM
DRAWN BY: AM
CHECKED BY: KW

DRAWING TITLE:
Landscape Plan

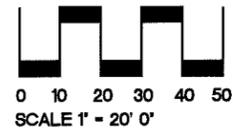
Sheet
LP-5

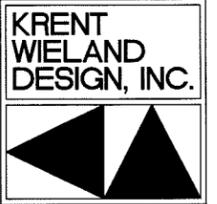
CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - It is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.

Resubmission-City of PBG
02/15/16

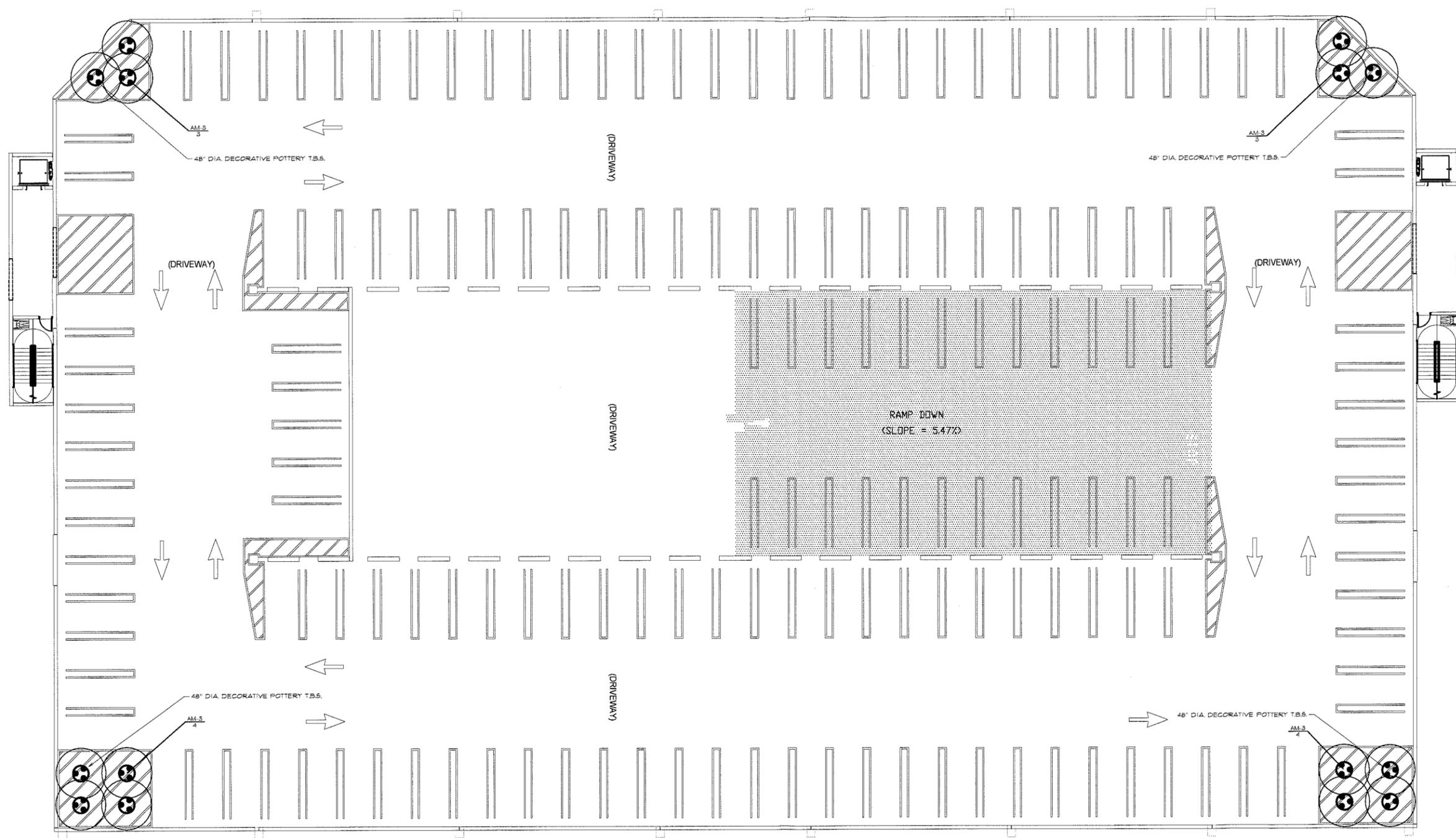




KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC26000275

Gardens Corporate Center, LLC
3874 KYOTO GARDENS DRIVE



PLANT SCHEDULE GARAGE

PALM TREES	BOTANICAL NAME	COMMON NAME	CONT	H	S	QTY
AM-3	Adonidia merrillii Triple, all heads at OA height, Unscarred Trunk	Christmas Palm - Triple	B & B	12' OA	12'	14

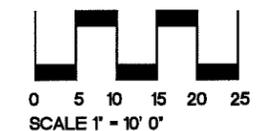
20150215-Resubmission
20160203-Resubmission
20160113-Resubmission
20151120-Resubmission
20151020-Resubmission
20150902-For Submission
20150701-For Submission
20150615-Issued to Client
ISSUE HISTORY
COMM NO. 15007A
PROJ MGR AM
DRAWN BY: AM
CHECKED BY: KU

DRAWING TITLE:
**Garage Planter
Plan**
Sheet
LP-6

CAUTION: PLEASE NOTE
Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - It is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.

Resubmission-City of PBG
02/15/16

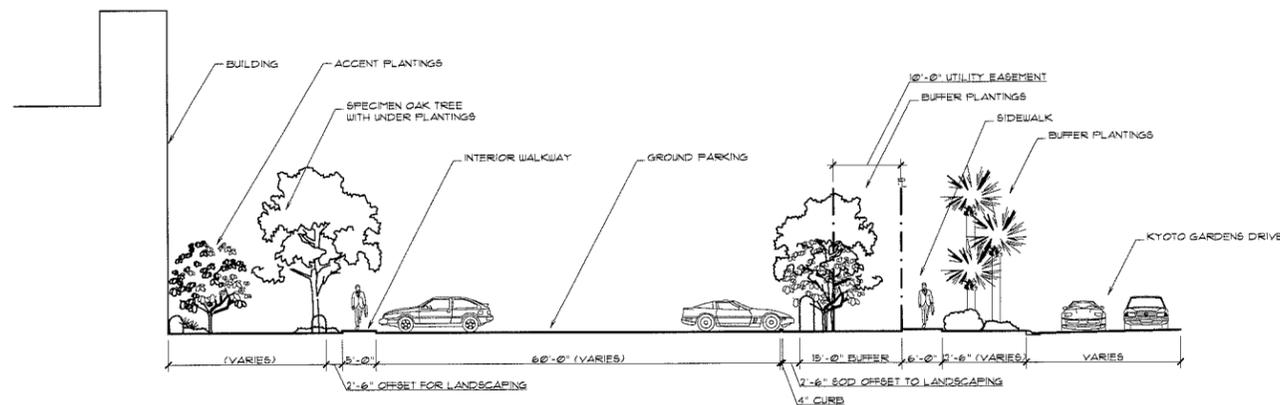




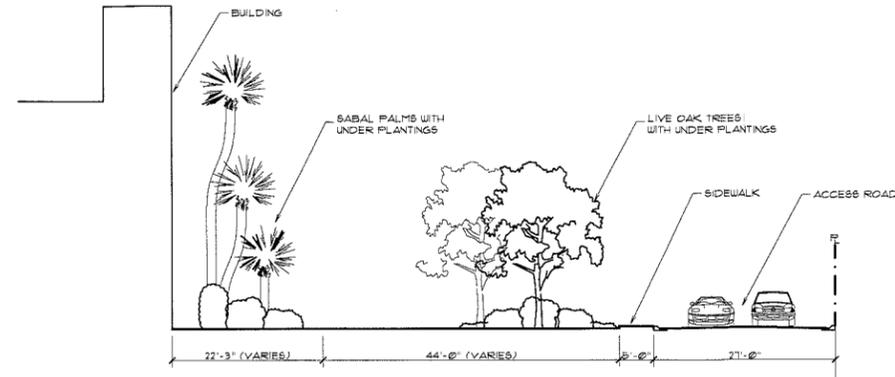
KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC26000275

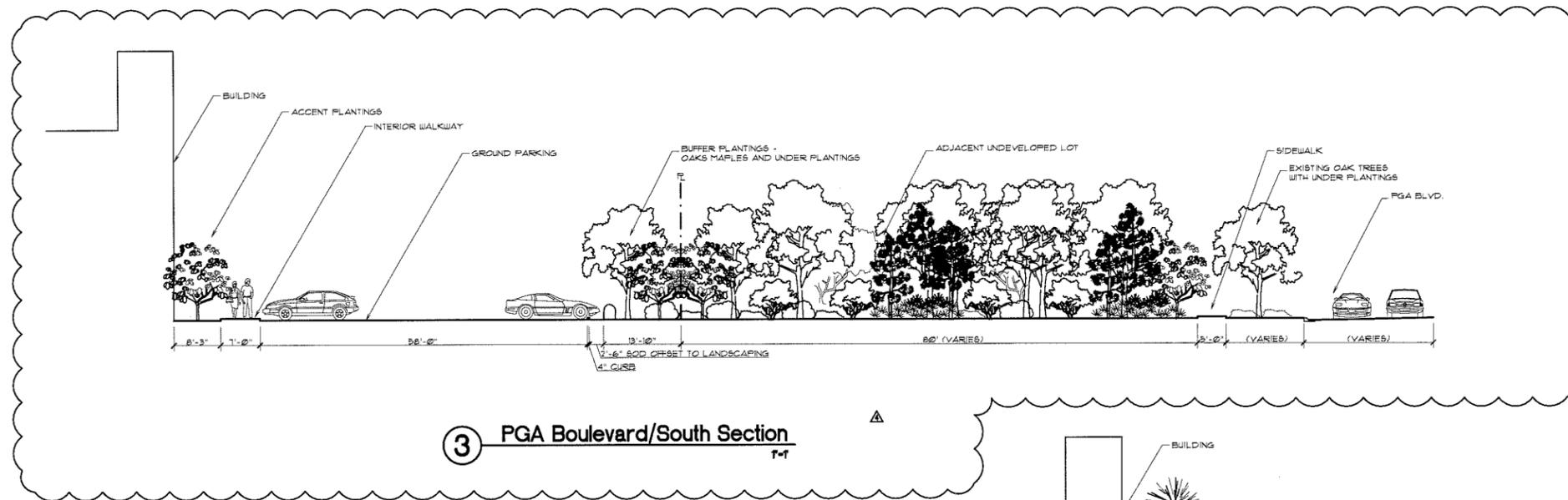
Gardens Corporate Center, LLC
3874 KYOTO GARDENS DRIVE



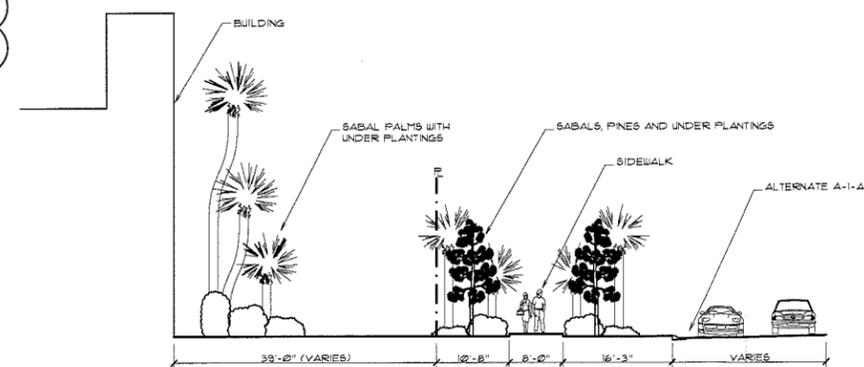
① Kyoto Grdns. Dr./North Section



② East Property Section



③ PGA Boulevard/South Section



④ Alt A-1-A/West Property Section

20150215 - Resubmission
20160203 - Resubmission
20160213 - Resubmission
20151129 - Resubmission
20151020 - Resubmission
20150902 - For Submission
20150701 - For Submission
20150615 - Issued to Client

ISSUE HISTORY
COMM NO. 15007A
PROJ MGR: AM
DRAWN BY: AM
CHECKED BY: KW

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - It is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.

Resubmission - City of PBG
02/15/16



DRAWING TITLE:	
Landscape Sections	
Sheet	LP-7



KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg LA 1039
Cert of Authorization LC26000275

Gardens Corporate Center, LLC
3874 KYOTO GARDENS DRIVE

PLANT SCHEDULE SITE LIMITS

TRFES	BOTANICAL NAME	COMMON NAME	CONT	CAL	H	S	QTY
			B & B		T2' H	5'	2T
AR-12	Acer rubrum full dense canopy, straight unscarred trunk	Red Maple	B & B		14' H	5'-6"	26
AR-14	Acer rubrum full dense canopy, straight unscarred trunk	Red Maple	B & B		16' H	5'-6"	17
AR-16	Acer rubrum full dense canopy, straight unscarred trunk	Red Maple	B & B		16' H	5'-6"	17
ED-10	Elaeocarpus decipiens Full, Symmetrical Canopy, Minimum 4' C.T., Standard	Japanese Blueberry Tree	B & B	1.5'Gal	10'-12"	8'-10"	21
ED-12	Elaeocarpus decipiens Full, Symmetrical Canopy, Minimum 4' C.T., Standard	Japanese Blueberry Tree	B & B	1.5'Gal	12' OA	8'-10"	21
ED-8	Elaeocarpus decipiens Full, Symmetrical Canopy, Minimum 3' C.T., Standard	Japanese Blueberry Tree	B & B	1.5'Gal	7'-8"	7'-8"	24
IEPH-16	Ilex x attenuata 'East Palatka' STD, 6'-7' C.T.	East Palatka Holly	Contained		16'-18' OA	6'-8"	8
PE-14	Pinus elliotii 'Densa' Dense foliage straight unscarred trunk	Slash Pine	B & B	5'Gal	14' H	7'-8"	108
QV-12	Quercus virginiana full dense canopy, straight unscarred trunk	Southern Live Oak	B & B		12' OA	5'	3
QVS-30	Quercus virginiana SPECIMEN, PROVIDE PHOTO TO L.A. FOR APPROVAL	Southern Live Oak	Collected		30' OA	30'	1
QV-E	Quercus virginiana Existing To Remain	Southern Live Oak	EXISTING				6
QV-RL	Quercus virginiana Relocated	Southern Live Oak	RELOCATED				5
QV-R	Quercus virginiana Existing To Be Relocated	Southern Live Oak	TO BE RELOCATED				5
QVC-16	Quercus virginiana 'Cathedral' Full, Dense, Symmetrical Canopy	Cathedral Oak	B & B	3-4'Gal	16' OA	10'	10
QVC-12	Quercus virginiana 'Cathedral' 4' min C.T. Full dense symmetrical canopy, straight unscarred trunk	Cathedral Oak	Contained	4'	12'	5'	39
WBP-8	Strelitzia nicotai	Giant Bird of Paradise	Contained		8' OA	8'-10"	5
PC-EX	Phoenix cananensis EXISTING	Canary Island Date Palm	B & B	30'	10' C.W.	5' 20'	9
PC-5	Phoenix cananensis Straight Trunk, Intact Fronds, Full head	Canary Island Date Palm	B & B	30'	5' CT	20'	7
SYL-12	Phoenix sylvestris full head, straight unscarred trunk	Wild Date Palm	Collected B&B		12' C.T.		4
PS-1 GCT	Ptychosperma elegans Full Heads, Single, Straight Unscarred Trunks	Alexander Palm - Single	B & B		16' C.T.		8
PS-20CT	Ptychosperma elegans Full Heads, Single, Straight Unscarred Trunks	Alexander Palm - Single	B & B		20' CT	8'	4
PS-1 2CT	Ptychosperma elegans STAGGER HTS.	Alexander Palm	Collected B&B		12' C.T.	8'	60
PTY-MAC	Ptychosperma macarthurii Multi-trunk, min. 6 stems	Macarthur Palm	B & B		25' OA		4
SP-12	Sabal palmetto Straight Trunk, Candle Cut	Sabal Palm	B & B	12'	12' C.T.	10'	49
SP-C15	Sabal palmetto 'S' Curved Trunk, Candle Cut	'S' Curved Sabal Palm	B & B	12'	15' C.T.		45
SP-17	Sabal palmetto Straight Trunk, Candle Cut	Sabal Palm	B & B	12'	17' CT	10'	34
SP-23	Sabal palmetto Straight Trunk, Candle Cut	Sabal Palm	B & B	12'	23' C.T.	10'	33
SP-C25	Sabal palmetto Curved Trunk, Candle Cut	'S' Curved Sabal Palm	B & B	12'	25' C.T.		39
SP-C40	Sabal palmetto Curved Trunk, Candle Cut	'S' Curved Sabal Palm	B & B	12'	40' C.T.		47
SP-PX2	Sabal palmetto	Sabal Palm	EXISTING		16'-25'		4

PLANT SCHEDULE SITE LIMITS

SHRUBS	BOTANICAL NAME	COMMON NAME	CONT	H	W	SPACING	QTY
CG-5	Clusia guttata Full Dense Foliage To Base	Small Leaf Clusia	Contained	5'	2'-3"		167
FP	Ficus pumila Full pots	Creeping Fig	3 gal	12"	12"		12
STR REG	Strelitzia reginae Full intact leaves. Not spots or burns, good color.	Bird Of Paradise	10 gal	3'	3'		137
SHRUB AREAS	BOTANICAL NAME	COMMON NAME	CONT	H	W	SPACING	QTY
A	Annuals Full Foliage, Blooming, Color and Species To Be Approved By LA or Client	Annuals (Seasonal Color)	6" pots			12" o.c.	741
AWB-W	Begonia odorata 'Alba' Full, Dense Foliage To Base	White Angel Wing Begonia	3 gal	18"	18"	18" o.c.	124
CI-G	Chrysobalanus icaco Full, Dense Foliage To Base	Green Coco Plum	3 gal	18"	18"	24" o.c.	20
CI-RT	Chrysobalanus icaco 'Red-Tip' Full, Dense Foliage To Base	Red-Tip Coco Plum	3 gal	18"	18"	24" o.c.	743
FGI	Ficus macrocarpa 'Green Island' Full, Dense Foliage To Base	Green Island Ficus	3 gal	12"	10-12"	18" o.c.	4,017
THY	Galphimia glauca Full, Dense Foliage To Base	Thyris	3 gal	24"	24"	30" o.c.	713
HPD	Hamelia patens 'Compacta' Full, Dense Foliage To Base	Compact Fire Bush	3 gal	24"	24"	24" o.c.	1,853
JH	Juniperus horizontalis Full, Dense, Spreading Foliage	Creeping Juniper	3 gal	16"	16"	18" o.c.	1,835
LM-EG	Liriope muscari 'Emerald Goddess' Full, Dense Pots	Emerald Goddess Liriope	1 gal	12"	12"	12" o.c.	1,166
NB	Nephtrolepis biserrata 'Macho Fern' Full, Dense Foliage To Base	Macho Fern	3 gal	18"	18"	24" o.c.	276
PITT-WD	Pittosporum tobira 'Wheeler' Full, Dense Foliage	Wheeler's Dwarf Pittosporum	3 gal	14"	16"	18" o.c.	2,208
PLC	Plumbago auriculata 'Imperial Blue' Full, Dense Foliage To Base	Imperial Blue Plumbago	3 gal	16"	16"	24" o.c.	2,913
PMD	Podocarpus macrophyllus 'Pungles' Full, Dense Foliage To Base	Dwarf Shrubby Yew 'Pungles'	3 gal	12"	14"	14" o.c.	128
PN	Psychotria nervosa Full dense foliage to base	Wild Coffee	3 gal	16"	14"	24" o.c.	832
SB	Spartina bakeri Full dense pots	Sand Cord Grass	3 gal., 18"x18"			30" o.c.	477
TRJ	Trachelospermum asiaticum 'Minima' Full, Dense, Intact Foliage	Small Leaf Confederate Jasmine	1 gal	8"	12"	12" o.c.	2,229
TD-PX	Tripsacum dactyloides Full, Dense Foliage	Fakahatchee Grass	3 gal	24"	24"	30" o.c.	192
DFAK	Tripsacum floridana Full, Dense Foliage To Base	Dwarf Fakahatchee Grass	3 gal., 18"x18"			30" o.c.	820

NOTE:
All exotic invasive plants shall be removed from NPBCID property,
and all native plants shall remain, plus additional planting in any voids.

SOD - St. Augustine Floratam - Verify S.F. in field
MULCH - 'B' Grade Cypress Mulch - Verify C.Y. in field

ALL PLANT MATERIAL MUST BE FLORIDA NO. 1 GRADE OR BETTER

NOTE:
TEST AND AMEND ALL SOILS AS
NEEDED FOR OPTIMUM PLANT HEALTH

PLANT SCHEDULE PARCEL B

TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	H	S	QTY
IL-EX	Ligustrum lucidum EXISTING	Glossy Privet	B & B		10'-12'	8'-9"	18
PE-EX	Pinus elliotii 'Densa' EXISTING	Slash Pine	B & B	3.5'Gal	10'-20'	6'-7"	3
QV-E	Quercus virginiana Existing To Remain	Southern Live Oak	EXISTING				17
PC-EX	Phoenix cananensis EXISTING	Canary Island Date Palm	B & B	30'	10' C.W.	5' 20'	10
RR-EX	Roystonea regia EXISTING	Royal Palm	B & B	24" DBH	15-22' GW		32
SP-EX2	Sabal palmetto EXISTING	Sabal Palm	EXISTING		16'-25'		23
WR-EX	Washingtonia robusta EXISTING	Washington Palm	B & B		16'-25'		13
SHRUB AREAS	BOTANICAL NAME	COMMON NAME	CONT	H	W	SPACING	QTY
A-EX	Annuals EXISTING	Annuals (Seasonal Color)	6" pots			12" o.c.	481
BV-EX	Bougainvillea hybrid 'Helen Johnson' EXISTING	Dwarf Bougainvillea	3 gal 24" x 24"			24" o.c.	319
CI-EX	Chrysobalanus icaco 'Red-Tip' EXISTING	Red-Tip Coco Plum	3 gal	30"	20"	24" o.c.	476
CRI-EX	Cnrum asiaticum EXISTING	Spider Lily	Existing	3'	3'	36" o.c.	56
JS-EX	Jasminum simplicifolium EXISTING	Wax Jasmine	3 gal	20"	20"	24" o.c.	86
PS-EX	Philodendron selloum EXISTING	Selloum	3 gal	2-3'	2'-3'	24" o.c.	280

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - It is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.

Resubmission-City of PBG
02/15/16

20150215-Resubmission
20160203-Resubmission
20160213-Resubmission
20161120-Resubmission
20151020-Resubmission
20150802-For Submission
20150701-For Submission
20150615-Issued to Client
ISSUE HISTORY

COMM NO. 15007A
PRCJ MGR: AM
DRAWN BY: AM
CHECKED BY: KW

DRAWING TITLE:
Landscape
Schedule

Sheet
LP-8

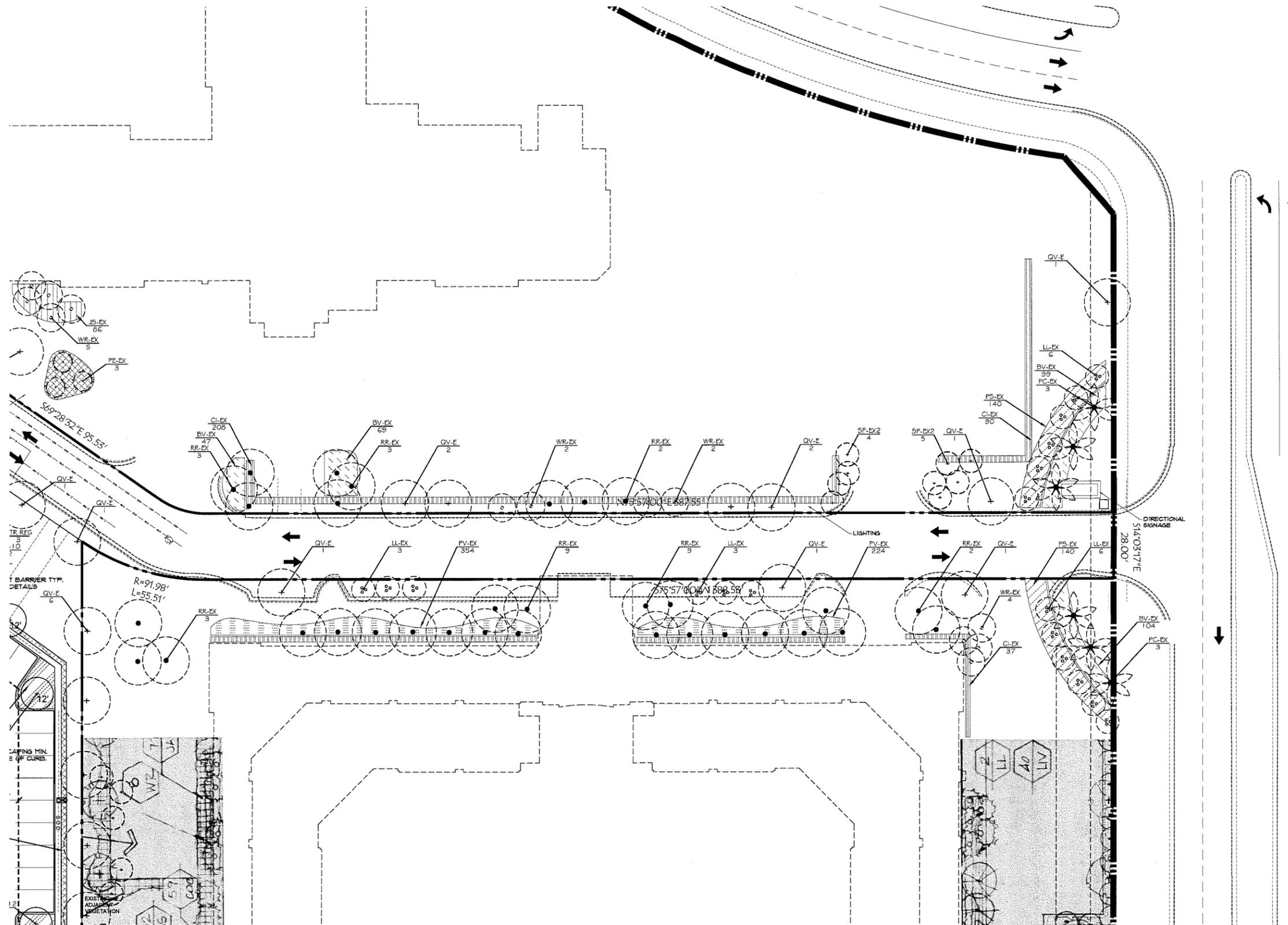


KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Deeray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg LA 1039
Cart. of Authorization LC26000275

Gardens Corporate Center, LLC

3874 KYOTO GARDENS DRIVE



20150215-Resubmission
20160203-Resubmission
20160113-Resubmission
20151120-Resubmission
20151020-Resubmission
20150902-For Submission
20150701-For Submission
20150615-Issued to Client
ISSUE HISTORY
COMM NO. 15007A
PROJ MGR AM
DRAWN BY AM
CHECKED BY KJW

DRAWING TITLE:
**Parcel B
Existing
Landscape
Plan**

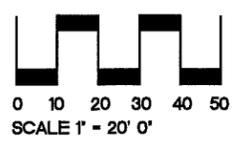
Sheet
LP-10

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdictions affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - It is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.

Resubmission-City of PBG
02/15/16

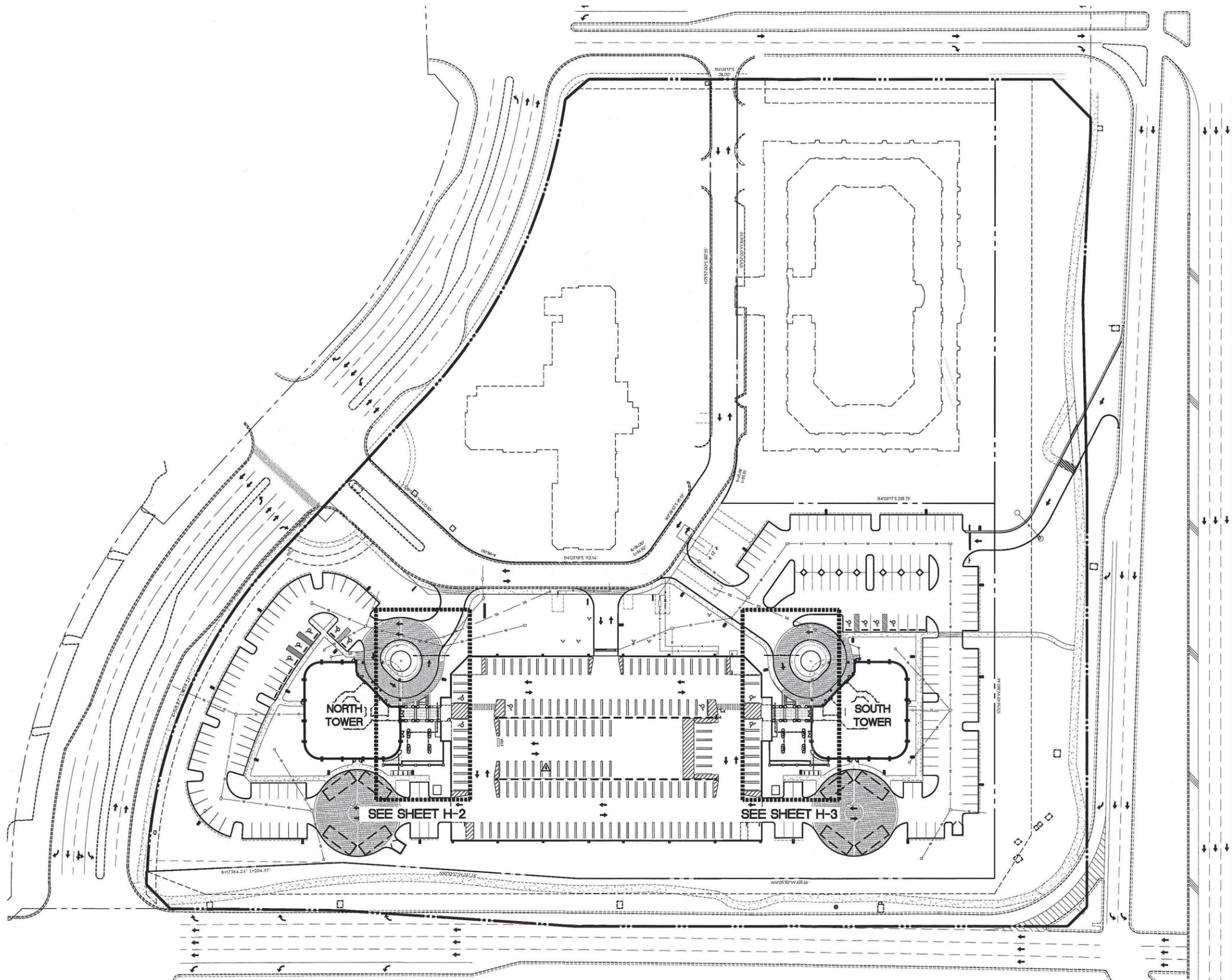




KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC2600275

Gardens Corporate Center, LLC



SHEET INDEX

H-1	HARDSCAPE PLAN - SITE
H-2	NORTH TOWER HARDSCAPE PLAN
H-3	SOUTH TOWER HARDSCAPE PLAN
H-4	NORTH HARDSCAPE DETAILS
H-5	SOUTH HARDSCAPE DETAILS
H-6	HARDSCAPE DETAILS
H-7	HARDSCAPE SPECIFICATIONS

20160215 Resubmission
20151220 Resubmission
20151220 Resubmission
20150302 For Submission
20150902 Issued to ZGH
20150625 Issued to ZGH
20150615 Issued to Client

ISSUE HISTORY

COMM NO. 15007A
PROJ MGR: AM
DRAWN BY: TY
CHECKED BY: AM

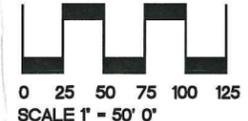
DRAWING TITLE:	
Hardscape Plan	
Sheet	
H-1	

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

THIS DRAWING HAS NOT BEEN REVIEWED BY A STRUCTURAL ENGINEER. VERIFY WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

Resubmission - City of PBG
02/15/16



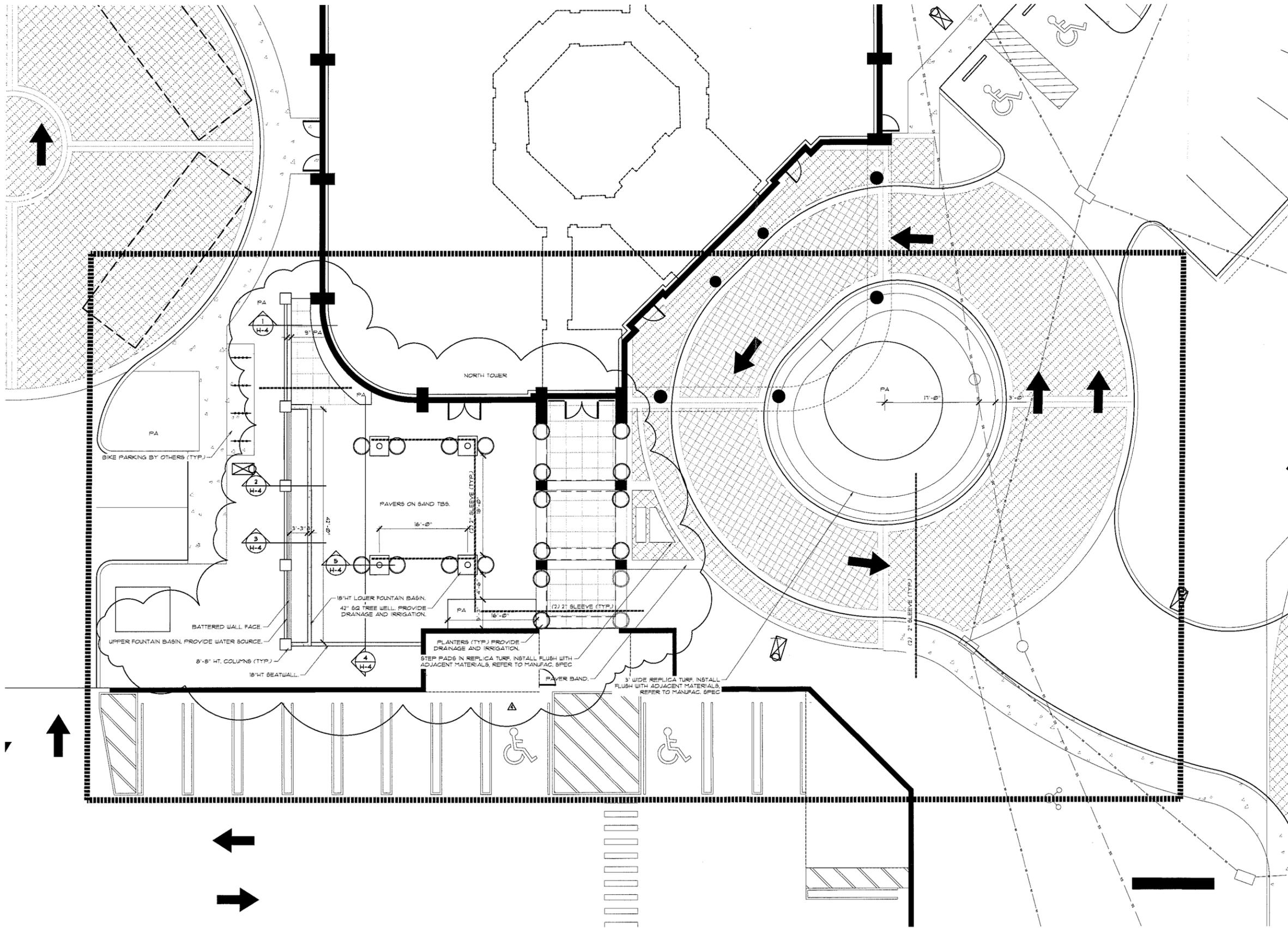
This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - it is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.



KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC2600275

Gardens Corporate Center, LLC



20160215 Resubmission
20151120 Resubmission
20150220 Resubmission
20150202 For Submission
20150201 Issued to 2GH0
20150625 Issued to 2GH0
20150615 Issued to Client
ISSUE HISTORY
COMM NO. 15007A
PROJ MGR: AM
DRAWN BY: TY
CHECKED BY: AM

DRAWING TITLE:
North Tower
Hardscape
Plan

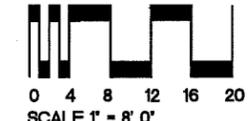
Sheet
H-2

CAUTION: PLEASE NOTE
Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - it is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.

THIS DRAWING HAS NOT BEEN REVIEWED
BY A STRUCTURAL ENGINEER
VERIFY WITH STRUCTURAL ENGINEER
PRIOR TO CONSTRUCTION

Resubmission - City of PBG
02/15/16



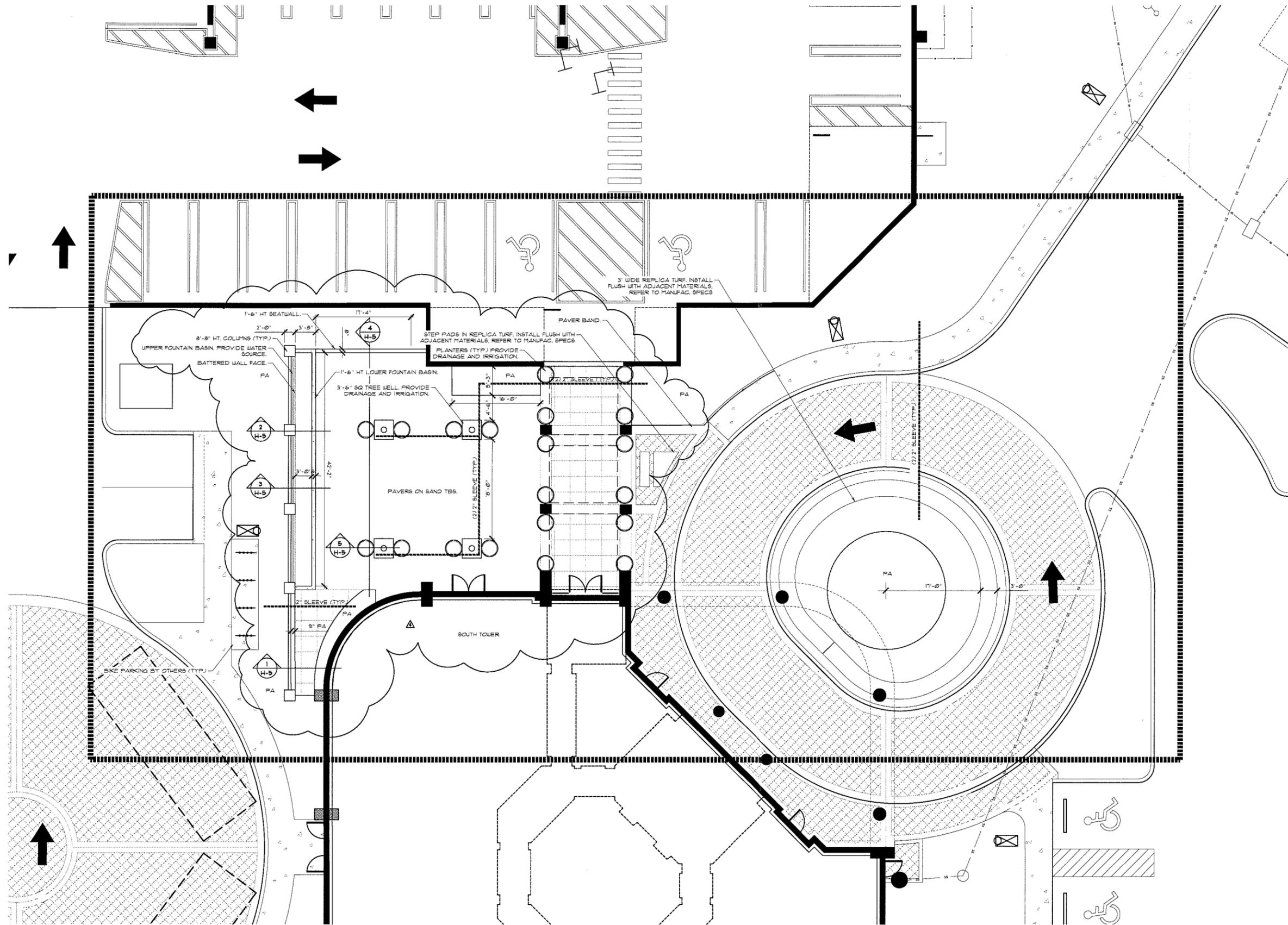


KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net

Krent L. Wieland, FL Reg LA 1039
Cert. of Authorization LC26000275

Gardens Corporate Center, LLC



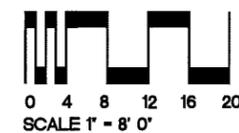
CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - it is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.

THIS DRAWING HAS NOT BEEN REVIEWED
BY A STRUCTURAL ENGINEER
VERIFY WITH STRUCTURAL ENGINEER
PRIOR TO CONSTRUCTION

Resubmission - City of PBG
02/15/16



2016-2015 Resubmission
2015120 Resubmission
2015020 Resubmission
20150202 For Submission
20150202 Issued to ZGH
20150215 Issued to ZGH
20150615 Issued to Client
ISSUE HISTORY
COMM NO. 15007A
PROJ MGR: AM
DRAWN BY: TY
CHECKED BY: AM

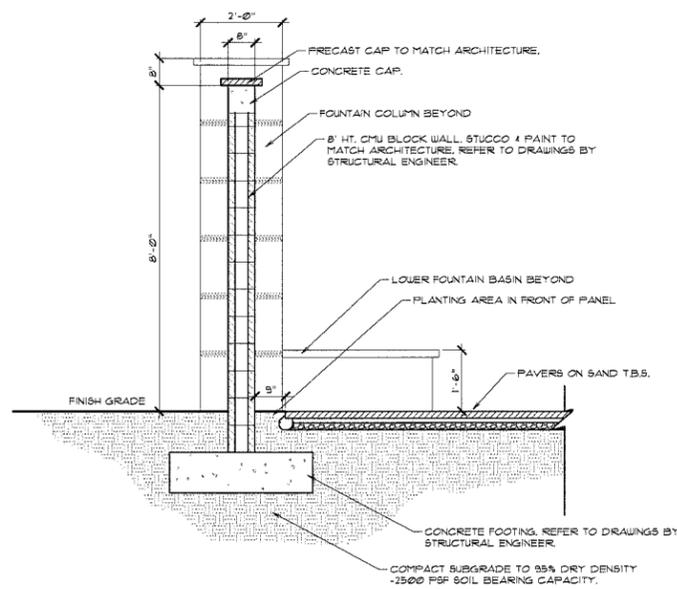
DRAWING TITLE:
South Tower
Hardscape
Plan
Sheet
H-3



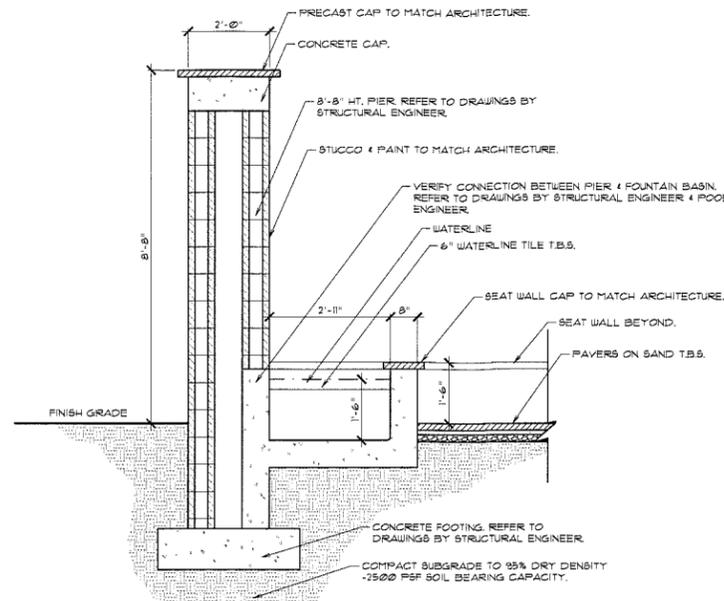
KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg. LA 1039
Cert. of Authorization LC26000275

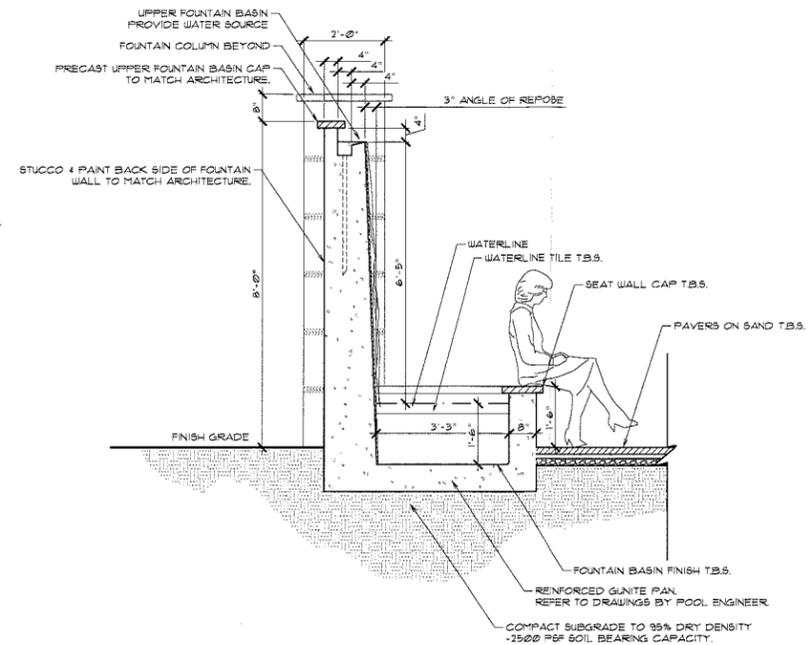
Gardens Corporate Center, LLC



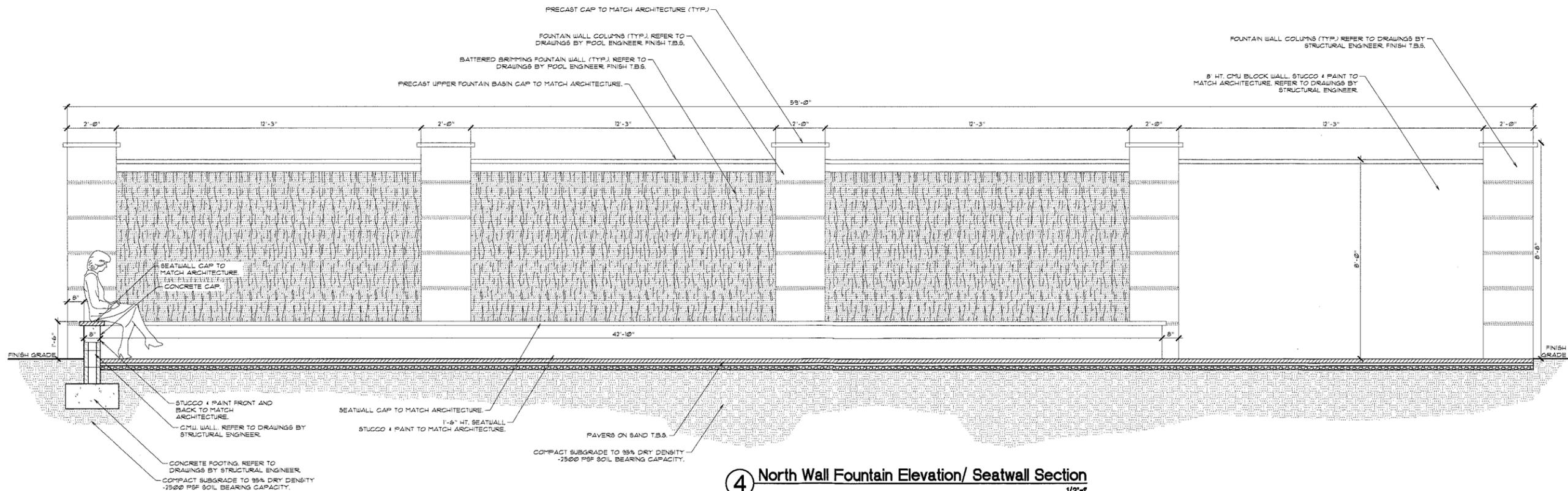
① North Wall Panel Section
1/2'-1



② North Fountain Column Section
1/2'-1



③ North Water Wall Feature Section
1/2'-1



④ North Wall Fountain Elevation/ Seatwall Section
1/2'-1

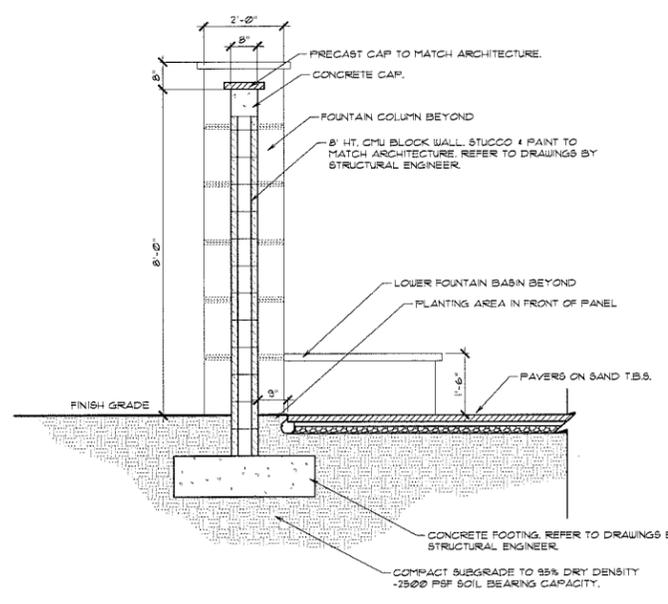
2016/02/15 Resubmission
2015/11/20 Resubmission
2015/10/20 Resubmission
2015/09/22 For Submission
2015/09/22 Issued to 2GHO
2015/06/25 Issued to 2GHO
2015/06/15 Issued to Client
ISSUE HISTORY
COMM NO. 15007A
PROJ MGR: AM
DRAWN BY: TY
CHECKED BY: AM

DRAWING TITLE:
North Tower
Hardscape
Details
Sheet
H-4

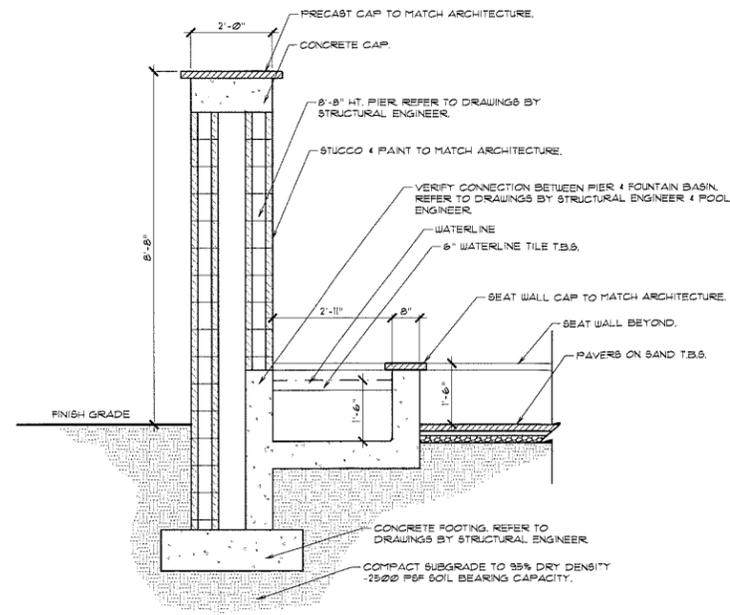
CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

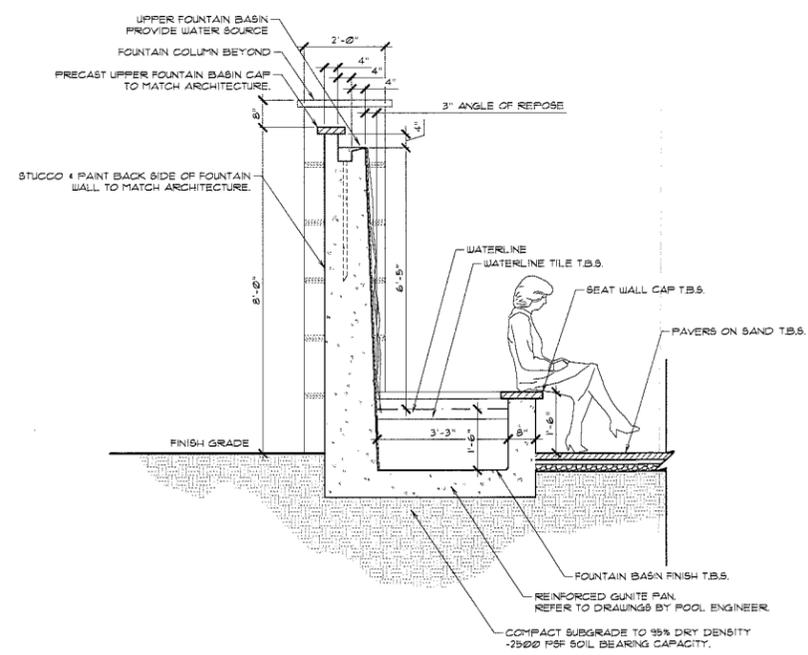
THIS DRAWING HAS NOT BEEN REVIEWED BY A STRUCTURAL ENGINEER. VERIFY WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.



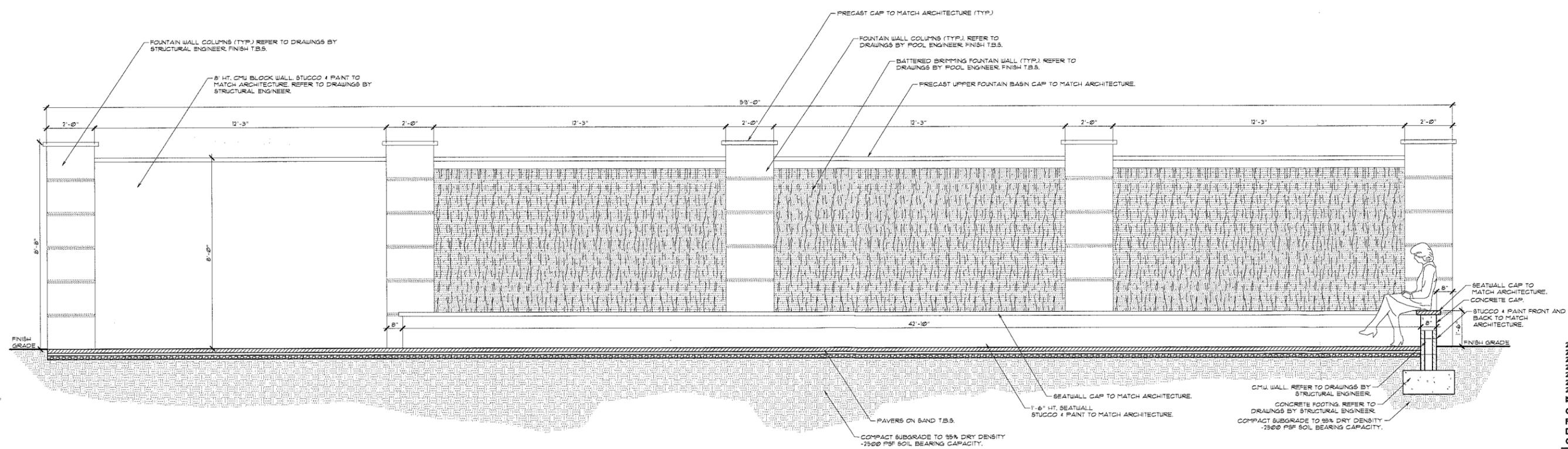
① South Wall Panel Section
 1/2"=1'



② South Fountain Columns
 1/2"=1'



③ South Water Wall Feature Section
 1/2"=1'



④ South Wall Fountain Elevation/ Seatwall Section
 1/2"=1'

2016/02/15 Resubmission
 2015/12/20 Resubmission
 2015/07/20 Resubmission
 2015/05/22 For Submission
 2015/05/07 Issued to 2GHO
 2015/02/25 Issued to 2GHO
 2015/02/15 Issued to Client
 ISSUE HISTORY
 COMM NO. 15007A
 PROJ MGR: AM
 DRAWN BY: TY
 CHECKED BY: AM

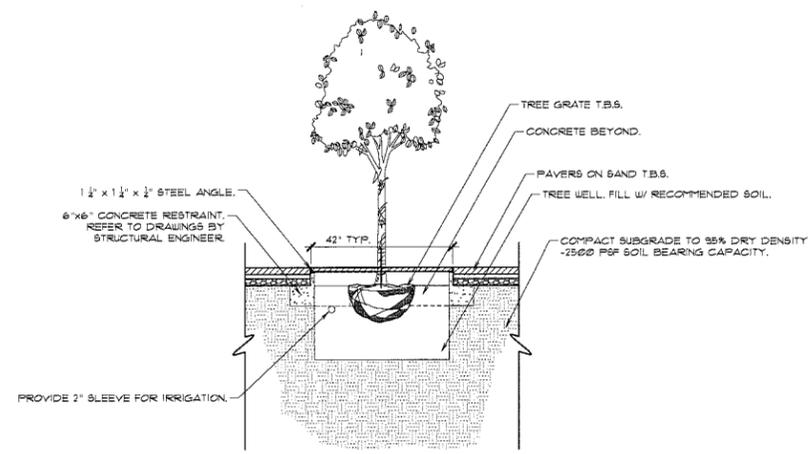
CAUTION: PLEASE NOTE
 Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

THIS DRAWING HAS NOT BEEN REVIEWED BY A STRUCTURAL ENGINEER. VERIFY WITH STRUCTURAL ENGINEER PRIOR TO CONSTRUCTION.

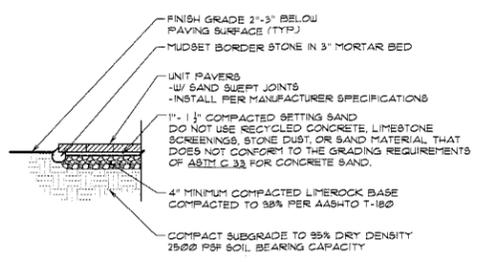


KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net
Krent L. Wieland, FL Reg. LA 1039
Cert. of Authorization: LC26000275



⑤ Tree Well/Grate Section
1/2"-1"



⑥ Pavers On Sand-Non Vehicular
1/2"-1"

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

THIS DRAWING HAS NOT BEEN REVIEWED
BY A STRUCTURAL ENGINEER
VERIFY WITH STRUCTURAL ENGINEER
PRIOR TO CONSTRUCTION

This drawing is an instrument of service copyright © 2014 by Krent Wieland Design, Inc. all rights reserved - it is not to be reproduced in part or in whole without express written permission. Florida registration LA 1039.

Gardens Corporate Center, LLC

20160215 Resubmission
20151220 Resubmission
20150720 Resubmission
20150322 For Submission
20150202 Issued to 2GHO
20150625 Issued to 2GHO
20150615 Issued to Client
ISSUE HISTORY
COMM NO. 15007A
PROJ MGR: AM
DRAWN BY: TY
CHECKED BY: AM

DRAWING TITLE:
**Hardscape
Details**

Sheet
H-6

Resubmission - City of PBG
02/15/16

1000 - GENERAL NOTES

- The Contractor shall visit the site prior to bidding. All bids shall include any mobilization required to accomplish the work conditions. The Contractor shall notify the Landscape Architect of any additional work not outlined or allowed for in the Construction Documents for in the Construction Documents prior to submission of bids. No change orders will be issued for existing conditions or the failure of the Contractor to observe them.
- Commencement of Work. All Contractors shall notify the Landscape Architect at least seven (7) days in advance of the intended Commencement of Work.
- Contractor shall review plans and/or field layouts with the Landscape Architect at least 7 (two) days prior to installation or on site as needed.
- Contractor shall coordinate with Landscape Architect, Owner, and other job contractors to smoothly implement the project. The Landscape Architect, as directed by the Owner, may facilitate coordination efforts on behalf of the Owner to minimize implementation conflicts.
- The Landscape Architect reserves the right to visit the job site to review and observe all work and job progress at any time.
- The Landscape Architect/Owner will be notified of any additional work or change in implementation methods not allowed for in the Construction Documents, prior to implementation of such work. The Contractor shall submit Change Orders (for all work deemed as additional) to Contractor. Owner shall approve all changes to Scope of Work and adjustments to Contract Price prior to implementation of any changes to Scope of Work. At Owner's request, the Landscape Architect may review any invoices or applications for payment. FINAL APPROVAL OF PAYMENT AND PAYMENT AMOUNT IS THE SOLE RESPONSIBILITY OF OWNER.
- Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all charges to work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.
- Contractor shall verify location of existing utilities and services and provide protection during construction. Any utilities damaged during site work operation shall be repaired at Contractor's expense.
- The Contractor shall submit samples of materials and finishes to the Landscape Architect for approval prior to ordering and installation.
- The Contractor shall expressly apply to any "Sub-Contractor" directly involved with the work. Sub-Contractors shall bear responsibility to the General Contractor for compliance with the requirements, terms and conditions as specified in the Construction Documents.
- These construction documents are intended to convey overall form and finish of the design intent only. The Contractor is responsible to install work in accordance with the relevant and applicable sections of the CSI, ASTM and/or other AIA/ASLA recognized trade agency. The Landscape Architect shall bear no responsibility for any Contractor's methods of work.

1105 - GENERAL DESIGN DATA

- Concrete reinforcing steel - ASTM A65 grade 60, #5 - 60 KSI. Ties and stirrups -- grade 40.
- Concrete Materials and Placement - ACI 318, Latest Edition.
- Structural steel - ASTM A36 unless otherwise indicated.
- Structural steel for tubes - ASTM A500, 48KSI.
- Bolts - ASTM A307
- Stainless Steel Bolts - 304 or 316 Alloy ASTM F-933-02.
- Stainless Steel Wire for Concrete Reinforcement - 304 or 316 Alloy ASTM A672-01.
- Structural wood and timber -- D - 1800 FSI min.
- Soil bearing pressure: Foundations are designed on the assumption of a minimum soil bearing value of 2500 PSF. It shall be the Owner's responsibility to assure that the actual soil bearing value equals or exceeds this minimum. If the soil bearing value is less than 2500 PSF, the Owner shall be responsible to notify the project Engineer and to provide suitable foundation soils, compacted to bearing values as prescribed.
- Design Wind Loads: 140 MPH in accordance with Florida Building Code 2007 and to the ASCE 7-10.

2005 - GENERAL SITE UTILITIES AND SLEEVING

- Contractor shall verify location of existing utilities and services and provide protection measures during construction. Any utilities damaged during site work operations shall be repaired at Contractor's expense.
- Contractor shall verify location of proposed utilities and services with respect to proposed or existing landscaping. Proposed plant material locations shall take precedence when determining underground utilities. Avoid all areas expected to encounter encounter root balls of large plant materials and provide the clearances necessary to install all proposed materials.
- Contractor, at his Own expense shall relocate or adjust any utilities, piping etc. that interferes with the installation of plant materials in their designated location.
- All sleeving shall be a 2"-4" dia. SCH 40 PVC pipe as needed. Where possible sleeving should be stacked or gasketed to minimize space requirements.
- Contractor shall be responsible to provide at least three (3) sleeves for irrigation electrical service and drainage to each planting area and/or raised planter surrounded or isolated by paving.
- Contractor shall be responsible to provide at least two (2) sleeves 1/2" dia irrigation and drainage to each pedestal or base to receive a planter pot.
- Sleeves shall have a minimum depth of 36" unless otherwise determined by electrical or irrigation Contractor. The end of the sleeve shall extend at least 12" beyond the pavement, footing or base rock.
- Locate sleeves in accessible corners or along edges of pavements. Avoid directing sleeves toward or through the center of planting areas where large root balls are indicated.
- Irrigation pipe/control wire sleeves shall not be shared with electrical or utility service sleeves. Verify irrigation sleeve location with Irrigation Designer/Contractor.
- All sleeving under roadways shall be reviewed and approved by Owner's Civil Engineer.

2310 - GRADING NOTES

- Contractor shall verify all existing grades in the field and report any discrepancies immediately to the Landscape Architect for decision.
- All fill for burning and planting brought to the site shall be clean, friable sandy loam of slightly acid to neutral pH. All fill shall be free from sticks, rocks, metal and other debris. Soil below all areas to be graded shall be removed or killed with an approved herbicide prior to installation of fill.
- Remove all road base, shell rock, coral rock and rubble 30" minimum below finish grade from all new planting sites and soil pits. Backfill with suitable soil as approved by Landscape Architect. Maintain existing grade at the top line of existing trees to remain.
- Grade surfaces to assure positive drainage from all structures and to prevent ponding of surface water. All ponding shall be corrected prior to landscaping.
- New earthwork shall blend smoothly into existing grades.
- Finish evenly between spot grades. All paved areas must pitch to drain at minimum of 1/8" per foot (3%). Any discrepancies not allowing this to occur shall be reported to the Landscape Architect prior to continuing work.
- Rough grade of site fill shall be provided "in-place" by Owner to +/- 6" of finish grade.
- Finish Grade +/- one inch (25mm)
- Fill short/fill shall be reported to Owner immediately. Owner shall provide fill within 1 days of written notice by Contractor.
- Excess fill shall be reported to Owner. Contractor shall stock-pile excess fill in areas to be determined by Owner. Owner shall have stock piles removed.
- Contractor shall be responsible to maintain finish grades and correct all erosion until area is accepted by Owner. Contractor shall remove all soil run-off from adjacent lawns, pavements, walks et al established by others.
- No equipment shall be used within the canopy "drip-line" of existing trees. Maintain existing grade at "drip-line" of existing trees.

CAUTION: PLEASE NOTE

Contractor shall secure all permits required for the work from any state or local departments, utility companies or jurisdiction affected by the work. The Contractor shall have permits "in hand" prior to starting work. The Landscape Architect and/or Owner shall bear no responsibility for work performed without permitted drawings. The Contractor shall be responsible for all changes to Work, at no additional cost to Owner, as a result of unauthorized work prior to receipt of permit.

2630 - DRAINAGE AND PIPING NOTES

- MATERIALS**
 - Drainage pipe specified as CFT N-12 shall be corrugated high density polyethylene tubing with smooth wall interior. Corrugated polyethylene tubing shall conform to ASTM F-405, ASTM F-661 and Manufacturer's recommendations. Pipe shall be by Advanced Drainage Systems (ADS) Inc. or approved equal.
 - Drainage pipe specified as PVC shall be Schedule 40, Schedule 80 or C-900 polyvinyl chloride pipe as indicated on the drawings.
 - Deck Drains - NDS polyethylene grate
 - Planter Drains - NDS Alum Grate
 - In-line Drains - PVC body with cast iron grate manufactured by Advanced Drainage Systems (ADS) Inc. or approved equal.
 - Catch Basins - PVC body with cast iron grate manufactured by Advanced Drainage Systems (ADS) Inc. or approved equal.
 - Sub-surface strip drainage - "AdvancedEDGE" corrugated high density polyethylene strip channel manufactured by Advanced Drainage Systems (ADS) Inc. or approved equal, wrapped with geotextile.
 - Sub-surface French drainage - all perforated N-12 corrugated high density polyethylene pipe manufactured by Advanced Drainage Systems (ADS) Inc. or approved equal, wrapped with geotextile.
- All thermo-plastic pipe shall be installed in accordance with ASTM D-2321, Standard Practice for Underground Installation of Thermoplastic Pipe for Sewers and other Gravity Flow Applications.
- All pipe shall be placed in a dry trench. Contractor shall provide adequate equipment for the removal of storm, surface or subsurface water which may accumulate in the trenches or excavated area so that it will be dry for work required.
- All bedding shall consist of clean granular material. Unsuitable material such as mud, rocks, and debris shall be removed and replaced with suitable material and compacted.
- The pipe shall be supported for it's entire length with appropriate compacted granular material under the manholes.
- The backfill shall consist of clean granular material. Unsuitable material such as mud, rocks, and debris shall not be placed in the trench.

- All backfilling of storm drainage pipe shall be compacted in 12" lifts of clean granular material to a density of not less than 98% of the maximum density as determined by ASTM D-155.
- Location of drainage structures shall govern pipe runs. Pipe lengths may have to be adjusted to accomplish construction as shown.
- All angular directional invert orientations are approximate. Contractor shall determine and verify all pipe, invert, and structure alignments in accordance with the Layout plan and Manufacturer's specifications.
- All elevations shown refer to NGVD. Contractor shall verify all existing elevations and report any discrepancies to the Landscape Architect prior to initiation of work.
- Contractor shall verify all rim and invert elevations to provide positive drainage flow to the pipe outlet. All drain pipe shall have a 0.25% min. fall unless otherwise noted.
- All pipe connections shall be made with manufacturer approved couplings, couplings, or fittings. All connections shall be gasketed and/or glued to be watertight, impervious to root and resistant to sediment infiltration. All corrugated pipe connections shall be gasketed and wrapped with three (3) layers of approved joint tape installed in accordance with manufacturer's recommendations.
- All in-line connections to main line shall be made with T-fittings installed to facilitate downstream flow.
- Contractor shall be responsible for tying roof drain downspouts and connecting to overflows structure placed 6" min below floor of Building Footing 2" min overflow 4" gip at downspout / drainage connection.
- All connections to common utility structures shall be made in accordance to methods as approved by the Project Civil Engineer.
- All piping routes shall be installed so as not to interfere with placement of structures, utilities, and trees with large root balls. Any deviation from the layout plan shall require written approval from the Landscape Architect before installation.

2830 - SEGMENTAL MASONRY RETAINING WALLS

- General** - The Work covered in this section includes furnishing of labor, materials equipment and incidentals for the construction and installation of segmental masonry retaining walls (SRW) as shown on the Construction Drawings and described by the Contract Specifications. The Work included in this section consists of, but is not limited to the following:
 - An excavation and foundation preparation for the retaining wall.
 - Placement of the footing (leveling pad) for the wall facing units.
 - Placement of the modular concrete facing units.
 - Placement of drainage materials.
 - Placement and completion of fill and retained soils.
 - Finish grading within 8' feet below and above wall.
 - Clean-up and removal of debris from job site.
- Related Work
 - Section to Section - Drainage - Grid Reinforcement.
- Reference Standards
 - ASTM C150 - Sampling and Testing Concrete Masonry Units.
 - ASTM C950 - Solid Load Bearing Concrete Masonry Units.
 - ASTM C1312-01 - Standard Specification for Segmental Retaining Wall Units.
 - National Concrete Masonry Association (NCMA) Tek 7-4 - Specification for Segmental Retaining Wall Units.
 - Manufacturer's Installation Guide - (most recent issue) and all technical references included therein.
- Submittals
 - Submit the following in accordance with General Conditions:
 - Manufacturer's Literature, including installation manual.
 - Shop Drawings showing soil report data, retaining wall design, soil heights, geosynthetic reinforcement layout and drainage provisions. Shop drawings shall be signed and sealed by a registered Engineer licensed in the state of the wall installation.
 - Samples - Furnish (3) units in the color and face pattern as specified.
 - Furnish a 12" x 12" sample of geosynthetic reinforcement as specified.
 - Test Reports from an independent laboratory stating moisture absorption and compressive strength properties of the concrete wall units when tested in accordance with ASTM C150.
 - Foundation soil shall be excavated or filled and compacted to grades and dimensions as shown on the Construction Drawings or as directed by Landscape Architect. If elevations shown limited exposed surfaces only, Contractor shall provide excavation of adequate dimension accommodate all subgrade, foundation and leveling pad requirements to construct the finished design as shown in the Construction Documents.
- The leveling pad material shall be placed and compacted crushed stone along the grades and dimensions as shown on the Construction Dugs. The leveling pad shall be 8" min thickness.

- The bottom row of retaining wall modules shall be placed on the prepared leveling pad. Care shall be taken to ensure that the wall modules are properly aligned, level and in complete contact with the base materials.
- Wall modules above the bottom course shall be placed such that all bearing surfaces clearly mate and provide the design batter of the wall face. Contractor shall check the level of wall modules with each lift to ensure that no gaps are formed between successive lifts that affect the alignment of the wall and the placement of grid reinforcement. Check vertical face of installed units to verify design batter is maintained.
- Drainage - Install drain tile at lowest elevation possible to maintain gravity flow of water to outside of reinforced zone. Drainage pipe shall daylight to an approved outlet area or structure.
- Drainage aggregate shall consist of clean 3/4" angular rock fill all voids between, within and behind all units with drainage aggregate. A minimum of 12" of drainage aggregate shall be placed behind wall units.
- Drainage aggregate shall be separated from adjacent soils with an approved geo-fabric.
- Install reinforcement grids in accordance with Engineer's drawings and Geosynthetic's Manufacturer's recommendations. Fill soil for reinforcement grids shall be as specified by Engineer. Fill soil shall be placed in 6" lifts and compacted to 95% Standard Proctor. Contact with hand operated equipment. No heavy equipment shall be allowed within 4' of wall or 1/2' of wall height, whichever is greater.
- Retained soils shall be placed behind wall soils in 6-8" maximum lifts. Retained soils shall be compacted to a density of 93% min. of Std. Proctor.
- Top two courses (including Capstone) shall be secured with an exterior rated concrete construction adhesive as recommended by manufacturer.
- Five grade all slopes away from wall faces at not more than 1:10 (10% slope for 3 distance equal to height of wall unless design indicates otherwise).

3100 - CONCRETE NOTES

- MATERIALS**
 - 28-day compressive strength:
 - Sidewalks - 2500 PSI
 - Foundations and Patio Slabs - 3000 PSI
 - Drainage pipes (ADS) Inc. or approved equal. 4000 PSI
 - All patio slabs shall have fiber reinforcement.
 - Concrete slump (in inches) shall be as follows:

Minimum	Maximum
1-1/2"	4"
3"	5"
3-1/2"	6"
 - Minimum concrete cover shall be:

Slab - 3/4"	
Beams and columns - 1-1/2" Exposed unprotected concrete-1-1/2"	
Formed concrete below grade - 1"	
Unformed concrete below grade - 3"	
 - Placing drawings and bar lists shall conform to ACI's "Manual of Standard Practice" for Detailing "Reinforced Concrete Structures" (ACI 308-80)
 - Details of concrete reinforcement shall be in accordance with "The Manual of Standard Practice for Reinforced Concrete Construction" as published by the Concrete Reinforcing Steel Institute unless otherwise indicated.
 - Concrete construction techniques shall conform to the "Specifications for Structural Concrete for Buildings" (ACI 308-84).
 - Reinforcement shall be carefully placed, rigidly supported and tied with bar supports and spacers.
 - Adequate vertical and horizontal shoring shall be provided to safely support all construction loads.
 - All openings in concrete slabs or walls over 12" square shall have one (1) 5" x 5" - 40" diagonal bar in each corner in the center of the wall or slab.
 - Reinforcing steel in footings or pile caps shall be assembled as mats with bars equally spaced and wired together at each intersection before concrete is placed.
 - Detail column and wall reinforcing to footing or pile cap with same size and number of double as vertical bars above.
 - Details shall be hooked "L" at bottom end and shall be lapped 48 bar diameters with the column or wall reinforcing above.
 - Concrete columns shall be tied columns unless otherwise indicated.
 - Provide 60# 1.4 WLL WFL in slabs on grade unless otherwise indicated.
 - Reinforcing in concrete walls shall be continuous-lap bars 48 diameters. Horizontal bar laps shall be staggered.
 - Slab Expansion Joints - Form isolation joints of pre-formed joint-filler strips abutting concrete curbs, catch basins, manholes, water structures, walls and all other fixed objects and where indicated Wall Expansion Joints - Refer to engineering drawings.
 - Control Joints - Form weakened plan contraction joints, sectioning concrete into areas as indicated. Control contraction joints for a depth equal to at least one-fourth of the concrete thickness as follows:
 - Grounded Joints: Form contraction joints after initial finishing by grooving and finishing each edge with a grooving saw to a radius of 3/8" and as indicated on the drawings. Repeat grooving of contraction joints after applying surface finish. Eliminate all groover marks in the concrete surface.
 - Sea out joints - not allowed
 - Joints Spacing - as follows and as indicated on the drawings.

4" thick slabs - 6' o.c. max
6" thick slabs - 8' o.c. max

Add two feet (2') to spacing, if fiber mix is used.
 - Edging - Tool edges of pavements, curbs, gutters and joints in concrete after initial floating with an edger tool to a radius of 1/2" min. or as indicated on the drawings. Repeat edge tooling after applying surface finish. Eliminate edger marks in the concrete surface.
 - Slab Surface Finish - verify finish with drawings. All slabs and walkways shall receive a non-skid light broom finish unless otherwise specified. Finish shall be uniform and consistent over entire surface. Finish surface shall be free of blemishes, tool marks and defects.
 - Fiber Reinforcement - Synthetic fibers shall be furnished or nonmetallic polypropylene fibers engineered and designed for use in concrete pavement complying with ASTM C110, Type III, 10 to 12 inch (13-25mm) long. Admix at not less than 1 lb per cu yd and as recommended by Engineer or manufacturer.

- 4220 - CONCRETE UNIT MASONRY**
 - MATERIALS**
 - Concrete masonry 28-day compressive strength of individual units (net area) 2000 PSI. Masonry units shall conform to ASTM C900.
 - Mortar Type M or S ASTM C270. Mortar mix shall be taken twice weekly or more often as required by the architect-engineer.
 - Masonry grout shall conform to ASTM C476.
 - Reinforced concrete masonry construction shall conform to the "Building Code Requirements for Concrete Masonry Structures" (ACI 531)
 - Vertical cells to be grouted shall have vertical alignment sufficient to maintain a clear, unobstructed continuous cell.
 - Clear out openings shall be provided at the bottom of grouted cells at each lift. Clearouts shall be sealed after cleaning and inspection and before grouting.
 - Reinforcing steel shall be lapped 48 bar diameter minimum where applied and shall be either separated by one bar diameter or wired together.
 - Masonry walls shall cure at least twenty-four (24) hours before grouting.
 - When grouting is stopped for one (1) hour or longer, the grout shall be stopped 1-1/2" below the top of the uppermost unit.
 - Grout shall be placed in lifts not to exceed 8-0" maximum.
 - Vertical wall reinforcing shall be dowelled to footing below and to beam above.
 - Provide two (2) # 6 rebar reinforcing walls every second course in exterior walls.
 - Beams and lintels, unless otherwise shown, shall have 8" min. bearing at each end.
 - Masonry shall be anchored to supporting beams and columns unless otherwise noted. Masonry units laid to or with concrete shall be supported by dowels and/or spacers at 16" or on an equivalent system.
 - Masonry walls shall be braced to resist lateral loads until adequate bracing is provided by the other components of the structure.
 - Masonry grout shall be mixed with sufficient water to give a fluid consistency without segregation of materials.

2100 - EROSION CONTROL

- Once grading operations are completed, all disturbed areas within or outside of the limits of work shall be stabilized by the grading and seeding or mulching.
- All erosion control measures are to be installed prior to any site disturbance or construction activities.
- All erosion shall be prevented from entering any storm drainage system through the use of silt fences, straw bales, gravel berms or other applicable methods.
- The Contractor shall be responsible for mitigating all sediment leaving the site and taking appropriate corrective measures. Sediment control measures shall be in working order after each day.

4720- CAST STONE

- General** - This section includes all labor, equipment and materials to provide and install the materials shown on the Architectural drawings and as described in this specification:
 - Architectural Cast Stone - White Portland cement based (Type I or II) concrete. Texture and color shall be as specified by Architect. Refer to Finish schedule.
 - Contractor shall furnish shop drawings, colors, and material samples of all profiles or alternatives to Landscape Architect for approval prior to ordering stone.
 - Related Sections - Refer to sections as applicable:
 - Section 1 - Mortar and Grout.
 - Section 2 - Masonry Assemblies.
 - Section 3 - Masonry Reinforcing Unit Masonry Assemblies.
 - Section 4 - Joint Sealers.
 - References - Standards shall comply with the requirements and recommendations of the Cast Stone Institute (CSI Technical Manual) (Current Edition), ASTM C1364 Standard Specification for Cast Stone.
- Cast stone fabricator and installer shall use clean, uncontaminated sources of cement, aggregates, mixing equipment and water for all products, grouts, and installation practices. All cast stone shall be made with Portland cement based and achieve a minimum compressive strength of 3000 psi upon delivery to job-site.
- Cast stone shall have integral color pigments with additional soda color as specified.
- Architectural cast stone masonry shall be suitably reinforced with synthetic fibers (ASTM C110, Type 3), welded wire fabric (ASTM A48) where applicable set-back units; ferrous bars (ASTM A651/A651M) or deformed stainless steel (Type 302 or 304). Ferrous reinforcements shall not be used in wet or submerged conditions or within 3' of the ocean (salt atmosphere) climatic conditions. Epoxy coated steel shall be required when cover is less than 1-1/2". Welded wire fabric shall not be used in dry cast products.
- Ferrous reinforcements, where permitted, shall be oil and rust free and embedded with a minimum of 3" of concrete cover unless specified otherwise by engineer.
- All coping, trim, moldings, wall caps, brackets, cladding etc. (excluding horizontal flutings) shall be anchored in place with corrosion-resistant building stone fasteners. All vertical cladding and columns shall be anchored in compliance with local building codes. Refer to windows and sashes standards in CSI Manual section C1235,C1235B and C411 and the ACI 308 and ACI 355.
- All metal structural elements to be clad shall be primed with at least two coats of zinc-rich primer and sealed or protected from any water infiltration.
- Cast stone products grouts and thin-setts used in wet, submerged or salt conditions shall be latex or polymer modified to reduce porosity and moisture absorption.
- Use all stones prior to setting in full mortar bed unless otherwise detailed.
- Set stones 1/8" or less within plan of adjacent units.
- All finish pointing grouts shall match the cast stone color unless otherwise specified.
- Grout joints shall be consistent and uniform, 1/4" min or 1/2" maximum width joints shall be tooled flush or slightly concave as specified. Raked joints shall be pointed and toolled as specified.
- All borders, trim, and molding spalls shall consist of equal, uniformly sized pieces. Silvers or unbalanced joint spacing is unacceptable. Corner stones shall be solid casting.
- Joints shall be permitted only where specified. All coping / trim shall terminate or return with appropriately cast pieces. Exposed, cut, or broken ends are unacceptable.
- Finished surface shall be clean and free of defect, sea out, tool marks, chips, cracks, blemishes or stains. All joint grouts shall be removed within 24 hours of application. Admix shall not be used to clean finished surface unless specified.
- All horizontal working surfaces shall have a skid resistant finish wet or dry. Fill all pores and cavities of natural stone as specified.
- Hand-set stones shall be a minimum of 2" thick and lightly but jointed gaps not to exceed 1/16". Refer to Section 7100 - Unit pavers for sand-set applications.
- All stone cutting shall be done in designated staging area. Protect all adjacent plant materials soils and finish surfaces from dust, debris, and construction activity. Dispose of any waste materials in suitable containers away from planting areas. Contractor shall be responsible to remove all cement contaminated soil from the site and replace with clean, approved fill.
- Stone shall be patched, cleaned and free of chips, blemishes and defects. All cleaners shall be used in accordance with manufacturer's specification. Protect all adjacent plant materials, soils and finish surfaces from runoff brown spray of all cleaners.
- All cast stone shall be finished with a clear, penetrating non-toxic sealer unless otherwise specified. Submit sealer manufacturer's literature to Architect for approval. No sealer shall be applied until repair, cleaning, inspection and acceptance are completed.

- 2100 - GENERAL PAVING NOTES**
 - Verify all paving materials, patterns and finishes with Owner and Landscape Architect.
 - Concrete Unit Pavers - Contractor shall provide a minimum 5' x 5' sample of the specified color blend for each paver pattern specified prior to ordering materials for the job. The paver sample shall be reviewed by the Landscape Architect and Owner for final approval and possible re-proportioning of the color mix.
 - Cast Stone - Contractor shall verify all colors and finishes in writing prior to ordering material. Contractor shall furnish material profiles, and finishes wherever specified manufacturer are NOT specified. Substitutions will not be allowed unless approved prior to ordering by the Owner and Landscape Architect.
 - Concrete - All concrete products (including cast stone) shall have a minimum compressive strength of 3000 psi or greater as specified. All cast in place concrete shall have:
 - Subgrade - All pavement or foundation subgrade shall be compacted to meet the density requirements as determined by drawings in accordance with the AASHTO T-99 Specification. Subgrade shall extend 3 inches beyond the proposed edge of pavement. All stumps, roots and other deleterious matter encountered in the preparation of the subgrade shall be removed to a depth of 3 feet below the finish pavement grade and from within 8 feet of edge of pavement. If the subgrade is required to be stabilized, the Contractor shall refer to plans prepared by a registered Civil Engineer.
 - Base - All pavement bases to receive vehicular traffic shall be designed by a Civil Engineer retained by Owner and/or Contractor. All approved base material shall be compacted to not less than 98% per AASHTO T-99 specifications.
 - Provide two (2) # 6 rebar reinforcing walls every second course in exterior walls.

9500 - PAINT AND FINISHES

- All paint finishes shall receive 100% coverage with a water based base coat suitable for the substrate material and application. All Paint finishes shall extend a minimum of 2" below grade where applicable.
- All surfaces or substrates shall be etched, scarified pH neutralized and cleaned. Remove all loose or flaking material. Fill or repair all surface defects to match adjacent surface finish or specified texture. Prepare surface according to paint manufacturer's recommendation.
- Masonry and concrete walls shall receive a coat of masonry primer: paint Sucoor masonry shall cure for at least 28 dry days prior to.
- Finish paint shall consist of high-grade latex (80% acrylic paint unless otherwise specified) or Sherwin Williams or 25% Finish paint application shall consist of a minimum of one coat of finish paint. Follow application instructions as recommended by the Manufacturer unless otherwise noted.
- Each paint coat shall cure for at least one (1) full dry day prior to the application of the subsequent coat.
- All paint shall have the maximum allowable recommended nitrocellulose additive.
- Contractor shall provide 4x 4" panel, sample panels on site for review and approval by the Owner and / or Landscape Architect.
- All metal shall receive a two coats of corrosion resistant primer appropriate for the material: Unpainted Steel / Iron/Terraz Metals - red oxide oil-based primer or approved eq. Painted Steel / Iron/Terraz Metals - red oxide oil-based primer or approved eq.
- Final finish shall be subject to visual or other inspections. Extra surface shall be repaired if undercut or primer is visible.

6050 - OUTDOOR CARPENTRY

- MATERIALS**
 - Pressure-treated (PT) Lumber:
 - Piles - southern yellow pine (SYP) 250 CCA (min. retention)
 - Framing and superstructure - 2 SYP, 54S, 080 CCA
 - Decking, posts and railings - 1, SYP, 54S, 080 CCA
 - Western red cedar (WRC) through sawn timbers and dimensional boards
 - Exotic wood cladding - Flambora green oak Task "Flu-topp" - other species to BS determined.
 - Recycled Plastic Board (RPB)- UV resistant, high density polyethylene (HDPE) dimensional boards:
 - Manufactured by Cyclot-Mixers, Inc. OR EQ. P.O. Box 461, Swanton, NJ, 08887 Ph: 317-384-4338
 - Metal fasteners:
 - Non-dipped galvanized steel, stainless steel.
 - Corrosion plates, 304 stainless steel plates, galvanized steel "Simpson" ties
 - Dimensional and structural products shall be uniform and free of cracks, splits, checks, loose knots or other defects degrading the weatherability, strength and appearance of the product.
 - Contractor shall verify all colors and finishes with Landscape Architect. Submit samples of each specified RPB for approval prior to ordering.
 - All structures shall be anchored plumb and square to base. Structures shall be designed in accordance with windloads and local codes.
 - Wood products shall not be embedded or restrained on masonry structures or enclosures without adequate clearances and drainage.
 - Pressure-treated (PT) wood sub-structures shall be thru-bolt connected with hot-dipped galvanized bolts or eq., stainless steel bolts and fasteners shall be used as noted. All framing nails, connector plates, the etc. shall be hot dipped galvanized unless otherwise specified. Refer to engineer's fastener schedule for size and spacing.
- All bolted overhead connections shall be counter-sunk, sealed and plugged with similar wood plugs or approved filler material.
- In overhead or exposed conditions, all wood shall be liberally bedded in silicone sealant or eq. bedding material to isolate wood contact from metal plates, anchor bolts, fasteners or masonry members. Externally caulked joints are not an acceptable substitute for proper bedding.
- All decking, railings or finish surfaces shall be free of splits, checks, splinters, loose knots, pitch pockets, pin holes or other defects. All joints and connections shall be tight and clean. Round-over or ease all edges unless otherwise specified.
- All fasteners on decking, railings and finish surfaces shall be counter-sunk flush or slightly below finish surface.
- All decorative wood assemblies shall receive at least one coat of primer, stain or seal prior to assembly. Finish coat or touch-up of final assemblies or structures according to finish specified.
- All wood steps shall have 3 in. 3/8" wide traction grooves routed into the outer 1/3 of the tread surface.

- 13100 - FOUNTAIN AND POOL NOTES**
 - Foundation mechanical, electrical and hydraulic systems shall consist of commercial grade pool / fountain equipment as specified by an approved fountain contractor. (listed below) to provide a complete feature fountain system operates to the performance standard as specified on the Plans. Fountain Contractor:
 - The Equipment List shall include, but not necessarily limited to, the following items: pumps, piping and fittings, auto-fill, overflow, filters, skimmers, valves, manifolds, timers, controls and control boxes, light fixtures, etc. Fountain pool equipment shall be specified on fountain consultant's drawings. Substituted equipment shall be approved only with written authorization by Owner and/or Landscape Architect prior to installation.
 - All pool / fountain shells, structures, basins, basins, etc. shall be engineered and constructed in accordance with all applicable codes and standards by the installer, manufacturer or supplier. The installer/engineer shall furnish a third load Certification Letter, as required by the building official and copy the Owner and Landscape Architect when applicable.
 - The Contractor shall submit shop engineering drawings for all shells, structures and operating systems to the Landscape Architect for review and approval prior to construction. Contractor shall notify Landscape Architect to review all notes and casting patterns at a 75% completion level prior to receiving final approval.
 - All pool shells and water vessels shall be receive a water-proofing membrane, plaster finish or eq. suitable for underwater pool use. Water-proofing shall be installed behind all tiles, enclosures, skimmers and other decorative items. Water-proofing joints of all shall be subject to negative hydrostatic pressure. Waterproofing material shall be compatible with bonding qualities of substrate and applied decorative finishes.
 - All fastening, pipe, plumbing and reinforcing shall be of non-corrosive materials suitable for a chloride environment.
 - Contractor shall verify that all fixtures, tiles, finishes and grouts are suitable for a pool and/or chlorine environment. All water proofing shall be fulfilled with a non-susceptible acrylic additive or other waterproofing/bonding membrane compatible with the intended use. Acids shall be Acetone-based manufactured by the Lambert Corp or eq. and used in accordance with manufacturer's directions.
 - Stone fabricator shall coordinate with Fountain Consultants and contractors to determine necessary clearances and allowances for fountain equipment and structural elements.
 - Contractor shall provide all structures, plumbing, equipment, hook-ups, services, and adjustments necessary to provide a complete and fully operational fountain system.
 - Fountain mechanical / equipment installer shall include a minimum 1 year warranty for all equipment, including any necessary field service and/or adjustments.
 - All spots shall have a "Bauer accessible spa cutoff timer" within 10' of Spa.
 - All electrical work shall conform to the most recent National Electric Code.
 - All reinforcing steel and metal within 5' of pool shall be grounded with a #8 insulated solid copper wire per code. Bonding shall be in accord with NEC 680-12.
 - Water supply tap and meter (if required) shall be furnished by Owner.

- 16500 - LANDSCAPE LIGHTING NOTES**
 - All wiring, fixtures and installations shall conform to all applicable national, state and local codes and standards for electrical applications.
 - Contractor shall verify all panel sources, switching locations, and controls with the Project Architect/Engineer. Contractor shall provide shop drawings for electrical circuits in conjunction with the Owner's Electrical Engineer as needed.
 - Typical outdoor electrical service shall consist of ground fault interrupted (GFI) circuits or outlets mounted in approved weather-proof ball boxes. Outlet heights shall be 3' above finish grades and at least 24" from the edge pavement in planted areas. All conduit direct burial wire shall be at least 18" below finish grade or deeper as required by code.
 - Where applicable, the Contractor shall allow for recessed or surface mounted applications with the approval of the Project Architect.
 - Contractor shall meet with landscape architect in field to review electrical and utility controller routes. Electrical conduits and wires shall avoid areas with large feature plants and trees having large root masses. The Contractor shall be responsible for reviewing and understanding the Planting Plan and avoiding utility conflicts wherever possible.
 - Electrical service connection and meter (as needed) shall be provided by Owner.
 - All fixtures in need "right-of-way" shall have shields to conceal the light source from on-coming traffic. All lighting shall be aimed away from on-coming traffic.
 - All up-light fixtures shall be set-back a minimum of four (4) feet from the edge of all walks and pavements.
 - Contractor shall stake all fixture locations for review by Landscape Architect prior to setting conduit, boxes and/or panel-posts.
 - Contractor shall take into consideration the fixture location with respect to existing plant material. If existing plant material will block the light path, the Landscape Architect shall be called for an alternate location.
 - Contractor shall make final adjustments to fixture location, lamping and aiming subject to review by Landscape Architect. In night-time light test.
 - All fixtures within ten (10') feet of water shall connect to GFCI circuits in accordance with the electric code. Fixtures other than the voltage (20V) shall not be located within 10' feet of water. No electrical or lighting fixtures shall be within 5' feet of the water's edge.

LEGEND

- | | |
|----------|---------------------------------------|
| FFE | Finish Floor Elevation |
| AFF/BFF | Above Finish/Below Fin. Floor |
| EXIST | Existing Spot Elevation |
| PROPOSED | Proposed Spot Elevation |
| SG | Slope Gradient/ Direction of Flow |
| PC | Proposed Contours |
| EC | Existing Contours |
| LPHNP | Low/High Point |
| T/FTG | Top of Footing (TOP) |
| TSB/TC | Top of Wall Elevation |
| BTU | Bottom/Top of Curb Elevation |
| DP/HOPE | Drain Pipe/ High Density Polyethylene |
| Perf DP | Perforated Drain Pipe |
| DS | Down Spout |
| CO | Clear Out |
| EXPJT | Expansion Joint |
| CONV | Convent Joint - 45 deg out |
| PA | Planting Area |

- | | |
|----------------------------------------|------------------------------------------------------------------------------------------------|
| Natural Preserve to Remain Undisturbed | |
| LME | Lake Maintenance Easement |
| D.E./U.E | Drainage / Utility Easement |
| IRMT | Irrigation Main |
| WT | Water Main |
| FM | Force Main |
| FH | Fire Hydrant |
| FD | Valve |
| SM | Water Meter |
| SL | Decorative Street Light Pole - sgl or dbl |
| SL | Decorative Street Light Pole - quad |
| WLL | Decorative Walk Light Pole |
| SBL | Spot/Box Street Light Pole - sgl or dbl |
| JB /PB /B | Junction Box / Pull Box |
| FP | FPL - Switch Cabinet or Transformer |
| PP /LP | Power Pole/ Light Pole |
| 45-3225 | Horizontal Station (Hundreds of Feet - Feet decimal feet) Station graphic scale is appropriate |
| P.O.B. | Point of Beginning |
| UNO | Unless noted otherwise |



KRENT WIELAND DESIGN, INC.
LANDSCAPE ARCHITECTURE

101 Southeast Second Avenue
Delray Beach, FL 33444
TEL: (561) 243-1873
FAX: (561) 243-1874
E-Mail: design@kwdesign.net

Krent L. Wieland, FL Reg. LA 1038
Cert. of Authorization LC26000275

Gardens Corporate Center, LLC

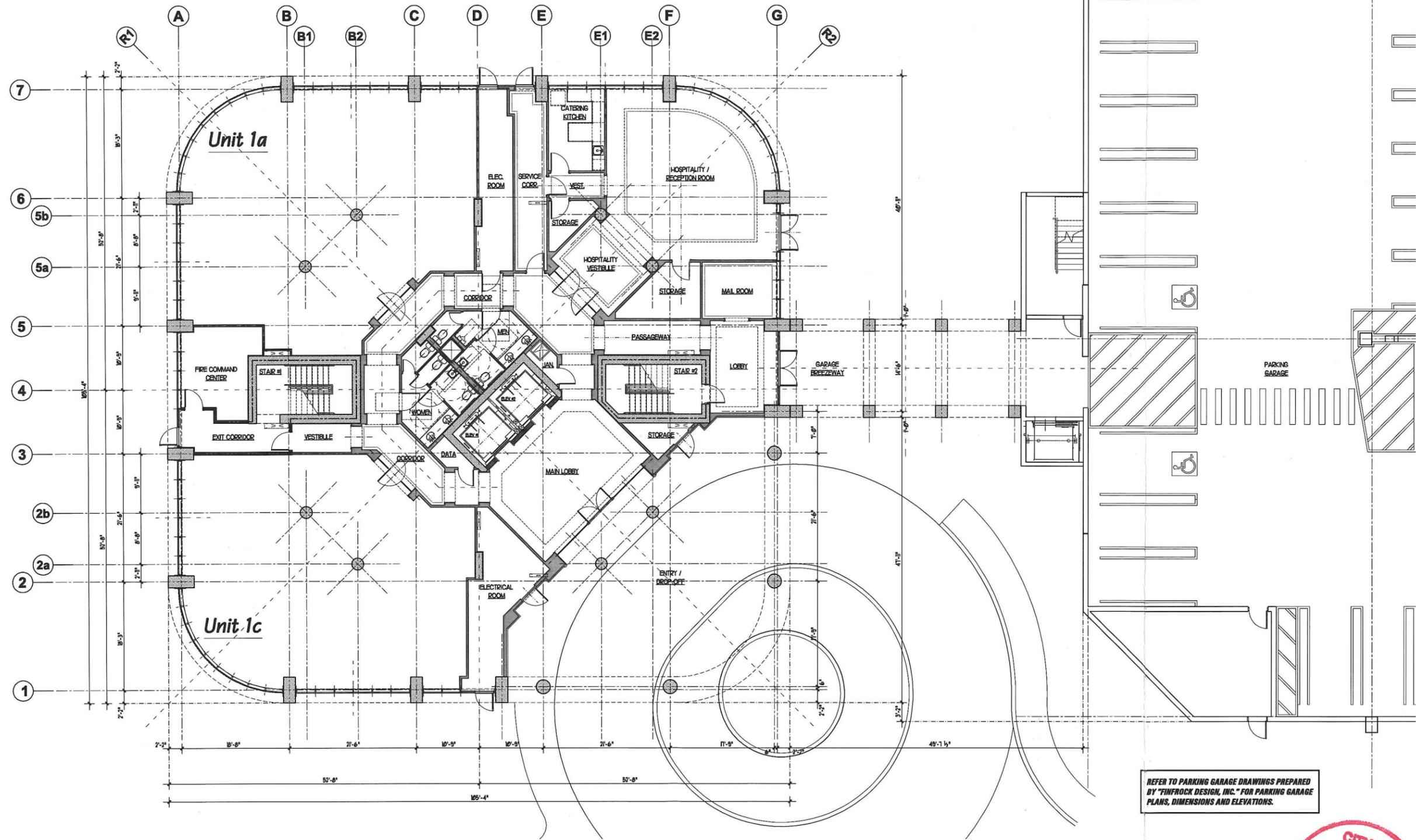
2/16/215 Resubmission
2/15/120 Resubmission
2/15/120 Resubmission
2/15/092 For Submision
2/15/092 issued to 2640
2/15/0215 issued to 2640
2/15/0215 issued to Client
ISSUE HISTORY

COMM NO: 15007A
PROJ MGR: AM
DRAWN BY: TY
CHECKED BY: AM

DRAWING TITLE:
Hardscape Specifications

Sheet

H-7



South Tower: Ground Floor Plan

North Tower: Ground Floor Plan (Opposite Hand)

Scale: 1/8" = 1'-0"

REFER TO PARKING GARAGE DRAWINGS PREPARED BY "FINROCK DESIGN, INC." FOR PARKING GARAGE PLANS, DIMENSIONS AND ELEVATIONS.



DATE: 12/15/2015
DRAWN BY: KCK
REVISION:

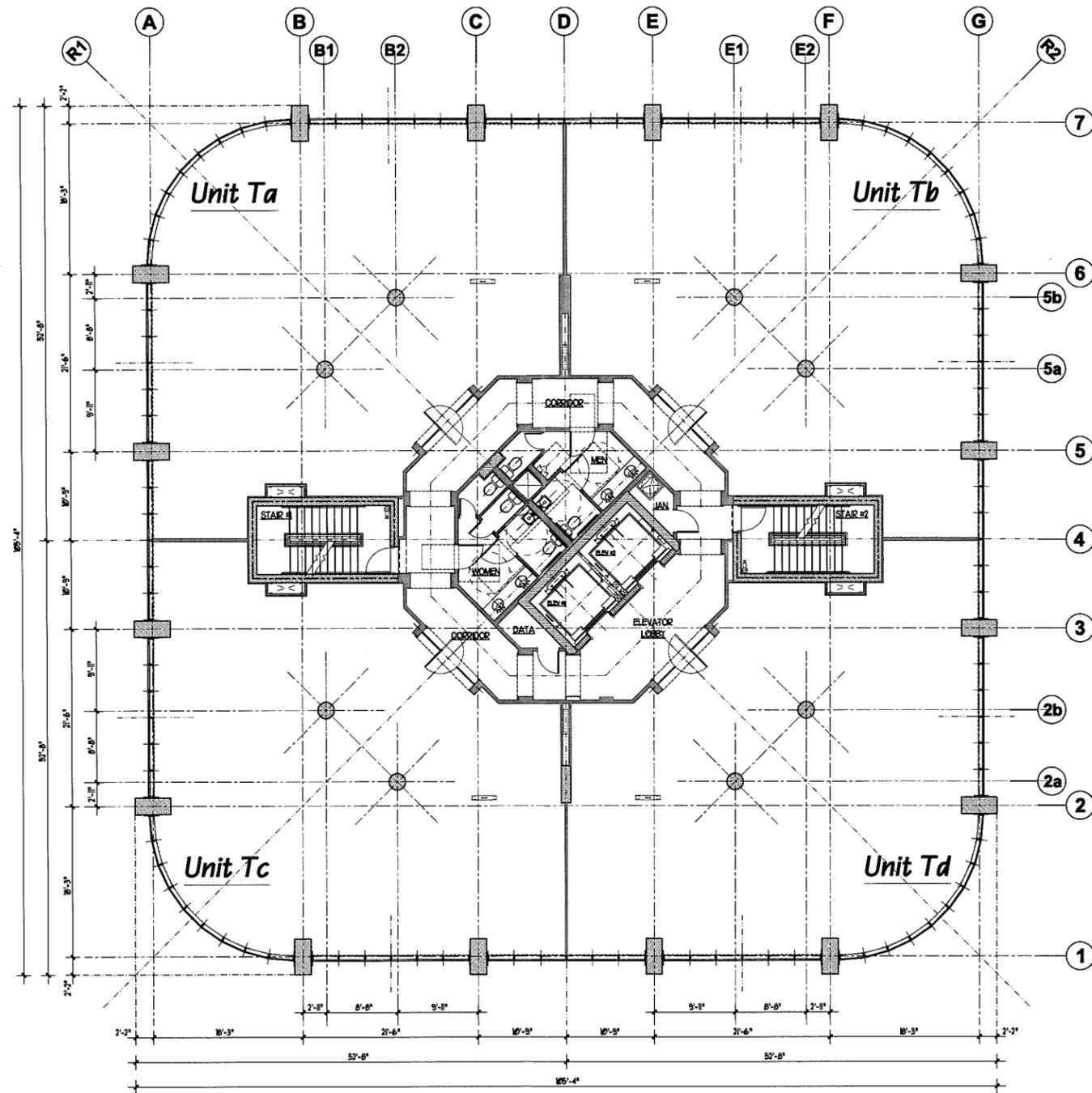
Kathleen P. Kelly
Registered Architect
Lic. No.: ARB4389

kelly design & architecture, inc.
 11331 AVERY ROAD
 PALM BEACH GARDENS
 TELEPHONE: (861) 891-0403 / FAX: (861) 628-6091
 E-MAIL: KELLYCON@BELLSOUTH.NET
 FLORIDA 33410-3402
 AA0002643

Gardens Corporate Center
 Palm Beach Gardens, Florida

A-1

12-15-2015 GCK A-LONG



South Tower: Typical Floor Plan

North Tower: Typical Floor Plan (Opposite Hand)

Scale: 1/8" = 1'-0"

DATE:	10/11/01
DRAWN BY:	KJK
REVISION:	

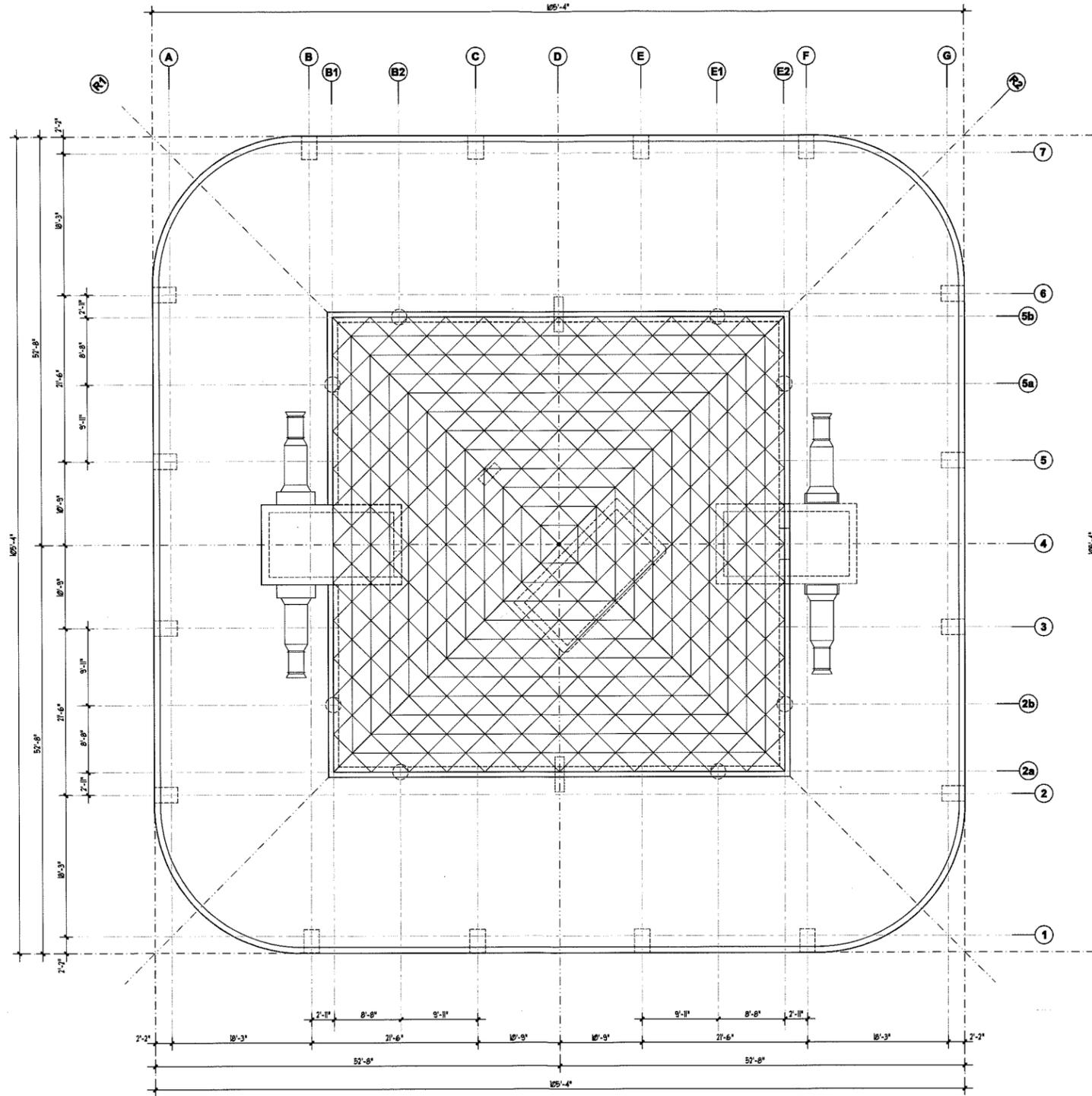
Kathleen P. Kelly
Registered Architect
Lic. No.: AR9498

kelly design & architecture, inc.
11331 AVERY ROAD
PALM BEACH GARDENS
FLORIDA 33410-3402
TELEPHONE: (561) 891-0403 / FAX: (561) 628-5081
E-MAIL: KELLYCOM@BELLSOUTH.NET



AA0002843

Gardens Corporate Center
Palm Beach Gardens, Florida



Roof Plan

1/8" = 1'-0"

DATE: 11/20/08
DRAWN BY: LK
REVISION:

Kathleen P. Kelly
Registered Architect
Lic. No.: AR9499

kelly design & architecture, inc.
FLORIDA 33410-3402
11331 AVERY ROAD PALM BEACH GARDENS
TELEPHONE: (661) 891-0403 / FAX: (661) 828-5091 E-MAIL: KELLYCOM@BELLSOUTH.NET



AA0002643

Gardens Corporate Center
Palm Beach Gardens, Florida

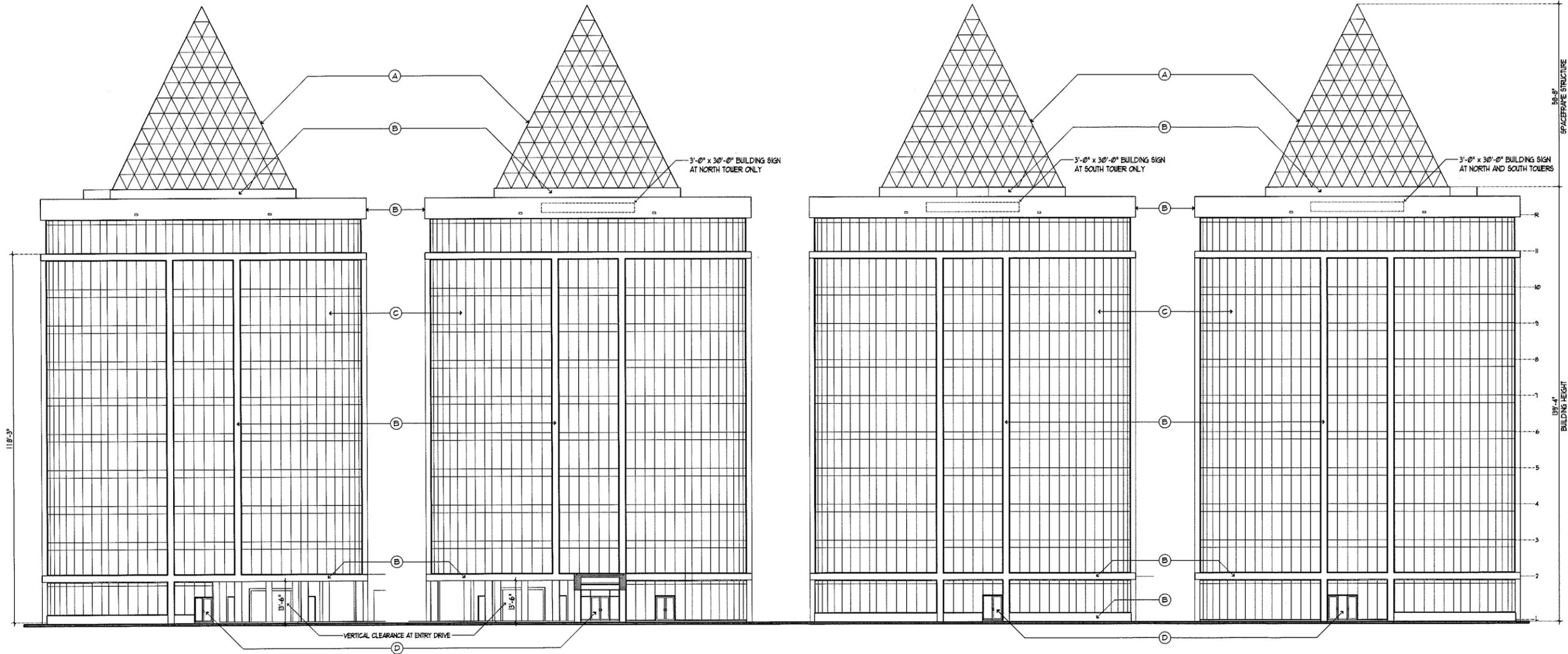
DATE: 1 JANUARY 2010
 DRAWN BY: K. KELLY
 CHECKED BY: K. KELLY

Kathleen P. Kelly
 Registered Architect
 Lic. No.: AR9499

kelly design & architecture, inc.
 11331 AVERY ROAD
 PALM BEACH GARDENS
 FLORIDA 33410-3402
 TELEPHONE: (561) 691-0403 / FAX: (561) 628-5091
 E-MAIL: KELLYCOM@BELLSOUTH.NET
 AA0002643

Gardens Corporate Center
 Palm Beach Gardens, Florida

A-4



South Tower: East Elevation
 North Tower: East Elevation - Opposite Hand
 Scale: 1/16" = 1'-0"

South Tower: North Elevation
 North Tower: South Elevation - Opposite Hand
 Scale: 1/16" = 1'-0"

South Tower: South Elevation
 North Tower: North Elevation - Opposite Hand
 Scale: 1/16" = 1'-0"

South Tower: West Elevation
 North Tower: West Elevation - Opposite Hand
 Scale: 1/16" = 1'-0"

- MATERIAL / COLOR LEGEND**
- (A) STEEL SPACE FRAME STRUCTURE WITH PAINT COLOR TO MATCH STO WHITE 9433
 - (B) STO STGLIT 15 SMOOTH SYNTHETIC STUCCO FINISH. COLOR - STO WHITE 9433
 - (C) FOUR SIDED 66G CURTAINWALL SYSTEM WITH VIRACON VREI-38 BLUE GLASS.
 - (D) ALUMINUM STOREFRONT WITH GLASS TO MATCH CURTAINWALL AND ALUMINUM FRAMING WITH KYNAR FINISH. COLOR TO MATCH STO WHITE 9433

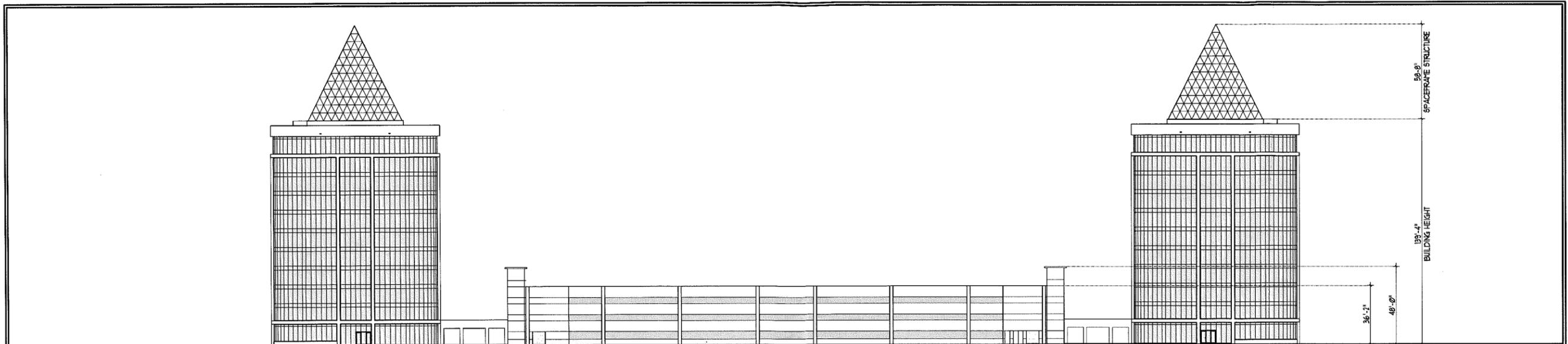
DATE: 11/15/07
BY: K.P.K.
REVISION:

Kathleen P. Kelly
Registered Architect
Lic. No.: AR9499

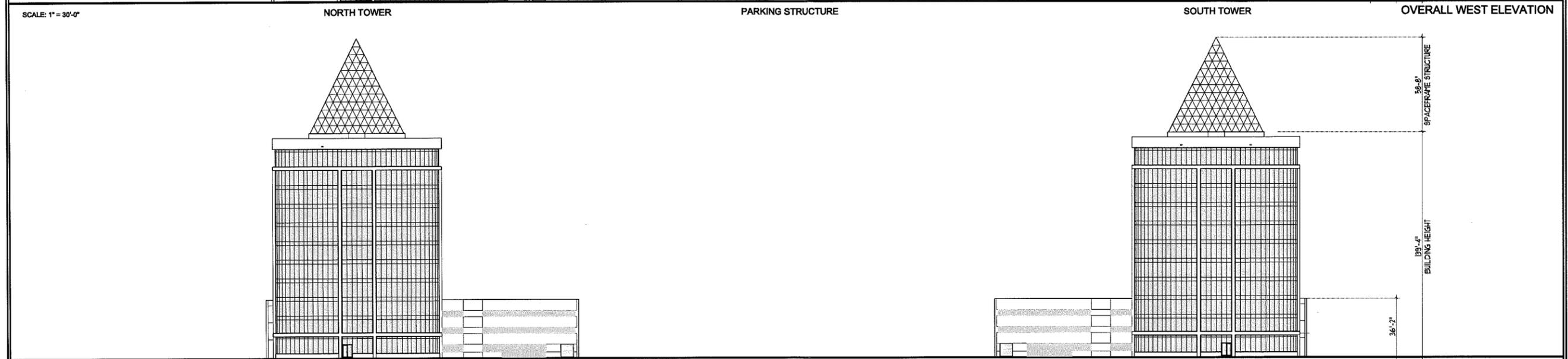
KDA **kelly design & architecture, inc.**
11331 AVERY ROAD
PALM BEACH GARDENS
FLORIDA 33410-3402
TELEPHONE: (561) 891-0403 / FAX: (561) 626-6091
E-MAIL: KELLYCOM@BELLSOUTH.NET
AA0002643

Gardens Corporate Center
Palm Beach Gardens, Florida

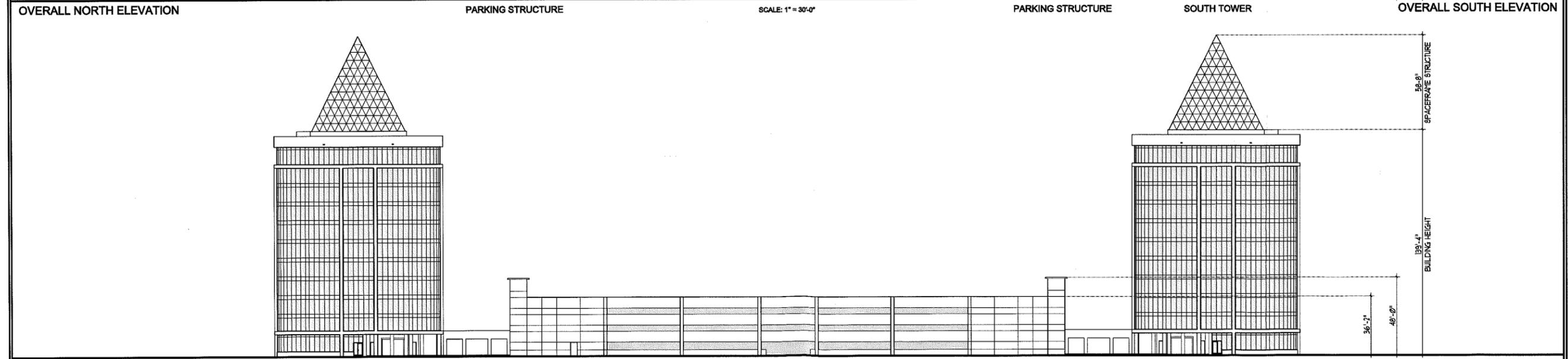
A-5



SCALE: 1" = 30'-0" NORTH TOWER PARKING STRUCTURE SOUTH TOWER OVERALL WEST ELEVATION



OVERALL NORTH ELEVATION PARKING STRUCTURE SOUTH TOWER OVERALL SOUTH ELEVATION



SCALE: 1" = 30'-0" SOUTH TOWER PARKING STRUCTURE NORTH TOWER OVERALL EAST ELEVATION

DATE: 8/20/09
 REVISION:

Kathleen P. Kelly
 Registered Architect
 Lic. No.: AP8499

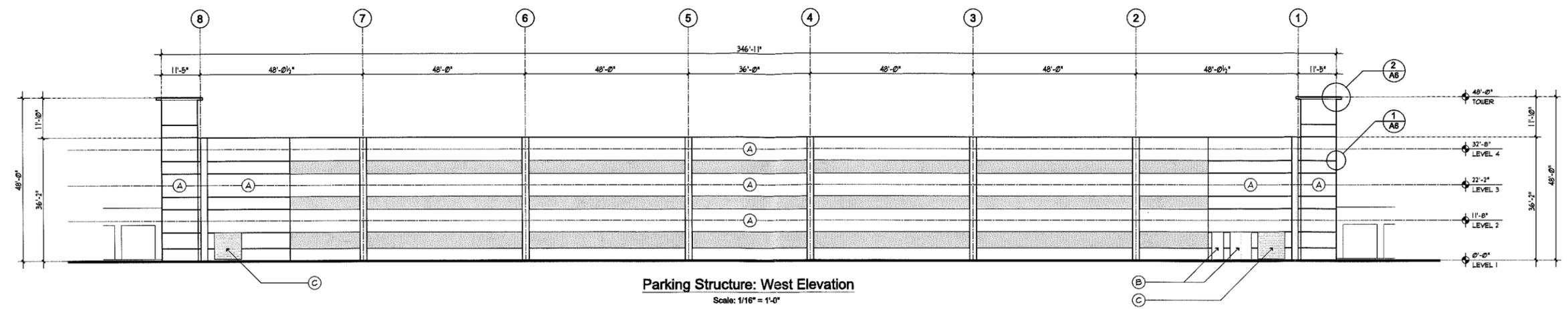
kelly design & architecture, inc.
 FLORIDA 33410-3402
 PALM BEACH GARDENS
 11351 AVERY ROAD
 TELEPHONE: (561) 891-0403 / FAX: (561) 828-5091
 E-MAIL: KELLYCOO@BELLSOUTH.NET



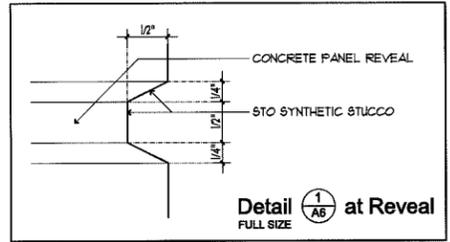
AA0002843

Gardens Corporate Center
 Palm Beach Gardens, Florida

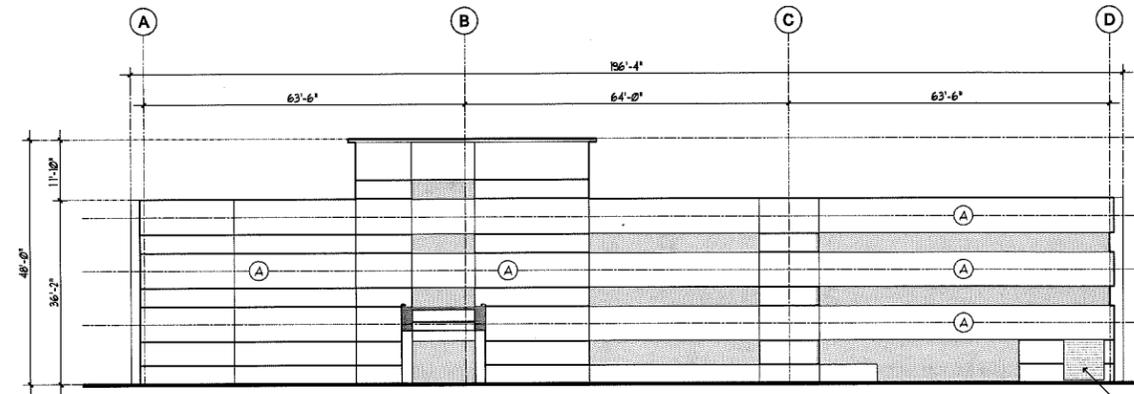
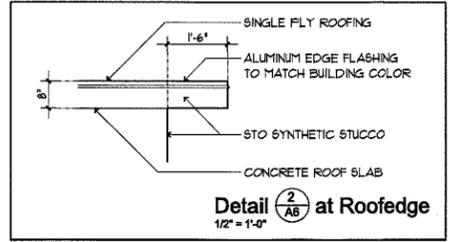
A-6



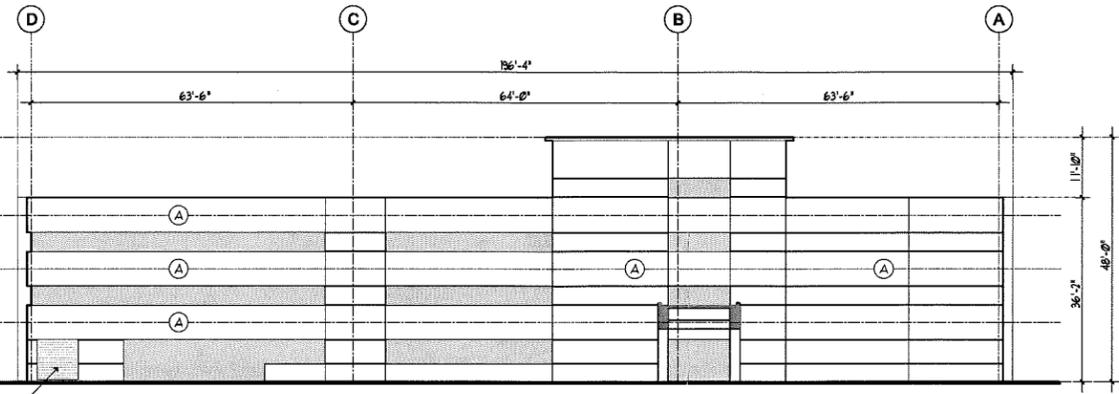
Parking Structure: West Elevation
 Scale: 1/16" = 1'-0"



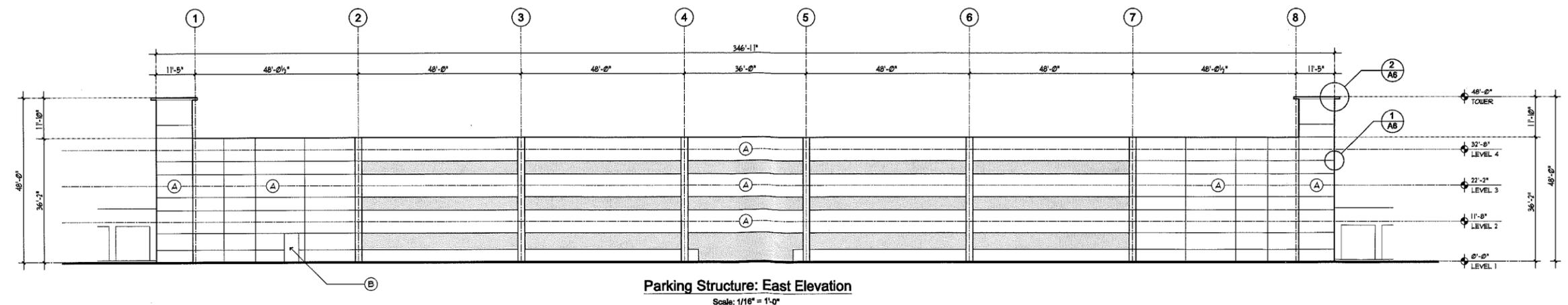
- MATERIAL / COLOR LEGEND**
- (A) STO STOLIT 15 SMOOTH SYNTHETIC STUCCO FINISH COLOR - STO WHITE 9433
 - (B) FLUSH STEEL DOOR(S) WITH PAINT FINISH TO MATCH STO WHITE 9433
 - (C) ALUMINUM LOUVER WITH PAINT FINISH TO MATCH STO WHITE 9433



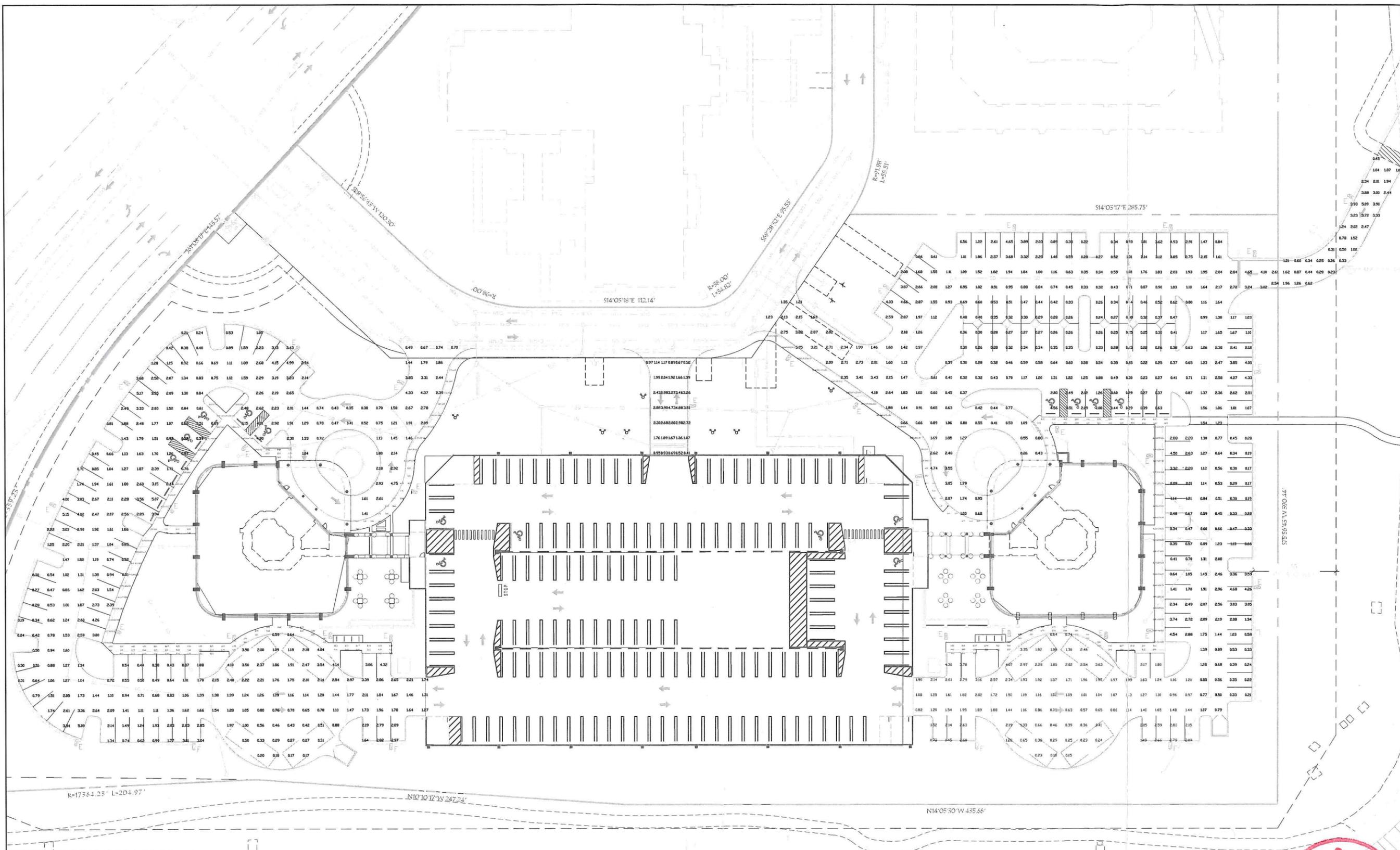
Parking Structure: North Elevation
 Scale: 1/16" = 1'-0"



Parking Structure: South Elevation
 Scale: 1/16" = 1'-0"

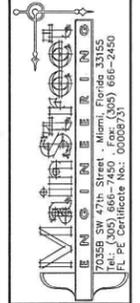


Parking Structure: East Elevation
 Scale: 1/16" = 1'-0"



THE SIGNATURE AND SEAL OF THE ENGINEER MUST BE PLACED ON THIS SHEET AND THE INPUT DATA USED IN GENERATION OF THIS COMPUTER PRINTOUT.

No.	REVISIONS	DATE	BY
1	UPDATED PHOTOMETRICS	10/16/15	CG
2	UPDATED SITE PLAN	1/11/16	CG
3	UPDATED PHOTOMETRICS	2/16/16	CG
4	UPDATED PHOTOMETRICS	2/16/16	CG



SCALE
 DESIGNED BY SB
 DRAWN BY SB
 CHECKED BY SB

DESCRIPTION:
 PHOTOMETRIC SITE PLAN

PROJECT:
 PALM BEACH GARDENS
 CORPORATE CENTER
 PALM BEACH GARDENS, FL

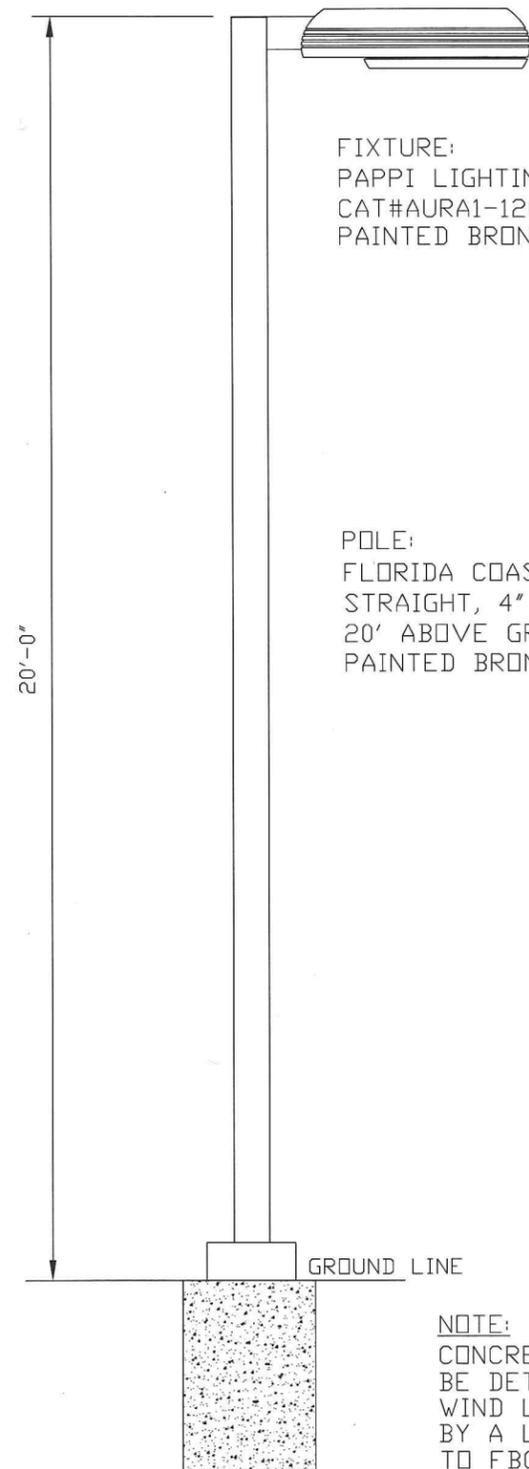
DATE
 07/17/2015
 PROJECT NO.
 SHEET NUMBER
PH-1



TABLE OF CONTENTS

- PH-1 PHOTOMETRIC SITE PLAN
- PH-2 PHOTOMETRIC TABLE & POLE DETAIL

PHOTOMETRIC SITE PLAN



FIXTURE:
PAPPI LIGHTING FIXTURE "AURA"
CAT#AURA1-120LED-4000K-MT-BZS
PAINTED BRONZE

POLE:
FLORIDA COAST LIGHTING CAT#FCLSS20400BZ
STRAIGHT, 4" SQUARE, ANCHOR BASED,
20' ABOVE GRADE, STEEL POLE,
PAINTED BRONZE

NOTE:
CONCRETE FOUNDATION SIZE TO
BE DETERMINED BY SIGN & SEALED
WIND LOAD CALCULATIONS PERFORMED
BY A LICENSED FLORIDA P.E. CONFORMING
TO FBC-2012 EDITION, 170 MPH

POLE DETAIL "E" & "F"

PARKING LOT
715 points
HORIZONTAL FOOTCANDLES
Average 1.54
Maximum 5.17
Minimum 0.17
Avg:Min 9.07
Max:Min 30.41
Coef Var 0.76

PATHWAYS
378 points
HORIZONTAL FOOTCANDLES
Average 2.02
Maximum 5.37
Minimum 0.19
Avg:Min 10.65
Max:Min 28.26
Coef Var 0.70

E
PAPPI: AURA1 - 120 LED 4000K MT FF LG PM
LIGHT LABORATORY, INC. test report no. L051410502
lamp(s): BRIDGELUX VERO-13 COB LED 4000K WHITE COLOR
ballast: PHILIPS ADVANCE LEDINT A0700C210FD (TWO DRIVERS)
candela file 'AURA1 120 LED GEN3 TYPE 4.IES'
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 120
Outreach (from mounting axis to photometric center)= 10 in
tilt angle= 5 deg
mounting height= 20 ft
number locations= 29, number luminaires= 29
kw all locations= 3.5

F
PAPPI: AURA1 - 120 LED 4000K MT III LG PM
LIGHT LABORATORY, INC. test report no. L03141801
lamp(s): BRIDGELUX VERO-13 COB LED 4000K WHITE COLOR
ballast: PHILIPS ADVANCE LEDINT A0700C210FD (TWO DRIVERS)
candela file 'AURA1 120 LED GEN3 TYPE 3.IES'
1 lamp(s) per luminaire, photometry is absolute
Light Loss Factor = 0.900, watts per luminaire = 120
Outreach (from mounting axis to photometric center)= 10 in
mounting height= 20 ft
number locations= 4, number luminaires= 4
kw all locations= 0.5

CG15013-13P
2016-0216

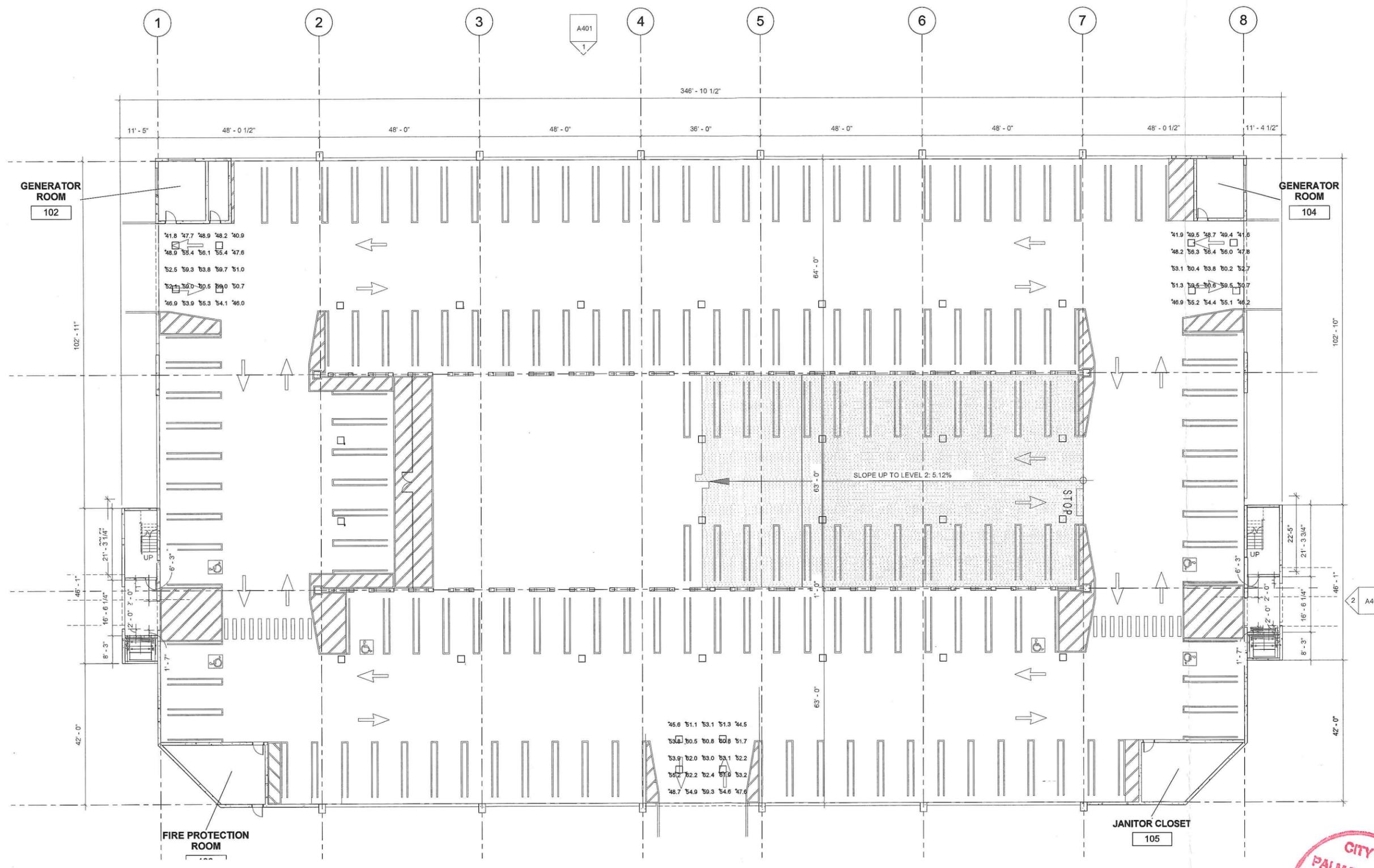
REAR OF TOWER 1 LIGHTING
106 points at z=0, sp 10ft by 10ft
HORIZONTAL FOOTCANDLES
Average 1.58
Maximum 4.36
Minimum 0.15
Avg:Min 10.52
Max:Min 29.07
Coef Var 0.56
UnifGrad 2.47

REAR OF TOWER 2 LIGHTING
128 points at z=0, sp 2.5ft by 10ft
HORIZONTAL FOOTCANDLES
Average 1.56
Maximum 4.32
Minimum 0.17
Avg:Min 9.21
Max:Min 25.41
Coef Var 0.63
UnifGrad 2.01

PHOTOMETRIC TABLE

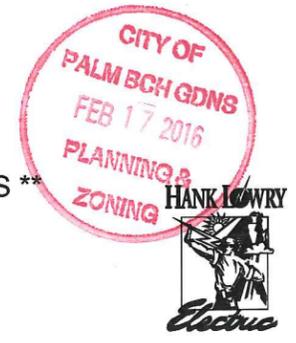


THE SIGNATURE AND SEAL HEREBY AFFIXED BY THIS ENGINEER CERTIFIES COMPLIANCE ONLY OF THE METHOD COMPUTER PRINTOUT.		10/16/15 CG 1/11/16 CG 2/16/16 CG	REVISIONS DATE BY
ELECTRICAL ENGINEER: DANIEL G. SANTILLAN FLORIDA P.E. # 79227		2 UPDATED PHOTOMETRIC TABLE 3 UPDATED PHOTOMETRIC TABLE & POLE DETAIL 4 UPDATED PHOTOMETRIC TABLE & POLE DETAIL	No.
SCALE	DESIGNED BY SB DRAWN BY SB CHECKED BY SB	SEAL	No.
DESCRIPTION: PHOTOMETRIC TABLE & POLE DETAIL		PROJECT: PALM BEACH GARDENS CORPORATE CENTER PALM BEACH GARDENS, FL	
DATE 07/17/2015 PROJECT NO.		SHEET NUMBER PH-2	



1 GROUND LEVEL ENTRANCE PLAN - DAY
 3/32" = 1'-0"

** SEE SHEET E505 FOR CALCULATED VALUES **



FINFROCK
 FINFROCK DESIGN, INC.
 2400 Apopka Boulevard • Apopka, Florida 32703
 407.293.4000 • 800.736.7224 • www.finfrock.com

Hank Lowry Electric, Inc.
 592 Thorne Rd.
 Orlando, FL 32824
 Phone: (407) 855-0035
 Fax: (407) 855-0940

PALM BEACH GARDENS
 PARKING GARAGE
 PALM BEACH GARDENS, Florida
 GROUND LEVEL ENTRANCE PLAN
 DAY

REV.	DATE	SUBMITTAL/REV.
1	2015-11-18	REVISION
2	2015-10-10	PHOTOMETRIC REVISION
3	2015-02-10	PHOTOMETRIC REVISION

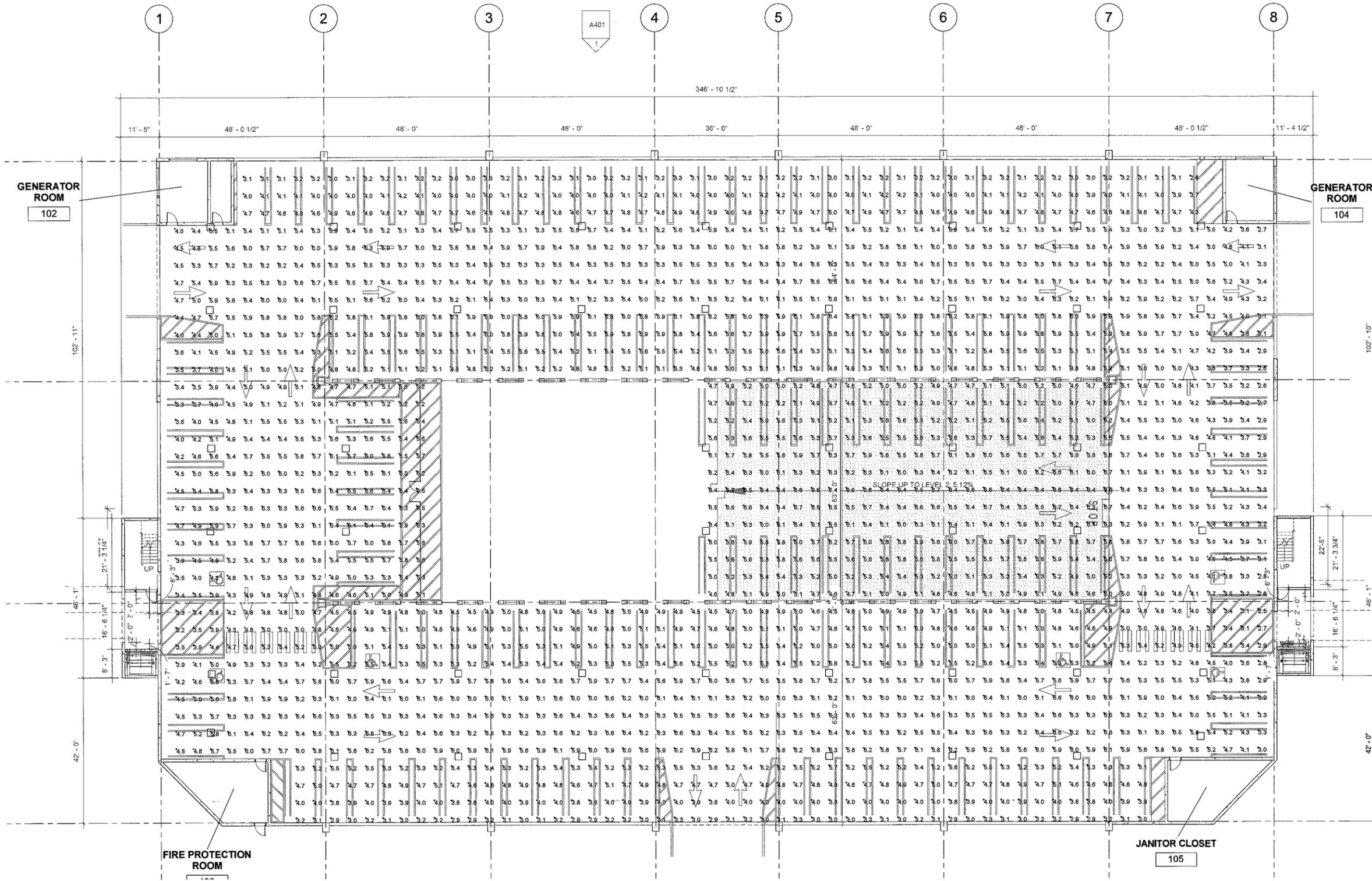
John W. Goss PE, CEM
 4292
 SEAL

DRAWN BY: DJR
 CHECKED BY: DJR
 PROJECT NO: 15238

E501

02/25/15 11:26:29 AM C:\Users\jlowry\Documents\Projects\2015\15238\15238.dwg

ALL IDEAS, DESIGNS, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF FINFROCK DMC AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF FINFROCK DMC. WARNING: REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UNDER 18 U.S.C. SECTION 506 UNAUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRETS MISAPPROPRIATION IN VIOLATION OF 1.C.24-331 ET. SEC. AND OTHER LAWS THE IDEAS, ARRANGEMENTS, AND DESIGNS DISCLOSED HEREIN MAY BE PATENTED OR BE THE SUBJECT OF PENDING PATENT APPLICATIONS.



1 GROUND LEVEL PHOTOMETRIC PLAN - NIGHT
3/32" = 1'-0"

** SEE SHEET E505 FOR CALCULATED VALUES **

Hank Lowry Electric, Inc.
 592 Thorpe Rd.
 Orlando, FL 32824
 Phone: (407) 855-0035
 Fax: (407) 855-0940

PALM BEACH GARDENS
 PARKING GARAGE
 GROUND LEVEL PHOTOMETRIC PLAN
 NIGHT

REV.	DATE	SUBMITTAL/REV.
2015-10-16	PHOTOMETRIC REVIEW	
2015-10-16	PHOTOMETRIC REVIEW	

John W. Gray PE, CEM
 42572
 SEAL

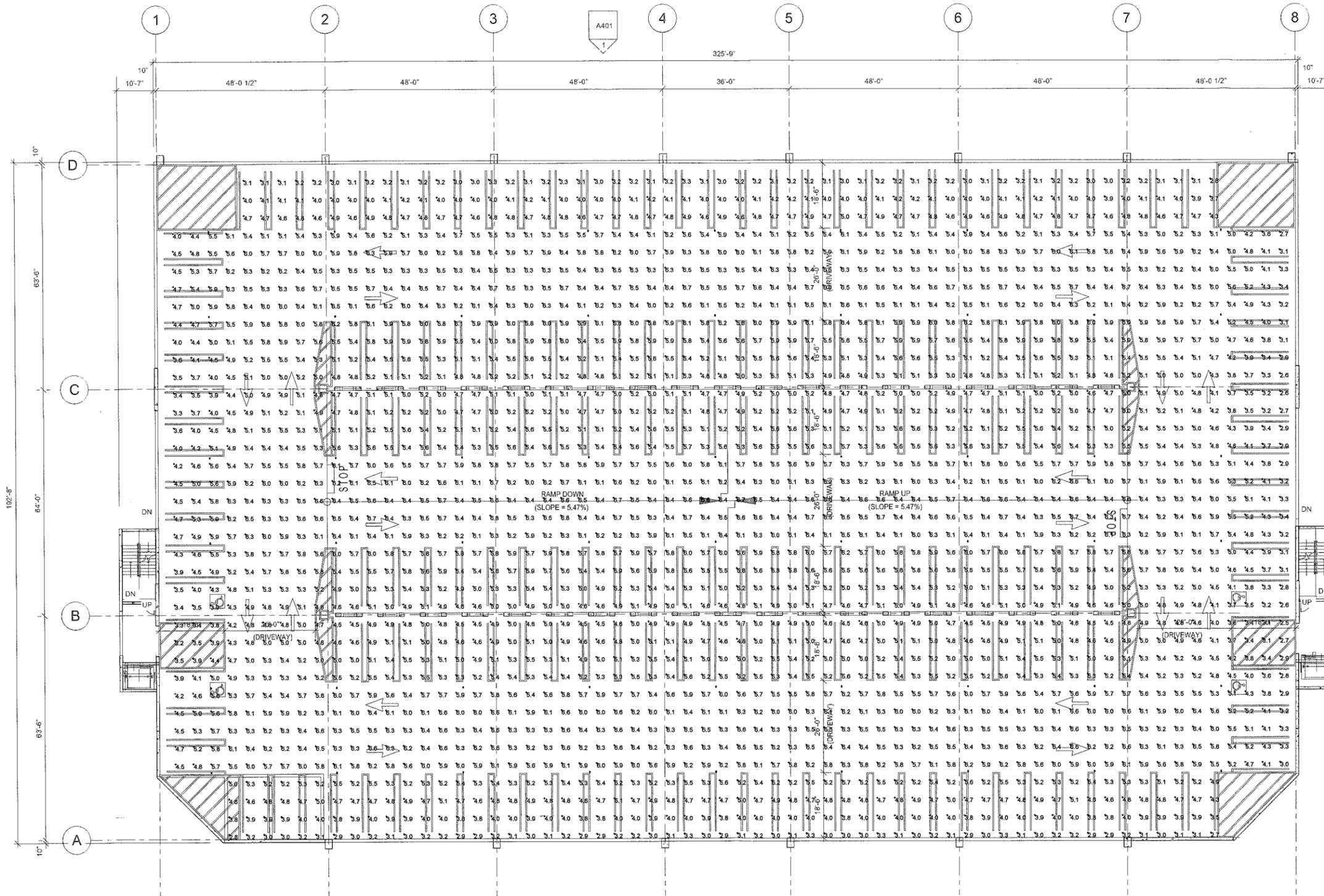
DRAWN BY: DAS
 CHECKED BY: DAS
 PROJECT NO: 15228

E501A



REVISED: 11/2015 BY: CHW/ML

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND THE PROPERTY OF FINFROCK, INC. AND WERE CREATED, DEVELOPED, AND DESIGNED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF FINFROCK, INC. VIOLATION OF THIS SECTION MAY CONSTITUTE TRADE SECRET MISAPPROPRIATION IN VIOLATION OF 18 U.S.C. SECTION 1832 AND OTHER LAWS. THE IDEAS, ARRANGEMENTS, AND DESIGNS DISCLOSED HEREIN MAY BE PATENTED OR BE THE SUBJECT OF PENDING PATENT APPLICATIONS.



1 SECOND AND THIRD LEVEL PHOTOMETRIC PLAN -OVERVIEW NIGHT
3/32" = 1'-0"

** SEE SHEET E505 FOR CALCULATED VALUES **

FINFROCK
FINFROCK DESIGN, INC.
2400 Apopka Boulevard ■ Apopka, Florida 32703
407.293.4000 ■ 800.798.7224 ■ www.finfrack.com

Hank Lowry Electric, Inc.
532 Thorpe Rd.
Orlando, FL 32824
Phone: (407) 855-0035
Fax: (407) 855-0940

PALM BEACH GARDENS
PARKING GARAGE
SECOND AND THIRD LEVEL PHOTOMETRIC
PLAN -OVERVIEW NIGHT

REV.	DATE	SUBMITTAL/REV.

John W. Gann PE, CEM
4/27/15

SEAL

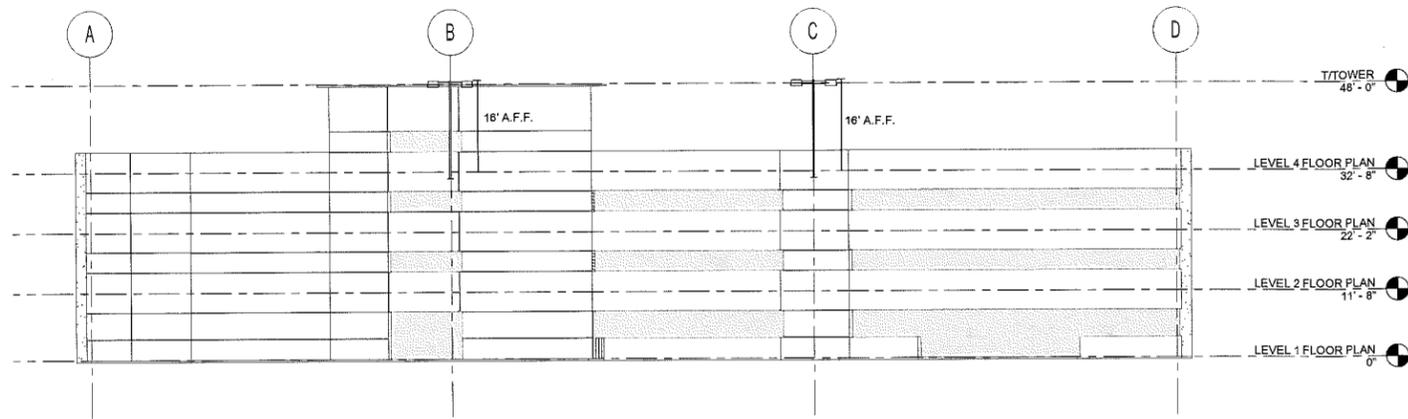
DESIGNED BY: DUS
CHECKED BY: DUE
PROJECT NO: 1526

E502



20250515.1526.DWG

ALL IDEAS, DESIGN, ARRANGEMENTS, AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF FINFROCK INC AND WERE CREATED, ENHANCED, AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIC PROJECT. NONE OF THE IDEAS, DESIGN, ARRANGEMENTS, OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM, OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF FINFROCK INC. WARNING: REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UNDER 18 U.S.C. SECTION 504 UNLESS AUTHORIZED BY FINFROCK INC. FINFROCK INC. IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS DRAWING. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.



1 POLE ELEVATION DETAIL
3/32" = 1'-0"

LUMINAIRE SCHEDULE									
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
□	A	--	DSXPG LED 20C 700 50K T5W MVOLT	DSXPG PARKING GARAGE FIXTURE WITH 2 LIGHT ENGINES, 700mA DRIVER, 5000K LEDs, T5W OPTIC.	LED	DSXPG_LED_20C_700_50K_T5W_MVOLT.i es	Absolute	0.95	46
□	B	--	DSX1 LED 60C 1000 50K T5W MVOLT	DSX1 LED WITH (2) 30 LED LIGHT ENGINES, TYPE T5W OPTIC, 5000K, @ 1000mA	LED	DSX1_LED_60C_1000_50K_T5W_MVOLT.i s	Absolute	0.95	418

2 FIXTURE SCHEDULE
N.T.S.

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Ground Floor Night	+	3.4 fc	4.7 fc	1.3 fc	3.6:1	2.6:1
** North Entrance/Exit	+	53.0 fc	63.8 fc	41.6 fc	1.5:1	1.3:1
Level 2 & 3 Full	+	5.3 fc	6.8 fc	2.5 fc	2.7:1	2.1:1
Parking Stall Exterior	+	4.0 fc	5.0 fc	3.0 fc	1.7:1	1.3:1
Parking Stall Interior	+	5.3 fc	6.1 fc	4.7 fc	1.3:1	1.1:1
Ramp	+	6.3 fc	6.8 fc	5.5 fc	1.2:1	1.1:1
Roof	+	3.6 fc	8.9 fc	0.5 fc	17.8:1	7.2:1
** East Entrance/Exit	+	55.5 fc	63.1 fc	44.5 fc	1.4:1	1.2:1
** South Entrance/Exit	+	52.6 fc	63.8 fc	40.9 fc	1.6:1	1.3:1

3 CALCULATED VALUES
N.T.S.

** Calculated values include daylighting as allowed by IESNA

FINFROCK
FINFROCK DESIGN, INC.
2400 Appala Boulevard • Apopka, Florida 32703
407.283.4000 • 800.736.7224 • www.finfrock.com

Hank Lowry Electric, Inc.
582 Thorpe Rd.
Orlando, FL 32824
Phone: (407) 855-0035
Fax: (407) 855-0940

PALM BEACH GARDENS
PARKING GARAGE
PHOTOMETRIC DETAILS
Florida

REV.	DATE	SUBMITTAL/REV.
1	05-15-20	PHOTOMETRIC REVIEW
2	05-15-20	REVISION

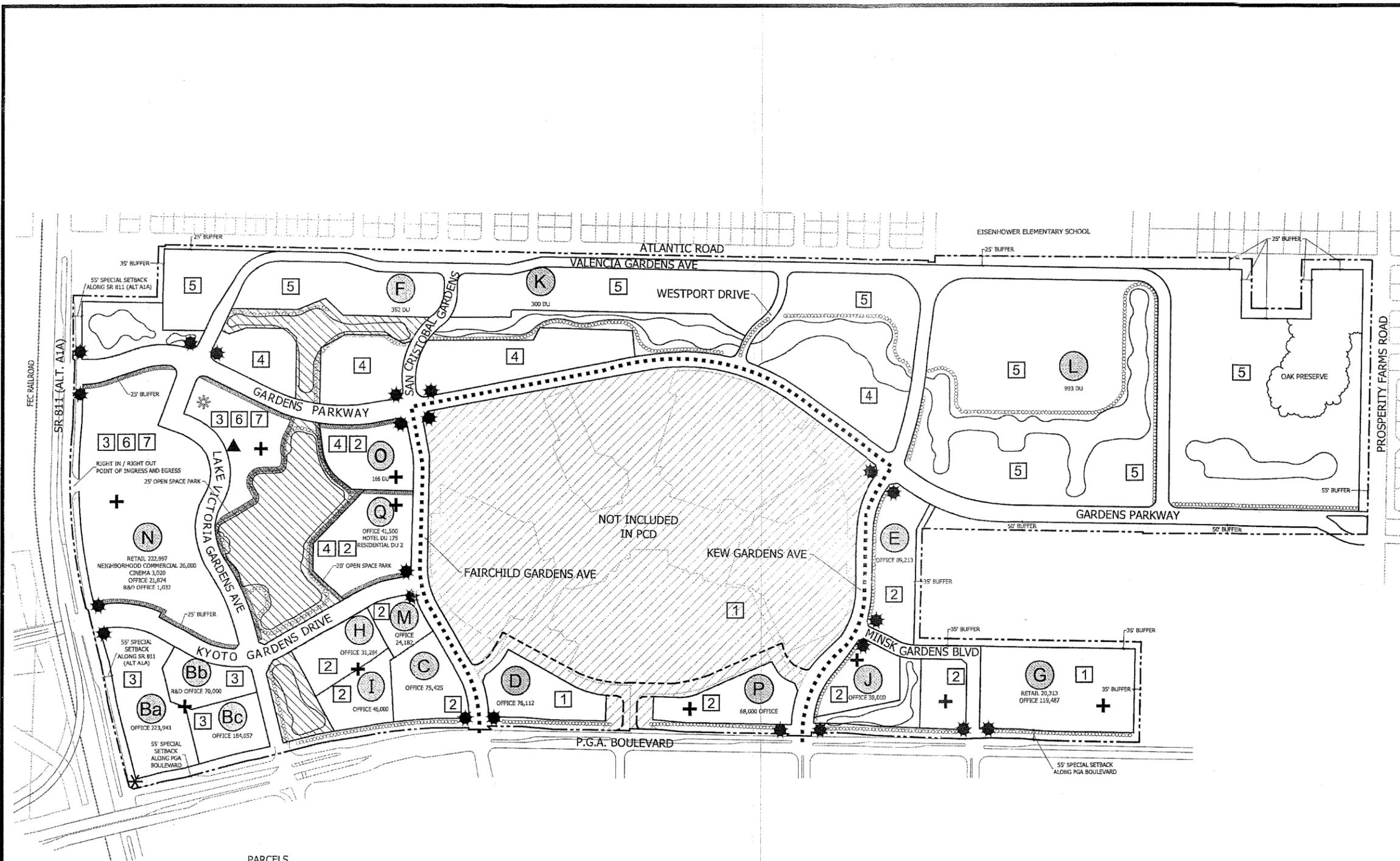
John W. Green PE, CEM
9287

S E A L

DRAWN BY: BUS
CHECKED BY: BUS
PROJECT NO: 15204

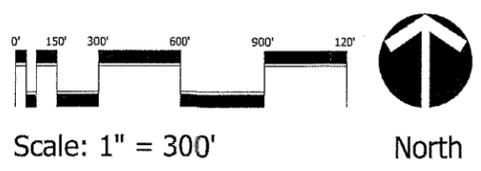
E505





- PARCELS**
- | | | |
|--------------------------------------------------------|-------------------------------------------|-----------------------------|
| (Ba) GARDENS CORPORATE CENTER (GOSMAV PARCEL) | (G) GARDENS BUSINESS CENTER | (M) VIRIDIAN OFFICE CENTRE |
| (Bb) FINANCIAL CENTER AT THE GARDENS (GARDENS CENTER) | (H) UNIVERSITY MRI/LASER & SURGERY CENTER | (N) DOWNTOWN AT THE GARDENS |
| (Bc) FINANCIAL CENTER AT THE GARDENS (PGA ACQUISITION) | (I) GRAND BANK AND TRUST | (O) LANDMARK |
| (C) GARDENS MEDICAL PAVILION | (J) PARCEL 27.04 | (P) SEACOAST BANKING CENTER |
| (D) PGA FINANCIAL CENTER | (K) LA POSADA | (Q) GARDENS POINTE |
| (E) PROFESSIONAL CENTRE AT THE GARDENS | (L) SAN MATERA & HARBOUR OAKS | |
| (F) MIRA FLORES | | |

Final Approval
City of Palm Beach Gardens
 Project Name: Regional Center PCD
 Petition #: PCDA-12-05-00005
 Development Order: PCDO 25-2015
 Date: May 2, 2015
 Project Manager: RWH



PROPOSED LAND USES

COMMERCIAL	AC	%	DU'S
1 RETAIL / OFFICE / HOTEL	98	21.4	
2 OFFICE / HOTEL / COMMUNITY USE	36.2	7.9	
3 RESEARCH / OFFICE / SERVICE COMM. / HOTEL	37.2	6.6	
6 NEIGHBORHOOD CENTER (SEE RESO 81-2001 EXHIBIT B FOR PERMITTED USES)	2.0	0.4	
7 CINEMA	1.8	0.4	
SUBTOTAL	168.2	36.7	

RESIDENTIAL	AC	%	DU'S
4 MULTI-FAMILY / RES. / OFFICE / COMM. USE	30.6	8.2	
5 MULTI-FAMILY RESIDENTIAL	98	21.4	
SUBTOTAL	135.6	29.6	2,051

OPEN SPACE / OTHER	AC	%	DU'S
OPEN SPACE / REC. / GREEN / WATER	95	20.7	
MAJOR ROAD SYSTEMS	59.4	13	
BUS ROUTES	0	0	
MAJOR PEDESTRIAN SYSTEMS	0	0	
SUBTOTAL	154.4	33.7	

TOTAL 458.2 100% 2,051

5.5 AC. COMMUNITY USE / PUBLIC SAFETY / ARTS TO BE PROVIDED OFF-SITE.

- PUBLIC PARK AREA**
- NOTE: INCLUDES 21.6+ ACRES OF PUBLIC PARK AREA
 - NOTE: INCLUDES 3 ACRES ADDITIONAL PUBLIC PARK AREA BY GRANT OF PUBLIC EASEMENT TO BRING TOTAL PUBLIC PARK AREA TO 24.6+ ACRES THAT WILL CONTAIN SIGNAGE TO DENOTE AREAS AS PUBLIC ACCESS AREA.
 - NOTE: THIS PUBLIC OPEN SPACE PARK AREA TO INCLUDE 30,000 SF OF PUBLIC GATHERING AREA INCLUDING HARDSCAPE, STREET FURNITURE AND COVERED PUBLIC SPACES

COMMUNITY SERVICE OPEN SPACE

LOCATION	ACRES
WATER MANAGEMENT SYSTEMS	52.0
EXISTING PROPOSED	UP TO 7.9
TOTAL WATER MANAGEMENT	UP TO 62.9
(3 ADDITIONAL ACRES PROVIDED AT WEST WEST OF HALL)	
BUFFERS 5' SPECIAL SETBACK	2.3
PROSPERITY FARMS ROAD	4.5
PGA BLVD	UP TO 4.1
PGA / ALT AIA INTERSECTION	1.6
ALT AIA	UP TO 12.5
TOTAL SPECIAL SETBACK	UP TO 12.5
PROJECT PERIMETER BUFFERS	4.3
NORTH PROPERTY LINE (25' WIDTH)	2.8
MEADOWS MOBILE HOME NORTH (35' WIDTH)	0.7
MEADOWS MOBILE HOME SOUTH-EAST (35' WIDTH)	1.5
TOTAL PERIMETER	9.3
OAK HAMMOCK PRESERVE (EXACT BOUNDARIES TO BE DETERMINED BY THE SRP PROCESS)	8.0
CANARY ISLAND DATE PALM BERMS (OR ALTERNATIVE LANDSCAPE DESIGN AS APPROVED BY THE CITY COUNCIL)	
EXISTING	UP TO 4.5
TOTAL CANARY ISLAND	UP TO 4.5
MAJOR ROAD RIGHTS OF WAY	11.5
PROJECT TOTAL	NOT LESS THAN 95.0

* THE REMAINING 25,000 SQUARE FEET OF RETAIL APPROVED BY RESOLUTION 25-2000 SHALL BE LOCATED ON PROPERTY SOUTH OF GARDENS PARKWAY, NORTH OF KYOTO GARDENS DRIVE, EAST OF ALT. A1A, AND WEST OF THE WATER MANAGEMENT TRACT.

+ CONVERSIONS SHALL BE LIMITED TO PARCELS IDENTIFIED WITH THIS SYMBOL.

RANGE OF FLOOR SPACE ALLOCATION FOR LAND USES

USE	LOWEST CONVERSION THRESHOLD	HIGHEST CONVERSION THRESHOLD	CURRENTLY AUTHORIZED ENTITLEMENT
NEIGHBORHOOD COMMERCIAL	25,000 SF	25,000 SF	25,000 SF
REGIONAL COMMERCIAL	1,440,000 SF	1,540,000 SF	1,633,310 SF
CINEMA	2,960 SEATS	3,400 SEATS	3,020 SEATS
BUSINESS OFFICE	860,932 SF	1,130,000 SF	1,039,077 SF
RESEARCH AND DEVELOPMENT OFFICE	71,032 SF	235,200 SF	71,032 SF
HOTEL / CONFERENCE	0 ROOMS	574 ROOMS	175 ROOMS
RESIDENTIAL	1,813 DU	2,051 DU	1,813 DU

NOTE: ENTITLEMENTS REFLECTED ON PARCELS ARE BASED ON CONVERSIONS AS OF 09/2012.

THE
REGIONAL CENTER
 PALM BEACH GARDENS, FLORIDA

ORIGINAL ADA (9, 1984)	NOPC #5 (25, 2000)	NOPC #10 (105, 2004)
NOPC #1 (23, 1984)	NOPC #6 (36, 2001)	NOPC #11 (23, 2011)
NOPC #2 (16, 1986)	NOPC #7 (81, 2001)	
NOPC #3 (96, 1994)	NOPC #8 (171, 2002)	
NOPC #4 (96, 1999)	NOPC #9 (93, 2003)	

November 06, 2012 1:37:38 p.m.
 Drawing: 05-1003-04 MAP H.DWG

EXHIBIT
B
 CITY OF PALM BEACH GARDENS
 DEC 10 2012
 PLANNING & ZONING