

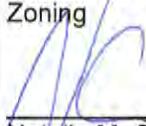
**CITY OF PALM BEACH GARDENS
PLANNING, ZONING AND APPEALS BOARD
Agenda Cover Memorandum**

**Meeting Date: November 15, 2016
Petition: CPMA-14-07-000018**

Subject/Agenda Item:

Parcel 18.A07 Large Scale Comprehensive Plan Future Land Use Map Amendment Public Hearing and Recommendation to City Council: A petition by Kennedy Homes, LLC, requesting a Large-Scale Comprehensive Plan Map Amendment to change the Future Land Use designation of a 12.50-acre parcel from Residential Low (RL) to Residential Medium (RM), capping the gross density of the site to 50 residential units. The property is located on the north side of Hood Road, immediately west of Florida's Turnpike.

Recommendation to APPROVE
 Recommendation to DENY

<p>Reviewed by: Director of Planning and Zoning</p> <p> _____ Natalie M. Crowley, AICP</p> <p>Development Compliance and Zoning Manager</p> <p> _____ Bahareh Wolfs, AICP</p> <p>City Attorney</p> <p>_____ R. Max Lohman, Esq.</p> <p>Approved by: City Manager</p> <p>_____ Ronald M. Ferris</p>	<p>Originating Dept.: Planning & Zoning: Project Manager</p> <p> _____ Joann Skaria, AICP Senior Planner</p> <p><input checked="" type="checkbox"/> Quasi – Judicial <input type="checkbox"/> Legislative <input checked="" type="checkbox"/> Public Hearing</p> <p>Advertised: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Date: 11/4/2016 Paper: Palm Beach Post</p> <p>Affected parties: <input checked="" type="checkbox"/> Notified <input type="checkbox"/> Not Required</p>	<p>Finance: Accountant</p> <p> _____ Tresha Thomas</p> <p>Fees Paid: <u>Yes</u></p> <p>Funding Source: <input type="checkbox"/> Operating <input checked="" type="checkbox"/> Other <u>N/A</u></p> <p>Budget Acct.#: <u>N/A</u></p> <p>Effective Date: <u>N/A</u></p> <p>Expiration Date: <u>N/A</u></p>	<p>PZAB Action: <input type="checkbox"/> Rec Approval <input type="checkbox"/> Rec App. w/ Conds. <input type="checkbox"/> Rec Denial <input type="checkbox"/> Continued to: _____</p> <p>Attachments:</p> <ul style="list-style-type: none"> • Development Application • Warranty Deed • Location Map • Project Narrative • Traffic Impact Statement & Approval Letter • Service Letters • Existing and Proposed Future Land Use Maps
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EXECUTIVE SUMMARY

The Applicant is requesting a Large-Scale Comprehensive Plan Map Amendment to change the Future Land Use designation of a 12.50-acre parcel from Residential Low (RL) to Residential Medium (RM), capping the gross density of the site to 50 residential units. The property is located on the north side of Hood Road, immediately west of Florida’s Turnpike. The requested amendment the level of service standards for the proposed land use designation and is compatible with the surrounding area as proposed.

BACKGROUND

On June 27, 2010, the City Council adopted Ordinance 10, 2010, approving the annexation of the 12.39-acre parcel, Parcel 18.A07, from unincorporated Palm Beach County into the City of Palm Beach Gardens.

On October 21, 2010, the City Council adopted Ordinance 11, 2010, approving the assignment of a future land designation of Residential Low (RL) for the subject parcel.

On December 16, 2010, the City Council adopted Ordinance 27, 2010, approving the assignment of a zoning designation of Residential Low Density-2 District (RL-2) for the subject parcel.

LAND USE & ZONING

Parcel 18.A07 has a future land-use designation of Residential Low (RL), as shown on the City’s Future Land Use Map. The zoning designation for the subject site is Residential Low Density-2 District (RL-2). The land uses and zoning designation of the properties surrounding the subject site are provided in the table below.

Table 1. Existing Zoning and Future Land-Use Designations

EXISTING USE	ZONING	FUTURE LAND USE
<u>Subject Property</u> Parcel 18.A07 (vacant)	Residential Low Density-2 District (RL-2)	Residential Low (RL),
<u>North</u> Eastpointe Country Club (unincorporated Palm Beach County)	Residential Estate (RE)	Low Residential (LR-2)
<u>South (Hood Road)</u> Marsh Pointe Elementary School in Mirasol Planned Community Development (PCD)	Planned Community Development (PCD)	Residential Low (RL)
<u>East (Florida’s Turnpike)</u> Alton Development of Regional Impact (DRI)	Planned Community Development (PCD) Overlay / Mixed Use (MXD)	Mixed Use (MXD)
<u>West</u> Eastpointe Country Club (unincorporated Palm Beach County)	Residential Estate (RE)	Low Residential (LR-2)

North and West: To the north and west of the subject property is the Eastpointe Country Club at an average density of 1.3 du/ac. However, there are a variety of neighborhoods within Eastpointe Country Club that range between 4.0 du/ac to 0.5 du/ac.

South: To the south across Hood Road is the Mirasol Planned Community Development (PCD), and specifically Mirabella, which is a residential community developed at 3.9 to 6.69 du/ac.

East: To the east is Alton PCD, which is a Mixed Use Development that is currently approved for 968 single family units, 2,632,000 sf of industrial/biotech, 1,200,000 sf of office, 300 hotel rooms, 450,000 sf of retail, 353 apartment units, 681 multi-family units and a 256-bed assisted living facility. Immediately east of the subject site, across Florida's Turnpike, is a proposed single family residential parcel which is currently under review.

The surrounding residential properties are developed at densities between 0.5 du/ac and 4.0 du/ac. The Applicant is proposing a 50-unit residential townhome community at 4.0 du/ac. The proposed project is compatible with the surrounding area.

SUBJECT REQUEST & EXISTING SITE DETAILS

The Applicant is requesting a large-scale future land use map amendment to modify the approved future land use of the subject site from RL to Residential Medium (RM), in order to be consistent and compatible with. However, the Applicant is only proposing to develop 50 residential units, so the Applicant has voluntarily proposed a Future Land Use Map restriction, in the form of a note on the map, to a maximum of 50 residential units. This is consistent with the density that would be permitted under the RL-2 zoning district.

The subject site consists of two (2) parcels that are heavily wooded, overrun with exotic invasive vegetation, and vacant. The site currently has indirect access from the Hood Road right-of-way through additional right-of-way Parcel 100. The site has approximately 343 lineal feet of frontage on Hood Road and 1,555 feet along Florida's Turnpike. There is a significant grade difference from the Hood Road Bridge to the grade of the subject site. The original 12.39-acre parcel was slightly expanded to the south with a small portion of Parcel 100 during the review process of this petition through a land purchase.

The Applicant has advised that the proposed modifications to Hood Road and the driveway connection from Hood Road has been reviewed, agreed up on and approved by Palm Beach County Construction Coordination, under the Engineering and Public Works Department.

LEVELS OF SERVICE

The Applicant has submitted letters of capacity and demonstrated adequate capacity from Solid Waste Authority (SWA) and Seacoast Utility Authority (SUA) for the proposed modification. The City's Recreation, Fire, and Police Departments have also reviewed the subject request and determined that the proposal meets the City's Level of Service (LOS) requirements.

Drainage

The Applicant submitted a Drainage Statement with the subject PUD rezoning petition that was reviewed and accepted by the City's Engineering Department. The proposed drainage system will consist of curbing, inlets, pipes, a perimeter berm and an onsite lake. The perimeter berm will be designed to hold the 100-year, 3-day storm event on site. Legal positive outfall in the form of a control structure with a three (3) inch "bleeder" pipe at the wet season water table will connect the onsite lake to Florida's Turnpike.

Sanitary Sewer and Potable Water

The property is located within the Seacoast Utility Authority (SUA) sewer service area. Subject to prevailing fees, charges, policies, and practices, SUA proposes to provide sanitary sewer service collection, distribution, and treatment. SUA has issued a letter which indicates that SUA currently has sanitary sewer and potable water capacity to serve the proposed 50-unit multi-family development.

Schools

On August 23, 2016, the School District of Palm Beach County issued a School Capacity Availability Determination letter. The impact review reports that the elementary school is at 93% utilization, middle school at 90% utilization, and high school at 84% utilization.

Solid Waste

The Solid Waste Authority of Palm Beach County (SWA) is the provider of solid waste disposal and recycling services for the proposed development. SWA has provided a letter providing certification that SWA has disposal capacity available to accommodate the proposed development. The letter constitutes notification of sufficient capacity for concurrency management and comprehensive planning purposes. Capacity is available for both the coming year, five (5)-year and 10 (ten)-year planning periods. The North County Landfills has an estimated 25,557,627 cubic yards of landfill capacity remaining.

Traffic

On September 7, 2016, the City's Traffic Consultant, Pinder Troutman Consulting, completed the review of the Applicant's land use plan amendment traffic impact statement and confirmed that the proposed modification is consistent with the requirements of the Traffic Performance Standards (TPS) of the City of Palm Beach Gardens. Because the Applicant has proposed a restriction to the number of units to be the same as what the current residential land use would permit (4.0 du/ac), the modification results in no increase or decrease in the number of trips generated by the site. A letter of approval was issued on September 7, 2016.

CONSISTENCY WITH THE CITY'S COMPREHENSIVE PLAN

The proposed Large-Scale Comprehensive Plan Map Amendment, along with the Applicant's request to restrict the proposed development to a maximum density of 50 residential units at 4.0 du/ac is consistent with many of the Goals, Objectives, and Policies of the various elements of the City's Comprehensive Plan. An example of some of the goals, objectives and policies are listed below:

FUTURE LAND USE ELEMENT

Goal 1.1: Continue to ensure a high quality living environment through a mixture of land uses that will maximize Palm Beach Gardens' Natural and manmade resources while minimizing any threat to the health, safety, and welfare of the City's citizens that is caused by incompatible land uses which consider the intensities and densities of land use activities, their relationship to surrounding properties and the proper transition of land uses.

Staff analysis: The request for the City's Future Land Use designation of Residential Medium (RM), with a restricting note on the Future Land Use Map capping gross density of the property at 50 single-family units at a ratio of 4.0 du/ac is compatible with the character of the surrounding existing residential community abutting the north and west property lines of the subject property, Eastpointe Country Club, as well as the Planned Community Development to the south, Mirasol. The proposed modification is also compatible with the neighboring Alton Planned Community Development, which proposes a residential community at a ratio of 2.3 du/ac directly across Florida's Turnpike.

Policy 1.1.1.3.: Residential Medium (RM): The predominant dwelling type in the Residential Medium category is attached and detached single-family housing, duplexes, townhomes, and those uses consistent with the Land Development Regulations. The compatible zoning districts for this category shall be the RL1, RL2, RL3, and RM zoning districts. Non-residential uses may be permitted as part of a planned community, pursuant to the City's Land Development Regulations.

Residential Medium shall be located within the urban service boundary and serves as a transition between Residential Low and more intense land uses, and shall be located in areas that afford an attractive natural environment, that have convenient access to shopping and employment opportunities, where water supply and wastewater collection services are provided, where police and fire service can be provided economically, and where Residential Medium uses are spatially separated or buffered from major streets, commercial or industrial activities, or other land uses which generate significant adverse impacts such as: noise, glare, dust or fumes.

Unless the City Council approves the density bonuses available under the provisions of Planned Unit Developments (PUDs) and Planned Community Developments (PCDs), the maximum density permitted within the Residential Medium designation is 7.0 dwelling units per gross acre. Planned community areas may contain residential developments of higher net densities so long as the overall density of the area is consistent with the Residential Medium category.

Staff analysis: The subject property is located within the limits of the City's Urban Service Boundary. The Applicant will be capping the gross density of the property at 50 residential units, a ratio of 4.0 du/ac, which is a consistent ratio within the zoning districts that are permitted in the RM land use. By further restricting the subject property to this low density, and requesting rezoning to the City's Planned Unit Development Overlay District (PUD)/Residential Medium (RM) zoning district in a companion petition, the subject request is compatible with this policy.

Goal 1.2.: Encourage development or redevelopment activities, while promoting strong sense of community, and consistent quality of design; and do not threaten existing neighborhood integrity and historic and environmental resources.

Staff analysis: The proposed “infill” development project associated with the land use amendment has a consistent density with the surrounding developments in the area, such as Eastpointe and Mirasol, with a residential density of 4.0 du/ac. Additionally, the proposed townhome development allows the Applicant to retain the permissible residential low density while maximizing the amenities provided on site that would otherwise not be able to be provided with a single-family development program, allowing a significantly higher quality project. Therefore, the proposed project is consistent with this policy.

Objective 1.2.3. of Goal 1.2: Issue development orders and permits for development and redevelopment activities only in areas where public facilities necessary to meet level of service standards (which are adopted as part of the Capital Improvements Element of this Comprehensive Plan) are available concurrent with the impacts of development.

Staff analysis: Service availability letters have been issued and submitted for this project, confirming that the various levels of service established in the City’s Comprehensive Plan can be maintained. Letters have been provided by Seacoast Utilities, the Solid Waste Authority and the City’s Police, Fire and Recreation Departments. The proposed project is consistent with this policy.

TRANSPORTATION ELEMENT

Policy 2.1.1.7.: Future Land Use Map Amendments shall be internally consistent with all Elements of the City’s Comprehensive Plan. Using the maximum amount of potential development based on the intensity standards established in the Future Land Use Element, a transportation analysis is required for a proposed Future Land Use Map Amendment, demonstrating whether there is available uncommitted capacity on the roadways. The analysis shall include, but not limited to, a five-year short-term. If the analyses demonstrate a roadway will operate below the adopted level of service, then the necessary roadway improvement or alternative measures to maintain the adopted level of service should be identified and if the necessary measure is a capital improvement it should be included within the first five years of the financially feasible capital improvement program or on the long-range transportation map depending on the timing of the need for the improvement to the roadway. Alternatively, the potential amount of development that is permitted on the site shall be reduced to ensure the future land use plan is coordinated with the transportation plan.

Staff Analysis: The Applicant has submitted the required transportation analysis for the Comprehensive Plan Map Amendment. The project is proposed to be built in one (1) phase.

NEARBY LOCAL GOVERNMENT COMMENTS/OBJECTIONS

Staff provided the Palm Beach County Intergovernmental Plan Amendment Review Committee (IPARC) notice on November 8, 2016. No comments have been received to date.

COMMENTS FROM THE DEVELOPMENT REVIEW COMMITTEE (DRC)

On Friday, August 15, 2014, the subject petition was reviewed by the DRC. At this time, all technical certification comments relating to the project have been satisfied.

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the subject Large-Scale Comprehensive Plan Future Land Use Map Amendment petition (CPMA-14-07-000018) based upon the following findings of fact:

- 1) The proposed amendment is consistent with the existing overall Goals, Objectives and Policies of the City's Comprehensive Plan.
- 2) The proposed amendment is consistent with the overall existing Goals, Objectives and Policies of the Regional Strategic Policy Plan and State Comprehensive Plan.
- 3) The proposed Comprehensive Plan Map Amendment has demonstrated the proposed development meets the Level of Service standards for all service providers.
- 4) The proposed changes to the Future Land Use Map are compatible with the surrounding area based upon the proposed density of 4.0 dwelling units per acre.

CITY OF PALM BEACH GARDENS
DEVELOPMENT APPLICATION

Planning and Zoning Department
CITY OF PALM BEACH GARDENS
10500 North Military Trail
Palm Beach Gardens, FL 33410
(561) 799-4243 Fax (561) 799-4281

Request:

- | | |
|---|--|
| <input type="checkbox"/> Planned Community Development (PCD) | <input type="checkbox"/> Annexation |
| <input checked="" type="checkbox"/> Planned Unit Development (PUD) | <input checked="" type="checkbox"/> Rezoning |
| <input type="checkbox"/> Amendment to PCD, PUD or Site Plan | <input type="checkbox"/> Site Plan Review |
| <input type="checkbox"/> Conditional Use | <input checked="" type="checkbox"/> Concurrence Certificate |
| <input checked="" type="checkbox"/> Amendment to the Comprehensive Plan | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Administrative Approval | <input type="checkbox"/> Miscellaneous |
| <input type="checkbox"/> Administrative Appeal | <input checked="" type="checkbox"/> Other <input type="text" value="Concurrent Processing"/> |

Date Submitted:

Project Name: Trevi Isle

Owner: Kennedy Homes, LLC

Applicant (if not Owner): Same

6400 Congress Ave, #2175

Applicant's Address: Boca Raton, FL 33487 Telephone No. 561-789-3194

Agent: Urban Design Kilday Studios

Contact Person: Anne Booth E-Mail: abooth@udkstudios.com

Agent's Mailing Address: 477 So. Rosemary Ave, Suite 225, West Palm Beach, FL 33401

Agent's Telephone Number: 561-366-1100

FOR OFFICE USE ONLY	
Petition Number: _____	Date & Time Received: _____
<u>Fees Received</u>	
Application \$ _____	Engineering \$ _____
Receipt Number: _____	

Architect: Specialty Engineering Consultants

Engineer: Messler and Associates

Planner: Urban Design Kilday Studios

Landscape Architect: Urban Design Kilday Studios

Site Information:

Note: Petitioner shall submit electronic digital files of approved projects. See attachment for details.

General Location: Northwest corner of Hood Road and Florida Turnpike

Address: Hood Road

Section: 27 & 34 Township: 41 Range: 42

Property Control Number(s): 52-42-41-34-00-000-1030 and 52-42-41-27-00-000-5010

Acres: 12.39 Current Zoning: RL-2 Requested Zoning: RM

Flood Zone _____ Base Flood Elevation (BFE) – to be indicated on site plan _____

Current Comprehensive Plan Land Use Designation: RL- Residential Low

Existing Land Use: Vacant Requested Land Use: 50 residential units

Proposed Use(s) i.e. hotel, single family residence, etc.:
Townhomes

Proposed Square Footage by Use: Please see attached floor plans

Proposed Number and Type of Dwelling Unit(s) i.e. single family, multifamily, etc. (if applicable):
50 attached townhomes

Justification

Information concerning all requests (attach additional sheets if needed.)
{Section 78-46, Application Procedures, Land Development Regulations.}

1. Explain the nature of the request: The applicant is requesting approval for concurrent processing of applications to allow a Comprehensive Land Use Plan amendment from RL to RM, rezoning from RL-2 to RM, and a PUD to allow 50 townhomes.

2. What will be the impact of the proposed change on the surrounding area?

The current zoning category allows up to 50 dwellings, the proposed development will allow the units to be attached which increases the community serving open space and allows for a more cohesive preservation area. No additional impacts are expected over the currently allowed development intensity.

3. Describe how the rezoning request complies with the City's Vision Plan and the following elements of the City's Comprehensive Plan - Future Land Use, Transportation, Housing, Infrastructure, Coastal Management, Conservations, Recreation and Open space, Intergovernmental Coordination and Capital Improvement.

Please see the attached project narrative for details on the proposed development.

4. How does the proposed project comply with City requirements for preservation of natural resources and native vegetation (Section 78-301, Land Development Regulations)?

The proposed plan of development includes the preservation of 1.93 acres of upland preserve area, which is in compliance with the Land Development Regulations for preservation of natural resources.

5. How will the proposed project comply with City requirements for Art in Public Places (Chapter 78-261, Land Development Regulations)?

The proposed project is a residential neighborhood and is not subject to the requirements of the AIPP

section of the code.

6. Has project received concurrency certification?

A request for concurrency approval is included in this application.

Date Received:

Legal Description of the Subject Property

(Attach additional sheets if needed)

Or see attached deed for legal description.

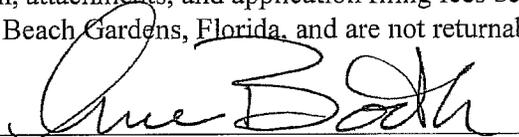
Location

The subject property is located approximately 0 mile(s) from the intersection of Hood Road and the Fla Turnpike _____, on the north, east, south, west side of _____ Hood Road _____ (street/road).

Applicant's Certification

I/We affirm and certify that I/we understand and will comply with the land development regulations of the City of Palm Beach Gardens, Florida. I We further certify that the statements or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief. Further, I/we understand that this application, attachments, and application filing fees become a part of the official records of the City of Palm Beach Gardens, Florida, and are not returnable.

Applicant is:



Signature of Applicant

Owner

Anne Booth

Print Name of Applicant

Optionee

477 So. Rosemary Ave, Suite 225

Street Address

Lessee

West Palm Beach, FL 33401

City, State, Zip Code

Agent

561-366-1100

Telephone Number

Contract Purchaser

561-366-1111

Fax Number

a booth@udkstudios.com

E-Mail Address

AGENT CONSENT FORM

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME THIS DAY Stephen Gravett PERSONALLY
APPEARED WHO BEING DULY SWORN, DEPOSES AND SAYS THAT:

1. He/she is the owner of the real property legally described in the Warranty Deed;
2. He/she authorizes and designates Anne Booth, Urban Design Kilday Studios to act in his/her behalf for the purposes of seeking a School Concurrency determination on the real property legally described in the Warranty Deed;
3. He/she has examined the foregoing School Concurrency application and he/she understands how the proposed change may affect the real property legally described in the Warranty Deed.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 13 day of May, 2014, by Stephen Gravett (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did (did not) take an oath.

Teresa Hugo Tigert
(Signature of Person Taking Acknowledgement)

Stephen Gravett, CEO
Owner's Signature

Teresa Hugo Tigert
(Name of Acknowledger Typed, Printed, Stamped)

Stephen Gravett
Owner's Name (Print)

(Title or Rank)

6400 Congress Avenue #2175
Street Address

(Serial Number, if any)

Boca Raton, Florida 33487
City, State, Zip Code

(Notary's Seal)  **TERESA HUGO TIGERT**
MY COMMISSION # FF 087126
EXPIRES: March 8, 2018
Bonded Thru Budget Notary Services

561-798-3194
Telephone Number

STATEMENT OF OWNERSHIP AND DESIGNATION OF AUTHORIZED AGENT

Before me, the undersigned authority, personally appeared **STEPHEN GRAVETT**, who being sworn on oath, deposes and says:

1. That, he is the **CHIEF EXECUTIVE OFFICER** of **KENNEDY HOMES, LLC**, which is the Contract Purchaser of the property as described in the attached legal description, and;
2. That, he is authorized to act on behalf of **KENNEDY HOMES, LLC**, with regard to this application, and;
3. That, **KENNEDY HOMES, LLC**, is requesting approvals for various zoning and Land Use changes to allow the development of the property as a residential multi-family community, and;
4. That, **KENNEDY HOMES, LLC**, has appointed **ANNE BOOTH** and **URBAN DESIGN KILDAY STUDIOS** to act as Agent on it's behalf to accomplish the above, and;
5. That, **KENNEDY HOMES, LLC** and/or its successors or assigns, commits to proceed with the proposed development in accordance with the Ordinances and Resolutions of approval and such conditions and safeguards as may be set by the City Council in such Ordinance, and;
6. That, **KENNEDY HOMES, LLC**, or its successors or assigns, commits to complete the development according to the plans approved by such Ordinance, and to continue operating and maintaining such area, functions, and facilities that are not to be provided, operated or maintained by the City of Palm Beach Gardens pursuant to written agreement, and;
7. That, **KENNEDY HOMES LLC**, commits to bind any successors in title to any commitments made in the approval.

KENNEDY HOMES, LLC

By: *S. Gravett, CEO*
Stephen Gravett, CEO

Sworn to and subscribed before me this 13 day of May, 2014.



Teresa Hugo-Tigert
Notary Public, State of Florida
Commission Number FF 087126
My Commission Expires: 3/8/18

EXHIBIT A

LEGAL DESCRIPTION TREVI ISLE

LEGAL DESCRIPTION:

A PARCEL OF LAND LYING IN SECTION 27 AND 34, TOWNSHIP 41 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH HALF (S $\frac{1}{2}$) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF SECTION 27, TOWNSHIP 41 SOUTH, RANGE 42 EAST, TOGETHER WITH THE EAST HALF (E $\frac{1}{2}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF SECTION 34, TOWNSHIP 41 SOUTH, RANGE 42 EAST.

LESS AND EXCEPTING THEREFROM THE RIGHTS OF THE WAY OF FLORIDA'S TURNPIKE, HOOD ROAD AND HOOD ROAD OVERPASS.

CONTAINING 539,627 SQUARE FEET OR 12.388 ACRES, MORE OR LESS.



Prepared by and Return to:
 Stephen S. Mathison, P.A.
 5606 PGA Boulevard, Suite 211
 Palm Beach Gardens, Florida 33418
 File No. 8666 (njm)
 Property Control No: 52-42-41-27-00-000-5010
 52-42-41-34-00-000-1030

CFN 20140225913
 OR BK 26863 PG 0463
 RECORDED 06/18/2014 15:20:13
 Palm Beach County, Florida
 AMT 800,000.00
 Doc Stamp 5,600.00
 Sharon R. Bock, CLERK & COMPTROLLER
 Pgs 0463 - 464; (2pgs)

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made this 13TH day of June, 2014, by

SABADELL UNITED BANK, N.A., a National Association,

having its principal place of business at 1111 Brickell Avenue, Miami, Florida, 33131,

hereinafter called the Grantor,

KENNEDY HOMES, LLC, a Florida limited liability company,

whose address is **6400 Congress Avenue, Suite 2175, Boca Raton, Florida, 33487,**

hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH, that the Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable considerations, the receipt and sufficiency of which is hereby acknowledged, by these presents does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate lying in Palm Beach County, Florida, to-wit:

A parcel of land lying in Sections 27 and 34, Township 41 South, Range 42 East, Palm Beach County, Florida and being more particularly described as follows:

The South Half (S 1/2) of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section 27, Township 41 South, Range 42 East, Together with the East Half (E 1/2) of the Northeast Quarter (NE 1/4) of the Northeast Quarter (NE 1/4) of Section 34, Township 41 South, Range 42 East. LESS AND EXCEPTING THEREFROM the rights of way of Florida's Turnpike, Hood Road and Hood Road Overpass.

SUBJECT TO restrictions, reservations, covenants, easements and matters of record; and taxes for the current year and all subsequent years.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; and that the Grantor hereby warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor.

IN WITNESS WHEREOF, the Grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in the presence of:

SABADELL UNITED BANK, N.A,
a National Association,

Darlene Ballou
WITNESS

BY: Thomas Soucy
Thomas Soucy, Vice President

Darlene Ballou
Print Name of Witness

(CORPORATE SEAL)

Jose M. Hernandez
WITNESS
Print Name of Witness

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

I HEREBY CERTIFY that on this day before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, appeared THOMAS SOUCY, as Vice President of SABADELL UNITED BANK, N.A., a National Association; personally know to me or provided as identification to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed same.

WITNESS my hand and official seal in the County and State aforesaid this 3 day of June, 2014.

(seal)

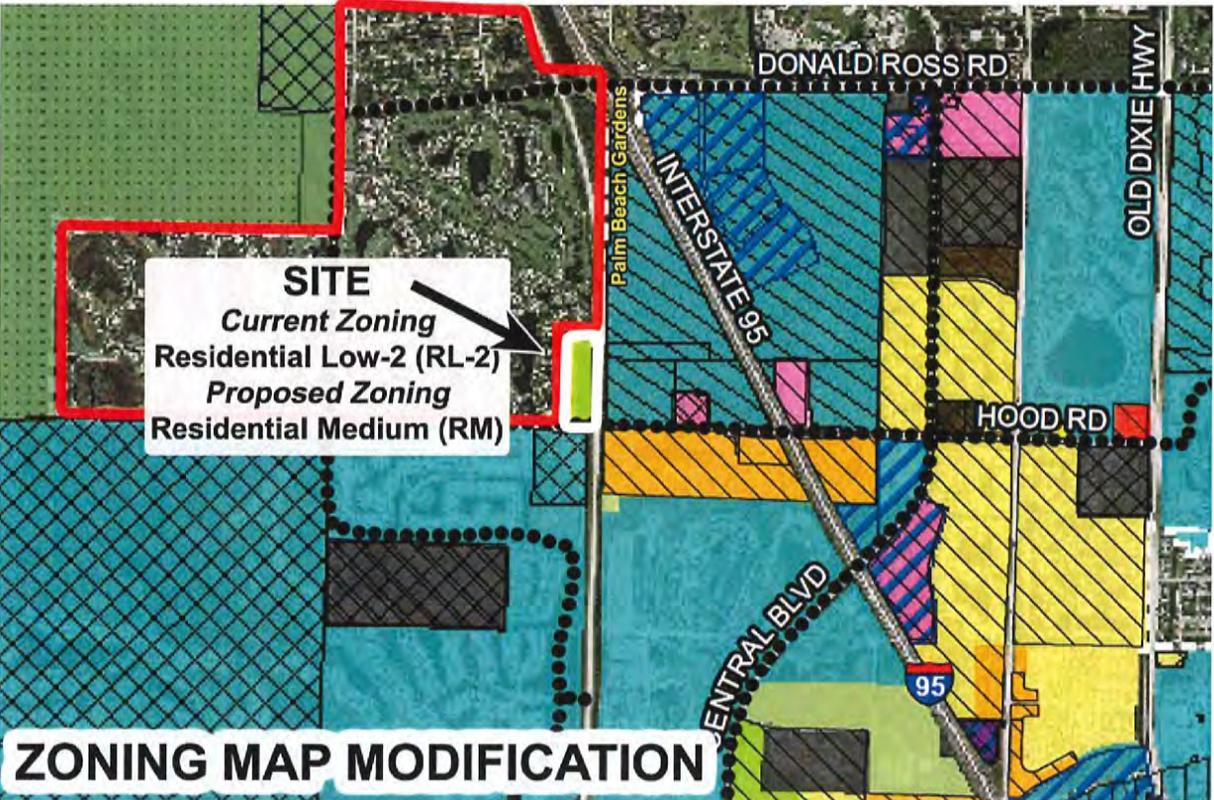
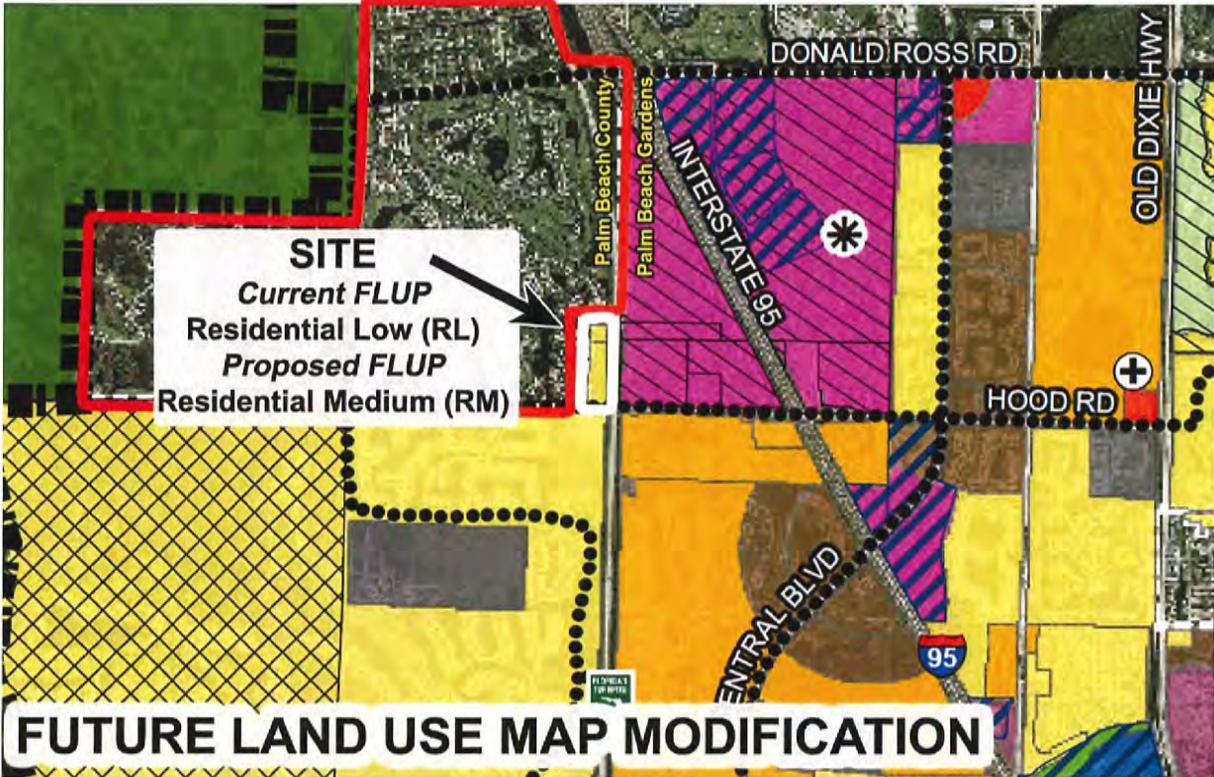
My Commission Expires: 3-25-17

Yesenia Padron
NOTARY PUBLIC

Yesenia Padron
Print Name of Notary



TREVI ISLE PLANNED UNIT DEVELOPMENT FLUP AMENDMENT and REZONING PALM BEACH GARDENS, FLORIDA



May 30, 2014



PROJECT NARRATIVE TREVI ISLE

June 27, 2014

Revised April 2, 2015

Revised March 18, 2016

Revised June 17, 2016

Revised August 19, 2016

Revised October 24, 2016



Urban Planning and Design
Landscape Architecture
Communication Graphics

Request/Location

On behalf of the applicant, Kennedy Homes, LLC, Urban Design Kilday Studios hereby respectfully submits this application request for: Concurrency; the Concurrent processing of a Large-Scale Future Land Use Map Amendment to modify the current land use designation from Residential Low (RL) to Residential Medium (RM); a Rezoning from Residential Low (RL2) to Residential Medium (RM); and a Planned Unit Development (PUD) overlay for fifty (50) townhomes. The site is currently vacant and consists of three parcels for a total of 12.50 acres. The site is located on the northwest corner of Hood Road and Florida's Turnpike.

The proposed townhome development will be a continuation of the successful Trevi development built by the applicant on the southwest corner of Hood Road and I-95. The proposed development will be consistent with the density allowed under the RL-2 district and will provide an enhanced development plan which exceeds the community serving open space and amenities of a comparable single family detached development.

Although the proposed development at a density of 4 du's/acre is consistent with the density allowed under the RL2 and Residential Low zoning and Future Land Use categories, the development of an attached Townhome product is not allowed in the RL2 District. Restrictions on the Comprehensive Plan amendment, together with the proposed PUD and rezoning will restrict the development of the property to the same density levels allowed in the RL categories while allowing a quality townhome development. As part of the requested development approval the applicant is requesting a maximum limit of 50 units be set on the development approval through a note on the Comprehensive Plan. The proposed product type will be an excellent transitional use and buffer between the single family units in Eastpointe and the Turnpike and will provide a much higher percentage of open space and amenities than a standard single family development would otherwise be able to provide.

History

Twelve acres of the site were annexed into the City on June 17, 2010 via Ordinance 11, 2010. On October 21, 2010, via Ordinance 12, 2010 the property's Future Land Use designation was changed from Palm Beach County (PBC) Low Residential, two (2) units per acre (LR-2), to

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the City of Palm Beach Gardens Residential Low (RL), with a density allowance of up to four (4) units per acre under straight zoning and six (6) units per acre with a PUD. On December 16, 2010, via Ordinance 27, 2010, the property was rezoned from Palm Beach County Residential Single Family (RS) and Residential Estate (RE) to City of Palm Beach Gardens Residential Low (RL-2), which allows up to four (4) units per acre under straight zoning and six (6) units per acre under a Planned Development. There are no current Development Order conditions of approval for the site.

Existing Zoning and Future Land Use Plan Designations

The site is a long rectangular parcel with 1,258 linear feet of frontage on the Florida Turnpike, and 417 feet of frontage on Hood Road. The parcel is surrounded on the west and north by the Eastpointe County Club residential subdivision. Eastpointe was developed in the 1980s and early 1990s and is located in the unincorporated jurisdiction of Palm Beach County. To the south of the site are the Hood Road overpass, and the Marsh Pointe Elementary School, which is part of the Mirasol PCD and was built in 2008. To the east of the Florida Turnpike is the Scripps Phase II/Briger Tract DRI now known as Alton .

EXISTING USE	ZONING	FUTURE LAND USE
Subject Site: Vacant	Residential Low (RL-2)	Residential Low
TO THE NORTH: Eastpointe Country Club <i>(Palm Beach County)</i>	Single Family Residential (RS) Residential Estate (RE) Residential Transition (RT)	Low Residential, 2 DU/ AC (RL-2)
TO THE EAST: Florida Turnpike	N/A	N/A
TO THE SOUTH: Marsh Pointe Elementary	Planned Community Development (<i>Mirasol PCD</i>)	Residential Low
TO THE WEST: Eastpointe Country Club <i>(Palm Beach County)</i>	Single Family Residential (RS) Residential Estate (RE) Residential Transition (RT)	Low Residential, 2 DU/ AC (RL-2)

Concurrency

Included in this application is a request for concurrency for 50 residential units. The proposed project will comply with all required levels of service standards as adopted by

the city. Total capacity requirements of the proposed project will be available at the time of construction of the project as evidenced by the following:

Roadway System: Attached is a traffic analysis which indicates that the project build-out date will be the end of 2019 and that no additional intersection modifications are required to the roadway system for acceptable operation.

Wastewater: The Seacoast Utility Authority has provided a statement of service availability for the proposed project which indicates that wastewater service is available upon the payment of connection fees, administration fees and capacity reservation fees.

Solid Waste: The Solid Waste Authority has provided a statement that capacity for solid waste is available through the year 2046.

Drainage System: The drainage system has been designed to control all water within the site. The project will have a perimeter berm established that will meet the 25 year 3 day storm event requirements of the SFWMD and the City of Palm Beach Gardens. All offsite runoff will be discharged and controlled by the project control structure.

Potable Water: The Seacoast Utility Authority has provided a statement of service availability for the proposed project which indicates that potable water service is available upon the payment of connection fees, administration fees and capacity reservation fees.

Recreation: 3.7 acres of improved and neighborhood parks are required per 1000 permanent residents. The proposed development will generate the demand for .43 acres of improved park area based on 50 residential units. The proposed plan of development provides improved recreation areas of .5 acres in addition to the preservation area and lake. To meet the code requirement for 1 acre of recreation, three recreation areas are provided. Total Open space for the project far exceeds the Land Development Regulations for open space.

Concurrent Processing Request

The applicant is requesting approval to allow the Comprehensive Plan Amendment, Rezoning and Planned Unit Development Overlay applications to be processed concurrently for consideration by the City Council. The concurrent review of the applications will allow the City Council to have a more cohesive understanding of the proposed development, and will provide assurances with regard to development intensities and design limitations. The concurrent review process will also allow a more comprehensive review with regard to the compatibility of the project to the adjacent neighborhoods.

Proposed Future Land Plan Amendment Analysis

Land Use Compatibility with Surrounding Area

Included in this application are maps which show the location of the property in relation to the surrounding zoning and land uses. Immediately to the north and west of the site is the Eastpointe residential development which is located within the jurisdiction of Palm Beach County. Eastpointe is developed with a mixture of single family custom homes, zero lot line homes, attached patio/townhomes and a golf course. The overall gross density of 1.31 DU's/ac includes multiple parcels which are developed at net densities that range from 4.06 du's/ac to .50 du's/ac. The net density of the parcel immediately adjacent to the parcel is 1.32 du's/ac. Prices of homes in Eastpointe range from the mid-high \$200's to \$700's.

Development on the south side of Hood Road, west of the Turnpike, is part of the Mirasol PCD. Immediately south of the site are the Marsh Pointe Elementary School and Mirabella zero lot line homes. The density of the three Mirabella parcels range from 3.9 du's/ac to 6.69 du's/ac. The price range of the homes in Mirabella range from the low \$400's to the mid \$800's.

The existing zoning of RL-2 and Future Land Use of RL allow a density range of 4 DU's/ac under straight zoning to 6 du's/ac under a Planned Development. Although the proposed development will be restricted to 4 units per acre, the Land Development Regulations do not allow the construction of attached units therefore the applicant is requesting a change to the RM zoning and RM Future Land Use category to allow an attached unit to be constructed. The attached unit design in the site plan allows for a consolidation of open space which has been located to maximize the separation distance between the existing homes and the proposed homes. The site plan also provides a natural buffer and lake between the adjacent units, together with the construction of the sound barrier wall and placement of the homes, the proposed project will provide a beneficial sound and visual barrier between Eastpointe and the Turnpike.

Compatibility with the City's Vision Plan

At the time of the inception of the City's Vision Plan, the site was under the jurisdiction of Palm Beach County. The proposed development is however located within the Urban Growth Boundary of the City's Vision Plan and is consistent with the principals and objectives of the plan. The proposed development will provide a system of pedestrian sidewalks that will connect to the public sidewalk system as well as providing a proposed emergency and pedestrian connection to the Eastpointe community. The infrastructure required to service the project is currently in place and the proposed development has included security and traffic calming techniques which will enhance the safety and security of the community.

The proposed quality and pricing of the development will be consistent with the Trevi project located on the south side of Hood Road as well as the immediately surrounding Eastpointe and Mirasol developments. As noted in the City's Vision Plan, developments of higher intensities are acceptable adjacent to major roadways. In this case the proposed development is consistent with the lower density use by right. The proposed development plan will create a transitional buffer zone including a visual and sound barrier between the existing Eastpointe community and the Turnpike.

The plan of development is consistent and comparable to the net densities of the adjacent parcels. The proposed plan of development includes the protection and preservation of natural resources and preservation of environmentally significant lands. The preserve area will be enhanced by the addition of a pedestrian walkway for the enjoyment of the community. The project will provide a variety of recreational amenities including, a passive park area with Gazebo, a clubhouse complex with a pool, a lake and a natural preserve.

Consistency with the City's Comprehensive Plan

Economic Development Element

GOAL 13.1.: The economic goal of the city of Palm Beach Gardens is to achieve sustainable economic development through a balanced and diversified economy which is compatible with the city's quality built environment and protects important natural resources.

The proposed development will provide construction related jobs, as well as ongoing maintenance and service jobs once the development is complete. The proposed development will provide a high quality residential development which includes a 1.94-acre preservation area and 67% Open Space.

Future Land Use Element

The predominant dwelling types in the Residential Medium category are attached and detached single-family housing, duplexes, and townhomes. The compatible zoning districts for this category are RL1, RL2, RL3, and RM. The proposed development is within the urban service boundary and in accordance with Policy 1.1.1.4 the RM District serves as a transition between Residential Low and more intense land uses, such as the Turnpike. The site is centrally located with convenient access to shopping and employment opportunities. The site is centrally located with access to all required infrastructure and services.

Maximum allowable development

The maximum allowable development under the existing Residential Low - RL designation is 4 dwelling units per acre and up to 5 dwelling units per acre under a Planned Development. This designation would allow 50 units under standard zoning by right and 62 units under a Planned Development.

Under the proposed Future Land Use designation of Residential Medium – RM, the standard zoning density by right is 7 dwelling units per acre and up to 9 dwelling units per acre under a Planned Development. This designation will allow 87 units under standard zoning and 112 units under a Planned Development. The proposed plan of development intends to limit the maximum density to 50 dwelling units through a notation on the Comprehensive Plan map. The density levels of the proposed Planned Development plan are consistent with the density levels allowed under the existing Future Land Use designation and will not increase the intensity of the development as anticipated when the property was annexed.

Transportation Element

Attached is a traffic analysis which indicates that the project build-out date will be the end of 2019 and that no additional intersection modifications are required to the roadway system for acceptable operation.

Infrastructure Element

Required infrastructure was confirmed at the time of annexation. The proposed development is consistent with the intensity allowed under the existing zoning and Future Land Use Designations. All required infrastructure is currently in place for the proposed development.

Historical and Archeological Resources

The applicant is not aware of any historical or archeological resources on the site.

Environmental Issues and Land Suitability for Proposed Land Use

The site has been designed to protect and preserve 1.94 acres of upland preserve in addition to the perimeter buffers and open space throughout the site.

Sanitary Sewer

The Seacoast Utility Authority has provided a statement of service availability for the proposed project which indicates that wastewater service is available upon the payment of connection fees, administration fees and capacity reservation fees.

Potable Water

The Seacoast Utility Authority has provided a statement of service availability for the proposed project which indicates that potable water service is available upon the payment of connection fees, administration fees and capacity reservation fees.

Drainage

The drainage system has been designed to control all water within the site. The project will have a perimeter berm established that will meet the 25 year 3 day storm event requirements of the SFWMD and the City of Palm Beach Gardens. All offsite runoff will be discharged and controlled by the project control structure.

Solid Waste

The Solid Waste Authority has provided a statement that capacity for solid waste is available through the year 2046.

Parks and Recreation

Objective 7.1.1.: Provide open space areas, and active and passive recreation facilities and areas for residents of Palm Beach Gardens in a timely manner so as to comply with the Level of Service (LOS) standards set forth by this element and to maintain such compliance in subsequent years.

1. FLUP Recreation and Open Space LOS - 5 acres of improvement parks per 1000 permanent residents

.58 acres are needed to meet the City's FLUP Level of Service of 5 acres per 1000 residents for the estimated 2.35 persons per unit per 50 dwelling units.

2. Land Development Regulations LOS – 3.7 acres of Neighborhood and Community Park per 1000 permanent residents

.43 acres are needed to meet the City's LDR Level of Service of 3.7 acres per 1000 residents for the estimated 2.35 persons per unit per 50 dwelling units.

The project is proposing 8.41 acres of Open Space which includes .50 acres of recreation. The proposed recreation areas include a .18 acre Passive Park with Gazebo, .32 acre clubhouse and pool area, and preserve area amenities. In addition to the recreation areas, the project provides a community lake.

PUD PROJECT DETAILS

Density

The current land use and zoning designations of residential low allow for a density of four (4) units per acre, however the district does not allow for townhouse structures. The applicant is therefore requesting to modify the land use and rezone to the medium residential district to allow the townhouses. The applicant is further proposing that the project be conditioned to restrict the density of the site to the four (4) dwelling units per acre as is currently permitted on the site.

Architectural Style and Special Features

The proposed elevations of the townhomes are very similar to the Trevi development located just east of the site on the south side of Hood Road. The proposed townhomes will have 4 alternative models and will be constructed with 4 unit, 5 unit and 6 unit buildings. There are two alternative combinations of models for the 5 unit building which will allow for more variety along the street façade. Enhancements to the elevations have been included which include stone accent façades, decorative aluminum railings, decorative iron grills, shutters, "shutter dogs", banding, wood trellis, stone headers and sills around the windows, varied roof lines and vibrant color tones. The clubhouse and gazebo will use the same colors and materials being used on the homes.

Access

Access to the site is proposed from Hood Road. Because of the grade changes and the proximity of the overpass to the front of the property, the proposed entrance design has been extensively reviewed. Included in the design is a dedicated right turn lane from the overpass for westbound traffic. The entrance will be constructed at an elevated grade with a gradual transition down into the site. The change in elevation on the entrance drive adjacent to the preserve will create a beautiful perspective as the residents enter the community. Included in the application are letters from Palm Beach County, and the Turnpike Authority along with design drawings for the entrance design from Wantman and Associates.

Pedestrian Connectivity

Due to concerns about a 'mid-block' crossing the applicant has been asked by the County, not to continue the existing public sidewalk on Hood Road which currently

terminates on the overpass. The sidewalk will be brought into the community and continued for the length of the internal roadway providing access to the clubhouse and the park from each home. The applicant is also proposing to build a pedestrian pathway in the preserve area which will connect to the sidewalk at the entrance and will provide access for maintenance of the preserve and the MSE walls.

Project Signage

The proposed entrance sign has been incorporated into a landscape trellis feature in the center island of the entrance. The design is an adaptation of the Trevi entrance design, with the addition of unique features which complement the proposed home designs. Special features include stone, trellis, landscaping and lighting. Colors and materials will be consistent with the homes and buildings in the community. Landscaping, in accordance with City code requirements, will be planted at the base of the sign.

Lighting

All proposed lighting for the site will be in accordance with the City of Palm Beach Gardens Land Development Regulations. Special light shields will be added to the lights at the entrance to eliminate any light intrusion onto abutting properties.

Landscape Buffers and Foundation Plantings

The site has been designed with a 25' natural buffer for the majority of the site. Within the buffer along the Turnpike, the applicant is proposing the construction of a 16' sound wall offset to the east side of the buffer. Where the buffer adjoins the preserve area, planting will be an extension of the preserve area plantings. Adjacent to the SUA well easement, the buffer has been reduced to 20' to allow SUA more convenient access. Along the perimeters adjacent to Eastpointe, the existing trees and understory will be maintained to the greatest extent possible. Where exotic plants are removed, new native plant material will be planted to infill the buffer and preserve areas. The new preserve area will include an upgraded plant palette which will allow for a more immediate infill. A street tree program of Oaks, pines, flowering trees and palms will be used. An alternative street tree planting plan has been designed to provide trees on the east side of the main street. Foundation planting will include a variety of designs to provide a varied streetscape. Several areas have been designated to protect and preserve existing trees.

Site Amenities

The proposed site plan design allows 67% of the site to be consolidated into community serving open space. Included in the design are a passive park with a gazebo, a clubhouse with pool, a lake and 1.94 acre preserve area. Many of the existing trees are

being preserved throughout the site for a natural and mature design. A majority of the homes have frontage on the preserve, the lake or a buffer. Ample guest parking has been provided throughout the community. The gazebo in the park will provide a pleasant location for passive activities. The clubhouse will provide a convenient location for mail collection in addition to a lush landscaped deck around the pool area. The tree lined lake can be used for fishing and other community activities. The preserve area will be enhanced with a pedestrian pathway to allow the residents to enjoy and explore the preserve.

Parking

Each residence will have a two-car garage with an additional two spaces provided in the driveway. There will be seven spaces at the clubhouse, 5 of which are guest spaces. There will be a total of 24 guest parking spaces provided in a variety of locations throughout the property. Stall sizes will vary between 9 and 9.5' wide and 18.5' long, except for the handicap spaces which will be 12' wide and the driveway spaces which will be 20' long.

Parking space width

Section 76-344 allows the City Council to approve a reduction in the width of parking spaces provided a corresponding increase in open space is provided. The applicant proposes to provide 9' and 9.5' x 18.5' parking spaces. The criteria for approval for a reduction in the width of parking spaces requires additional open space be provided at a ratio of 1.5 square feet for each square foot of paved parking area that is reduced. The following formula demonstrates that the site exceeds the current code requirement for open space and meets the criteria for approval.

- There will be a total of 200 – 9' parking spaces and 12-9.5' parking spaces.
- The area of the reduced pavement area is 3,811 square feet ($18.5' \times 1' = 18.5 \text{ sf/space} \times 200 \text{ spaces} = 3,700 \text{ sf}$, plus $18.5' \times .5' = 9.25 \text{ sf/space} \times 12 \text{ spaces} = 111$, total = 3,811 sf).
- At a ratio of 1.5, we are required to provide 5,716.5 additional square feet of open space ($3,811 \text{ sf} \times 1.5$).
- The 40% open space requirement is 5.02 acres (218,671.2 sf). The open space provided on this site is 67% or 8.41 acres (366,339 sf).
- The site provides 3.39 acres (147,668 sf) more open space than is required by code which far exceeds the requirement for additional open space.

Drainage

The proposed drainage system will consist of curbing, inlets, pipes, a perimeter berm and an on-site lake. The runoff from the roadway will collect in the curbing and inlets while the pipes route it to the on-site lake. The perimeter berm will be designed to hold

the 100-year, 3-day storm event on-site. The Finished Floor elevation will be set a minimum of 6" above the same elevation. A control structure with a 3" bleeder at the wet season water table will connect the lake to the Turnpike to aid in recovery of the system in all rain events.

The system is designed so it will not connect to NPBCID or the Eastpointe existing lake network therefore the drainage system will have no adverse effect to adjacent properties.

Phasing

The proposed development will be constructed in one phase.

Platting

The applicant is requesting a waiver to allow permits for dry model homes to be issued prior to the plat being recorded. This request is consistent with waivers previously approved for Mirasol and Paloma and will allow construction to begin while the plat is being processed for review and approval.

Environmental

The City requires 25% of environmentally-significant lands be preserved on site or mitigated. Based on the City's environmental standards and the site conditions, 1.9 acres of upland habitat are required to be preserved. Included in this application is an environmental assessment which describes the condition of the property and the conditions which have impacted the site conditions. The entire property is surrounded by developed lands, roads and highways. The adverse effects of this type of urban setting reduces hydrology, and together with a lack of a natural fire regime, allows encroachment of exotic vegetation. There are no jurisdictional wetland areas observed on the property, nor were any gopher tortoises or other listed animal species observed.

The habitat on the property is considered disturbed based on the recent Environmental Study of the site, conducted by Environmental Services, Inc. The study further states that the upland preservation area contains some of the highest quality habitat that exists on the property and is located in an area dense with native oaks.

Through a Preserve Area Management Plan, the preserve area will be enhanced through the eradication of exotic and nuisance species and supplemental planting of native species where necessary. The enhancements and preservation of this habitat will ensure long-term functional viability. The newly planted preserve will include a pallet of plants that will enhance the existing preserve. The size and quantity of the

plants in the new preserve will be increased to achieve the desired habitat conditions more quickly.

Land Development Regulations

SITE ANALYSIS:				
Trevi Isle				
Comparison (per code unless otherwise noted)	Allowed/Required	Proposed	Compliance	Waiver Requested
<i>Open Space (PUD)</i>	40% min.	67%	Yes	
<i>Minimum PUD Development Size</i>	250 acre	12.50 acres		yes
<i>Minimum Site Area (RM)</i>	131,100 sf (Min. 7,500 sf for the first two-family unit, and min. of 5,150 sf for each additional unit)	544,500 sf	Yes	
<i>Minimum Building Site Area (RM)</i>	None	n/a	n/a	
<i>Minimum Lot Width (RM)</i>	100'	30'		yes
<i>Maximum Building Lot Coverage (RM)</i>	35%	67%		yes
<i>Maximum Height Limit (RM)</i>	36'	26'-7"	Yes	
<i>Setbacks (RM)</i>				
Front	30'	15'		yes
Side	10'	0'		yes
Side Facing Street	20'	n/a	n/a	
Rear	20'	7'		yes

SITE ANALYSIS: Trevi Isle				
Comparison (per code unless otherwise noted)	Allowed/Required	Proposed	Compliance	Waiver Requested
<i>Parking</i>				
<i>Number Required</i>	169	226		Yes
<i>Stall Dimensions</i>	10' x 18.5 feet	9.5' x 18.5' and 9' x 18.5'		Additional open space provided as required.
<i>Loading Spaces</i>	None	n/a	n/a	

Coordination with Eastpointe Home Owners Association

The applicant has made a commitment to coordinate with the Home Owners Association of the Eastpointe Planned Development in efforts to maintain open communication and to promote mutually beneficial improvements.

Waivers/Justification

One of the general purposes and intentions of the Planned Unit Development overlay district is to “establish and encourage efficient and creative development or re-development of property; to provide maximum opportunity for the application of innovative concepts of development in the creation of aesthetically pleasing living, shopping and working environments on properties of adequate size shape and location...and to ensure that development occurs according to limitations of use, design, density, coverage, and planning as stipulated in an approved development plan”. As a result of these concepts, the PUD Overlay District was created as a Flexible Zoning district that is intended to allow for deviations from standard Land Development Regulations. In turn, the applicant understands that they will be subject to conditions of approval. Deviations to the standard Land Development Regulations are accommodated through the waiver approval process. The granting of waivers allows innovative, and creative design concepts to be realized that will be a benefit to the city.

Along with the request for a rezoning to a PUD district, we have selected the “underlying” zoning district of Residential Medium (RM) for the purposes of comparing the proposed development plan with standard zoning district land development regulations, and which allows for the townhouse product. The purpose of the

comparison is to identify any deviations that may be proposed from the standard land development regulations.

The unique physical conditions of the parcel along with the desire of the applicant to develop the site as a townhome community, has required the applicant to request a number of waivers from the City's LDRs. It should be noted that because of the attached home design, the community serving open space can be consolidated, the separation between adjacent uses can be increased, and more amenities can be provided. The design allows a large number of the lots to abut the lake with the remaining units abutting some form of natural area or buffer. As an alternative to the concept of each lot enjoying an open space area, the proposed design provides these community serving open space areas as an amenity and a benefit for all residents of the community.

We believe that the design of this project is consistent with previously approved townhouse projects in the City, is consistent with the intent and purpose of the PUD district regulations, and is consistent with comparable development standards within other communities. The code does not address the allowance of an attached product type which requires the applicant to request a number of waivers. The approval of the waivers will also allow a project design that increases the separation between the existing homes in the Eastpointe community and creates more cohesive community serving open space. Because the proposed development has been designed to incorporate significant amenities into the design, the consolidated community serving open space allows for creativity in designing the homes and placement on the lots. For these reasons we feel the requested waivers should be approved and respectfully request your support.

The applicant is requesting nine (9) waivers:

1. The applicant would like to request a waiver from **Section 78-141, Table 10, Lot Width**, to allow the width of the individual townhome lots to be reduced from 100' to 30'. This waiver request is a result of the applicants desires to provide an attached product type and represents the width of the individual homes. The open space that would otherwise be included in the lot width has been incorporated into community serving open space.
2. The applicant would like to request a waiver from **Section 78-141 – Table 10, Lot Coverage**, to allow individual lot coverage to be increased from 35% to 67%. This waiver request is a result of the applicants desire to consolidate individual lot area open space into more cohesive community serving open space for the enjoyment of all the residents. This waiver is consistent with similar waivers granted for attached product types in other communities.
3. The applicant would like to request a waiver from **Section 78-141, Table 10, Front Setback**, to allow a Front setback of 15' for the non-garage portion of the home. In all

cases the garage portion of the home will meet a 20' front setback providing a minimum 20' driveway. This waiver is consistent with previously approved waivers for similar projects and will allow the townhouse product to be placed on the lots in a manner that continues to provide a full size driveway along with adjacent landscaping and utilities. The reduced front setback allows for a more flexible and creative approach to the design of the townhouse product.

4. The applicant would like to request a waiver from **Section 78-141, Table 10, Rear Setback** to allow a reduction of the rear setback of from 20' to 7' for buildings and screen enclosures. In all cases the rear of the units will face some form of open space which will provide a visual separation between uses. The homes are limited to the design and configurations presented with one option for patio and landscape alternatives. All yards will be maintained by the Master Association.

5. The applicant would like to request a waiver from **Section 78-141, Table 10, Side Setback** to allow the reduction of the required 10' side setback to allow an attached product type. All buildings will have a minimum 15' separation between structures.

6. The applicant would like to request a waiver from **Section 78-154, Table 14, Minimum Planned Development Size** requiring Planned Developments located north of PGA Boulevard and west of the Florida Turnpike to be a minimum of 250 acres. At the time of the creation of this code requirement, the property was not included within the boundaries of the city limits. Most of the land area within this geographic area can meet this requirement. This property has been in this configuration and size prior to the inception of the code provision and at the time of the annexation. Development of this property as a Planned Development provides the City and the abutting resident's assurances that the project will be completed as presented and affords the City the opportunity to impose conditions of approval to protect the existing residents.

7. The applicant would like to request a waiver from **Section 78-186(7)(a), Yards** to waive the perimeter wall height for residential communities from eight (8) feet to allow the construction of a 16' wall adjacent to the Florida Turnpike. The installation of the wall is intended to lessen the visual and noise impacts of the Turnpike. This waiver has been previously permitted for projects that are adjacent the Florida Turnpike and Interstate 95.

8. The applicant would like to request a waiver from **Section 78-345(d)(3), Number of Parking Spaces Required**, to allow an increase in the number of parking spaces provided. The code requires 1 space per bedroom plus 5% for guest parking. The proposed plan requires 161 spaces for the units, 8 guest parking spaces and 2 clubhouse spaces for a total of 171 spaces. The plan provides 4 spaces per unit, 19 guest spaces around the community and 5 guest spaces at the clubhouse for a total of 24 guest parking spaces together with two spaces for the clubhouse for a total of 55 extra spaces. The parking provided exceeds the code requirement for parking by 20

spaces. The additional spaces provided throughout the community will allow convenient access to guest parking spaces for the community as a whole and will provide off-street parking to avoid blocking the roadways. The code limits excess parking to an increase of 20% over the required parking (34 spaces). The proposed waiver exceeds the 20% allowance by 20 spaces.

9. The applicant would like to request a waiver from **Section 78-441(c)**, Platting, to allow permits for vertical construction for Dry Models prior to the plat being recorded. Allowing the issuance of vertical construction permits prior to the approval and recording of the plat for the property allows the commencement of construction while the documents are being processed. There are previous approvals of this waiver included in similar projects. Conditions of approval prohibit the sale of the homes until the plat is recorded, and allow for construction related issues to be resolved prior to the plat being recorded.

Waiver Criteria:

(1) The request is consistent with the city's comprehensive plan.

The proposed waivers are consistent with the provisions of the Land Development Regulations that allow for waivers in a PUD. The proposed waivers are not in violation of the Comprehensive Plan.

(2) The request is consistent with the purpose and intent of this section.

This request is consistent with the provisions of the code that allow waiver requests within a Planned Unit Development district necessary to implement the site plan, based upon the most comparable zoning district.

(3) The request is in support of and furthers the city's goals, objectives, and policies to establish development possessing architectural significance, pedestrian amenities and linkages, employment opportunities, reductions in vehicle trips, and a sense of place.

The approval of the site plan and architectural design of the overall project satisfies the city's goals and objectives for a project with architectural significance, pedestrian amenities and linkages, and a sense of place. Approval of the requested waivers will enhance the proposed development by allowing for the proposed townhome development to reflect traditional design and characteristics of similar Townhome development in the City and allow for adequate parking for the residents and their guests.

(4) The request demonstrates that granting of the waiver will result in a development that exceeds one or more of the minimum requirements for PUDs.

The proposed waivers will allow for the development of the site as townhome community that will provide for residential amenities and adequate parking for the residents and their guests. In that City of Palm Beach Gardens' Land Development Code does not address the development requirements for a Townhome product, it is necessary that the applicant request these waivers in order to provide for a townhome community that is both innovative in its design, and provides exceptional community amenities. The applicant proposes to exceed the open space and landscape requirements for the site by 27 percent in the form of 1.94 acres of preserves, .18 acre park, .32 acre clubhouse area, natural buffers and a lake.

(5) The request for one or more waivers results from innovative design in which other minimum standards are exceeded.

The proposed design of the townhome community allows for an efficient circulation pattern on a uniquely situated parcel of land, allowing for convenient and safe access for the residents, along with a number of amenities that include a 1.47-acre accessible lake, a 480 square foot clubhouse and pool area, a park and a 1.94-acre preserve. The overall design of the site allows the consolidation of open space for the benefit of the community as a whole. The design also allows for the maximum separation between the existing Eastpointe homes and the proposed townhomes. The granting of the waivers will allow the applicant to address the unique site location and access constraints in a creative and innovative design.

(6) The request demonstrates that granting of the waiver will result in preservation of valuable natural resources, including environmentally-sensitive lands, drainage and recharge areas, and coastal areas.

The site design allows for the consolidation of open space and preservation area which will which creates more viable and useful area for the community. The proposed design will improve the quality of the habitat. The design will allow for appropriate drainage and recharge areas, while providing for community usable open space.

(7) The request clearly demonstrates public benefits to be derived, including but not limited to such benefits as no-cost dedication of rights-of-way, extensions of pedestrian linkages outside of the project boundaries, preservation of important natural resources, and use of desirable architectural, building, and site design techniques.

The proposed waivers will provide the residents of the PUD townhome community larger consolidated areas of preserve and lake that can be shared by the community as a whole and allows for the protection of a viable preserve area strategically located maintaining the natural buffer along Hood Road. The proposed development has been able to incorporate the construction of the public sidewalk system into the design of the entrance which will complete the sidewalk route along Hood Road. The consolidation of

open space allows an increase in the separation between the proposed units and the existing Eastpointe residential units.

(8) Sufficient screening and buffering, if required, are provided to screen adjacent uses from adverse impacts caused by a waiver.

The project has been designed to provide buffers and preserves along all perimeter property lines. The proposed sound wall will provide a visual and sound barrier for all adjacent communities. Careful attention has been given to protect and preserve many of the existing trees in the proposed buffers. All adjacent properties that could be affected by the proposed development are residential in nature and will be screened by both existing and proposed buffer and lake areas.

(9) The request is not based solely or predominantly on economic reasons.

The proposed waivers are necessary in that the City of Palm Beach Gardens' Land Development Code does not address the development requirements for a townhome product, or the unique conditions of the site. By granting approval of these waivers the applicant will be able to provide for a townhome community that is innovative in its design while providing residential amenities and exceeding open space and preserve requirements.

(10) The request will be compatible with existing and potential land uses adjacent to the development site.

The proposed development provides a transitional separation between the intense use of the Turnpike and the residential community of Eastpointe. The density proposed is consistent with the densities of the patio home parcels within Eastpointe and the zero lot line parcels in Mirasol.

(11) The request demonstrates the development will be in harmony with the general purpose and intent of this section, and that such waiver or waivers will not be injurious to the area involved or otherwise detrimental to the public health, safety, and welfare.

The proposed waivers are in harmony with the intent of this LDR section as they will allow for unique development design solutions to a unique site, thereby providing for a quality residential community with quality amenities. The granting of these waivers will not be injurious to the area involved or otherwise detrimental to the public health, safety, and welfare, but instead will allow a high quality residential community within the City.

COMPREHENSIVE PLAN AMENDMENT
TRAFFIC ANALYSIS

HOOD ROAD RESIDENTIAL LUPA
PALM BEACH GARDENS, FL

Prepared for:
Kennedy Homes, LLC
Delray Beach, FL

Prepared by:
Kimley-Horn and Associates, Inc.
West Palm Beach, Florida

144561002
May 2014
Revised August 2014
Revised April 2015
Revised June 2015
Revised August 19, 2015
CA 00000696
Kimley-Horn and Associates, Inc.
Suite 200
1920 Wekiva Way
West Palm Beach, Florida 33411
561/845-0665 TEL

COMPREHENSIVE PLAN AMENDMENT
TRAFFIC ANALYSIS

HOOD ROAD RESIDENTIAL LUPA
PALM BEACH GARDENS, FL

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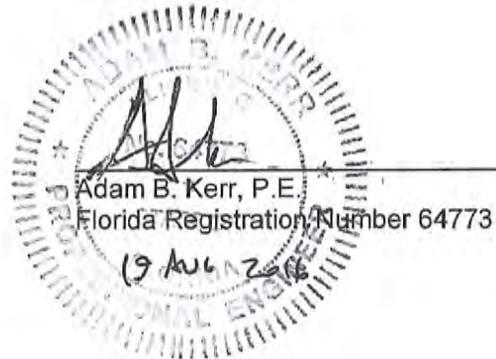


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INTRODUCTION

Kimley-Horn has been retained to prepare a comprehensive plan land use amendment traffic analysis for the 12.50-acre site on the north side of Hood Road, just west of the Turnpike, in the city of Palm Beach Gardens, Florida. *Figure 1* illustrates the location of the project site. The site consists of two parcels, which currently have a Residential Low (4 residential units per Acre) land use designation. It is proposed to amend the comprehensive plan with a Residential Medium (7 residential units per acre) designation for the site.

Based on the City of Palm Beach Gardens Comprehensive Plan, the maximum intensity assumed for the existing designation is residential use at 4 multi-family units per acre, which would allow for the development of a maximum of 50 residential units on the site. It is proposed to change the Future Land Use (FLU) designation of the entire site to a Residential Medium designation. For the Residential Medium designation, the maximum intensity assumed is residential use at 7 multi-family units per acre. Based upon this assumption, a maximum of 87 residential units could be built on the site. The Applicant has proposed a voluntary restriction of site intensity to limit the development on site to 50 townhome units.

Table 1 summarizes the maximum development intensities for the existing and proposed future land use designations on the subject parcel that is subject to the comprehensive plan amendment. This analysis was conducted according to City of Palm Beach Gardens guidelines.

Table 1: Maximum Development Intensities Summary

TABLE 1 MAXIMUM DEVELOPMENT INTENSITIES HOOD ROAD RESIDENTIAL LUPA			
Scenario	Maximum Intensity	Acreage	Maximum Development
Existing Future Land Use <i>RL2</i>	4 units/acre	12.50	50 Units
Proposed Future Land Use <i>RM</i>	7 units/acre	12.50	87 Units

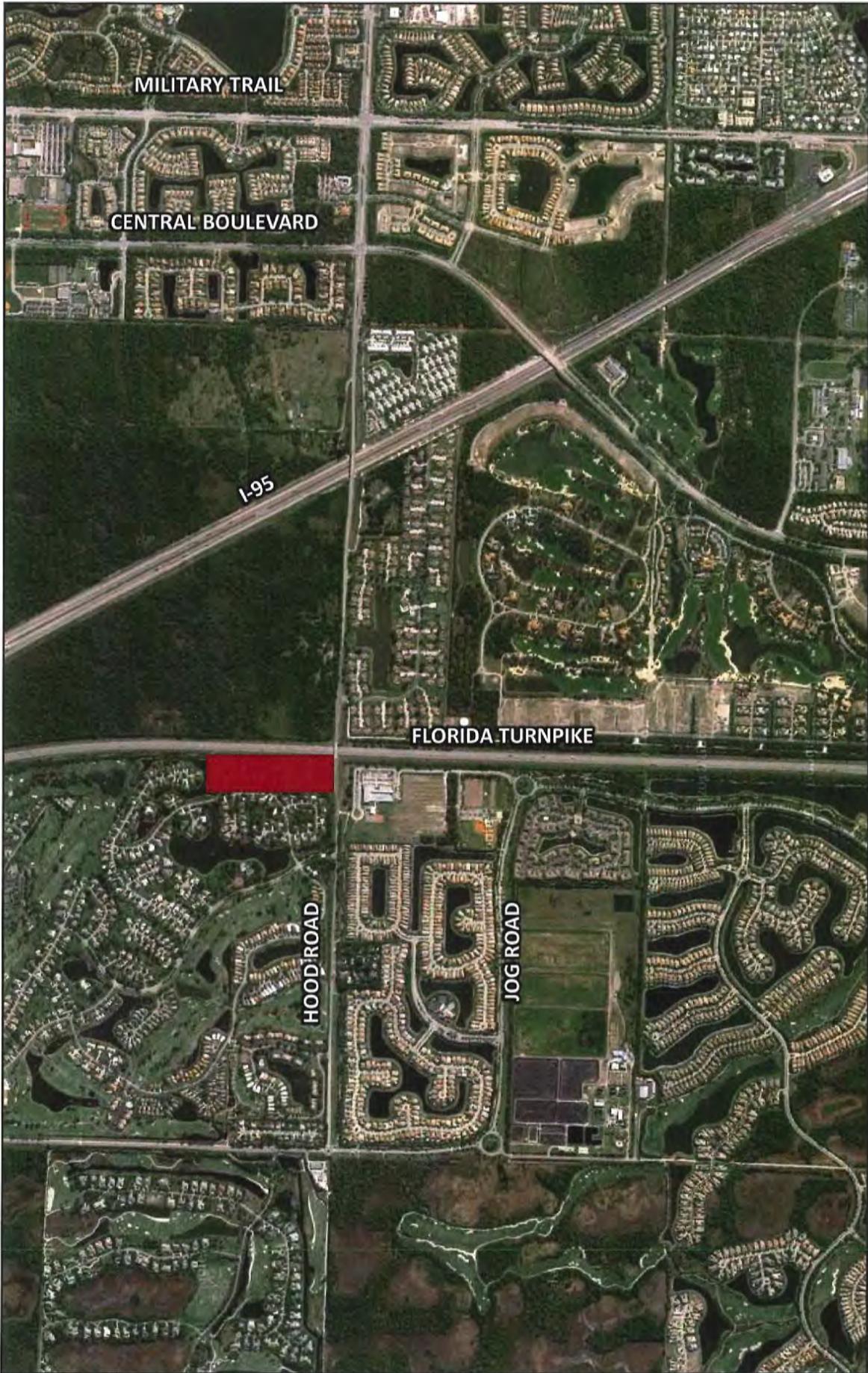


FIGURE 1
SITE LOCATION
HOOD ROAD RESIDENTIAL
Kimley»Horn

LEGEND
SITE



PROJECT TRAFFIC

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the project, and the distribution and assignment of that traffic over the study roadway network.

Trip Generation

The trip generation calculations are based on the trip generation rates published by Palm Beach County. *Table 2* compares the trip generation potential of the maximum development intensity under the current FLU designation with the trip generation potential of the maximum development intensity under the proposed FLU designation.

As indicated in *Table 2*, the existing FLU has the potential to generate 333 net external daily trips, 30 net external AM peak-hour trips (5 in, 25 out) and 34 net external PM peak-hour trips (23 in, 11 out). The proposed FLU for these parcels has the potential to generate 579 net external daily trips, 46 net external AM peak-hour trips (8 in, 38 out) and 54 net external PM peak-hour trips (36 in, 18 out). The net change in the trip generation potential of the maximum development scenario on site is an increase of 246 net new external daily trips, an increase of 16 net new external AM peak hour trips (3 in, 13 out) and an increase of 20 net new external PM peak hour trips (13 in, 7 out).

Table 2 also shows a comparison between the trip generation potential for the existing FLU and the trip generation potential for the voluntary site restriction of 50 townhome units. As shown in the table, the net change in the trip generation potential for the proposed restriction on site is an increase of 0 net new external daily trips, an increase of 0 net new external AM peak hour trips (0 in, 0 out) and an increase of 0 net new external PM peak hour trips (0 in, 0 out).

Based on the trip generation potential, the proposed future land use change was determined to have no significant impact for the short-term (2019) or long-term analyses. The net difference between the existing maximum FLU intensity and the proposed maximum intensity has been used and is shown in *Table 2*.

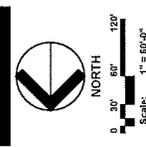
Table 2: Trip Generation Comparison: Maximum Development Intensity

TABLE 2 TRIP GENERATION COMPARISON HOOD ROAD RESIDENTIAL LUPA								
LAND USE	INTENSITY	DAILY TRIPS	AM PEAK HOUR			PM PEAK HOUR		
			TOTAL	IN	OUT	TOTAL	IN	OUT
Current Future Land Use Development								
Residential Condominium/Townhouse	50 d.u.	333	30	5	25	34	23	11
<i>Net New External Trips Under Existing FLU</i>		333	30	5	25	34	23	11
Proposed Future Land Use Development								
Residential Condominium/Townhouse	87 d.u.	579	46	8	38	54	36	18
<i>Net New External Trips Under Proposed FLU</i>		579	46	8	38	54	36	18
<i>Trip Differential (Proposed FLU - Existing FLU)</i>		246	16	3	13	20	13	7
Proposed Future Land Use (Voluntary Site Restriction)								
Residential Condominium/Townhouse	50 d.u.	333	30	5	25	34	23	11
<i>Net New External Trips Under Proposed Maximum FLU</i>		333	30	5	25	34	23	11
<i>Trip Differential (Voluntary Site Restriction - Existing FLU)</i>		0	0	0	0	0	0	0
Trip generation calculated using the following:								
Daily Trip Generation								
Residential Condominium/Townhouse	[ITE 230]	=	6.65 trips/ DU					
AM Peak Hour Trip Generation								
Residential Condominium/Townhouse	[ITE 230]	=	Ln(T) = 0.80*Ln(X)+0.26; (17% in, 83% out)					
PM Peak Hour Trip Generation								
Residential Condominium/Townhouse	[ITE 230]	=	Ln(T) = 0.82*Ln(X)+0.32; (67% in, 33% out)					

CONCLUSION

The foregoing comprehensive plan traffic analysis has been conducted to evaluate the proposed future land use change from the existing Residential Low (4 residential units per Acre) FLU designation to the proposed Residential Medium (7 residential units per Acre) FLU designation for the site on the north side of Hood Road, just west of the Turnpike, in the city of Palm Beach Gardens, Florida. The Applicant has proposed a voluntary restriction of site intensity of 50 townhome units. The proposed future land use change results in no net change in trip generation potential on a daily and peak hour basis. Therefore, the change in future land use for the subject parcels meets applicable criteria for an amendment to the City of Palm Beach Gardens comprehensive plan.

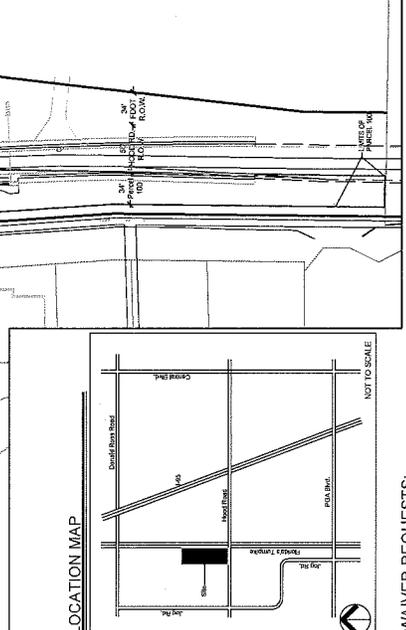
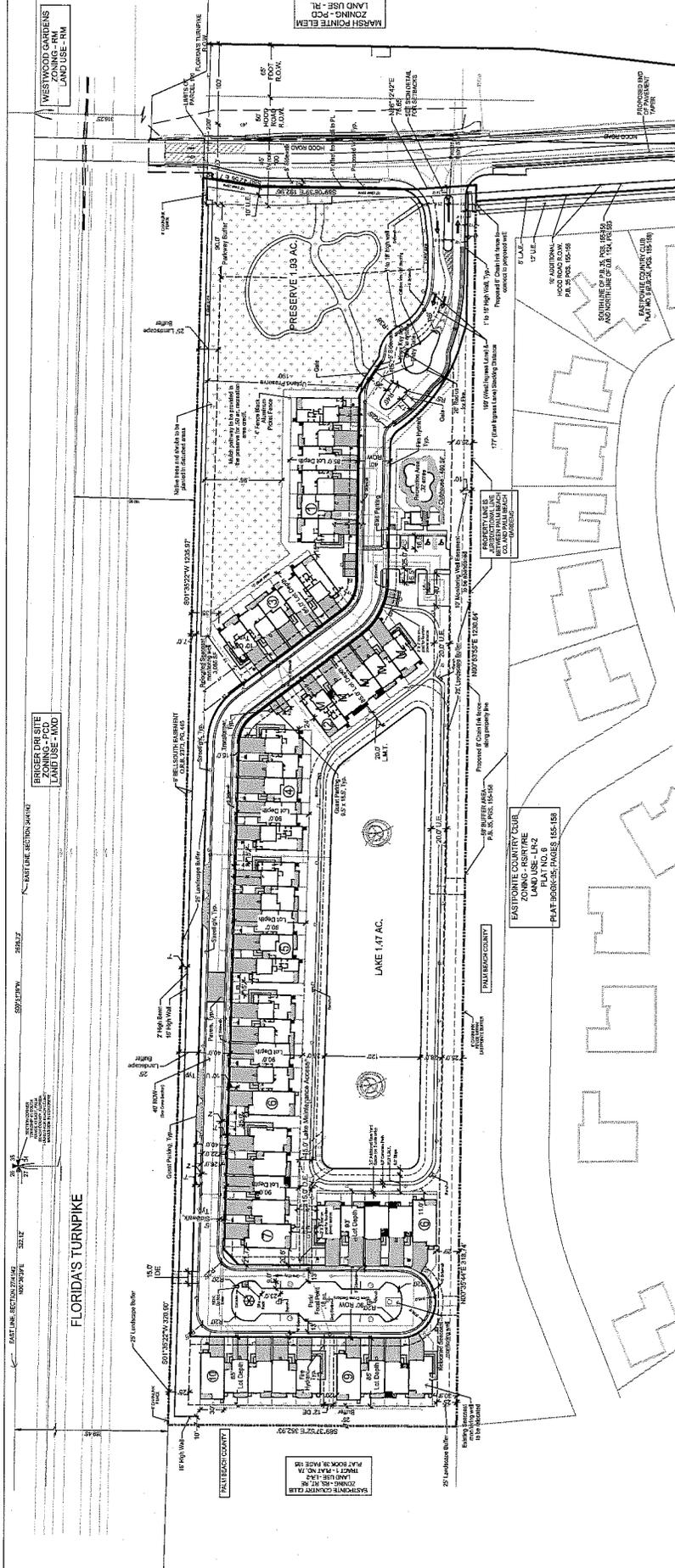
APPENDIX A: SITE INFORMATION



PROJECT NO: 00000006
 DESIGNED BY: SCM
 DRAWN BY: SCM
 DATE: 01/14/14

REVISIONS:

NO.	DATE	DESCRIPTION
1	01/14/14	ISSUED FOR PERMIT
2	01/14/14	ISSUED FOR PERMIT
3	01/14/14	ISSUED FOR PERMIT
4	01/14/14	ISSUED FOR PERMIT
5	01/14/14	ISSUED FOR PERMIT
6	01/14/14	ISSUED FOR PERMIT
7	01/14/14	ISSUED FOR PERMIT
8	01/14/14	ISSUED FOR PERMIT
9	01/14/14	ISSUED FOR PERMIT



WAIVER REQUESTS:

- Section 75-161.03, Item 1. A waiver to allow an increase in the maximum number of units from 200 to 250 units.
- Section 75-161.03, Item 2. A waiver to allow an increase in the maximum number of units from 200 to 250 units.
- Section 75-161.03, Item 3. A waiver to allow an increase in the maximum number of units from 200 to 250 units.
- Section 75-161.03, Item 4. A waiver to allow an increase in the maximum number of units from 200 to 250 units.
- Section 75-161.03, Item 5. A waiver to allow an increase in the maximum number of units from 200 to 250 units.
- Section 75-161.03, Item 6. A waiver to allow an increase in the maximum number of units from 200 to 250 units.
- Section 75-161.03, Item 7. A waiver to allow an increase in the maximum number of units from 200 to 250 units.
- Section 75-161.03, Item 8. A waiver to allow an increase in the maximum number of units from 200 to 250 units.
- Section 75-161.03, Item 9. A waiver to allow an increase in the maximum number of units from 200 to 250 units.

PROPERTY DEVELOPMENT REGULATIONS

REQUIREMENTS	REQUIRED	PROPOSED
MINIMUM LOT AREA	MAX. 37' 7" STORY	20' 7" STORY
MINIMUM SITE AREA	25,700 SF (15.84 AC.)	57,174 SF (13.96 AC.)
SETBACKS	17'	17'
MAX. BUILDING SEPARATION	15'	15'
POOLS	Not Allowed	Not Allowed

BUFFERS

PROPERTY LINE	REQUIRED	PROPOSED
SOUTH PROPERTY LINE	5'	5'
EAST PROPERTY LINE	5'	5'
WEST PROPERTY LINE	5'	5'

NOTES:

- BASE INFORMATION BASED ON BOUNDARY PROVIDED BY WYATT GROUP, INC. (DATED 05-26-10).
- LANDSCAPING SHALL BE FIELD ADAPTED TO AVOID CONFLICTS WITH UTILITIES AND LIGHT POLES.
- A MINIMUM 15' BUILDING SETBACK SHALL BE MAINTAINED FROM BEYOND'S LINES.
- ALL ACCESSIBLE PARKING SPACES SHALL EXCEED A 20' X 20'.
- FINAL LOCATIONS OF ALL PROPOSED TRAFFIC SIGNALS SHALL BE ESTABLISHED BY THE ENGINEER OF RECORD.
- CONCRETE DETAILS TO BE SHOWN ON ENGINEERING CONDITIONS.
- SEE ENGINEERING PLANS FOR ROADWAY CROSS SECTIONS.
- SURROUNDING INFORMATION AND PLANS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- CONCEPTUAL LAYOUT AND IN THE PRESERVE ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO FIELD ADJUSTMENTS.
- HANDICAP PARKING SPACES SHALL BE PLACED BEHIND THE SIDEWALK IN AREAS WHERE SIDEWALK WIDTH SPACES ARE NOT PROVIDED.

REQUIRED RECREATION AREA:

1.00 AC.	0.33 AC.
0.33 AC.	0.33 AC.
0.33 AC.	0.33 AC.
1.00 AC.	0.33 AC.

VEHICULAR PARKING

111 SPACES	167 SP.	235 SPACES
100 SP.	100 SP.	100 SP.
23 SP.	23 SP.	23 SP.
23 SP.	23 SP.	23 SP.
23 SP.	23 SP.	23 SP.

CONSULTANTS:

Urban Design Kildday Studios
 477 S. Rosemary Ave., Suite 225
 West Palm Beach, FL 33401
 (561) 355-1100
 CIVIL ENGINEER

PERMIT DATA:

PERMIT NO:	12-00 AC.
PROJECT NAME:	MULTIFAMILY
ENGINEERING TYPE:	ATTACHED
EXISTING ZONING DISTRICT:	4.0 DU/LAC
PROPOSED ZONING DISTRICT:	161 BL
PERMITS:	1.50 AC. (1.54 AC.)

ACREAGE:

GREEN SPACE PROVIDED:	5.07 AC.
GREEN SPACE REQUIRED:	4.0%
UPLAND PRESERVE (20% OF UP-LAND):	1.47 AC. (14.02 SF)
RECREATION AREA:	0.33 AC. (14.46 SF)
BUILDING FOOTPRINT:	1.45 AC.
DRIVING WALKWAY PARKING/BIKEWALK:	0.88 AC.
TOTAL AREA:	13.03 AC.



Transportation Consultants



2005 Vista Parkway, Suite 111
West Palm Beach, FL 33411-6700
(561) 296-9698 Fax (561) 684-6336
Certificate of Authorization Number: 7989

April 4, 2016
Revised September 7, 2016

Ms. Joann Skaria, AICP
Senior Planner
City of Palm Beach Gardens, Planning & Zoning
10500 North Military Trail
Palm Beach Gardens, Florida 33410

**Re: Trevi Isle LUPA - #PTC14-002K
CPMA-14-07-000018**

Dear Ms. Skaria:

Pinder Troutman Consulting, Inc. (PTC) has completed our review of the Future Land Use Amendment submittal package date-stamped by the City of Palm Beach Gardens on August 22, 2016. Specifically, we have reviewed the Traffic Impact Analysis, prepared by Kimley-Horn and Associates, Inc. dated August 19, 2016. The project is summarized below:

Current FLU:	RL - 4 units/Acre
Existing Potential:	50 multi-family units
Proposed FLU:	RM – 7units/Acre
Maximum Potential:	87 multi-family units
Proposed (Voluntary Restriction):	50 multi-family/townhouse units
Size of Site:	12.50 Acres
Access:	On Hood Road – 1 Full Access Driveway
Daily Trips (Restriction):	No Increase
Peak Hour Trips (Restriction):	No Increase

Based on our review, the project meets the Comprehensive Land Use Plan standards of the City of Palm Beach Gardens with the voluntary land use restriction to 50 multi-family/townhouse units.

Please contact me if you have any questions or need any additional information.

Sincerely,

Linda Riccardi, P.E.
Project Manager



**Department of Engineering
and Public Works**

P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX (561) 684-4050
www.pbcgov.com



**Palm Beach County
Board of County
Commissioners**

- Priscilla A. Taylor, Mayor
- Paulette Burdick, Vice Mayor
- Hal R. Valeche
- Shelley Vana
- Steven L. Abrams
- Mary Lou Berger
- Jess R. Santamaria

County Administrator

Robert Weisman

August 4, 2014

Mr. Tamashbeen Rahman
Planner
City of Palm Beach Gardens
10500 N. Military Trail
Palm Beach Gardens, FL 33410-2750

**RE: HOOD ROAD RESIDENTIAL – LUPA
PROJECT #: 140715
COMPREHENSIVE LAND USE PLAN AMENDMENT**

Dear Tamashbeen:

The Palm Beach County Traffic Division has reviewed the traffic study for the proposed change in land use entitled; **HOOD ROAD RESIDENTIAL**, pursuant to the Palm Beach County Land Development Code. The parcel information is summarized as follows:

Location:	North side of Hood Road, west of the Florida Turnpike.
Municipality:	Palm Beach Gardens
PCN#:	52-42-41-34-00-000-1030
Parcel Size:	12.388 acres
Existing LU:	RL2 – 4 Units/acre.
Max Potential:	50 MF Residential Units
Proposed LU:	RM – 7 Units/acre
Max Potential:	86 MF Residential Units.
New ADT:	252 – (Proposed – Existing)
New PH Trips:	518 AM and 22 PM – (Proposed – Existing)

Based on our review, the Traffic Division has determined that additional traffic resulting from this LUPA, shall not constitute in significant impact on the roadway network, and therefore we have no objections to the proposed change in land use. If you have any questions regarding this determination, please contact me at 684-4030 or e-mail to matefi@pbcgov.org.

Sincerely,

Masoud Atefi, MSCE
TPS Administrator, Municipalities - Traffic Engineering Division

MA saf

ec: Adam B. Kerr, PE. - Kimley-Horn & Associates, Inc
Steve Bohovsky, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
N:\TRAFFIC\ma\Admin\Approvals\2014\140715.doc

"An Equal Opportunity
Affirmative Action Employer"

ENGINEER'S DRAINAGE STATEMENT

Trevi Isle
WGI No. 1543.01

April 2, 2015

The proposed project is a 12.39 acre site with a proposed 50-unit multi-family development at the northwest corner of the Turnpike and Hood Road in the City of Palm Beach Gardens in Palm Beach County, Florida. The site is bordered by Hood Road to the south, the Turnpike to the east, and the Eastpointe Country Club to the north and west.

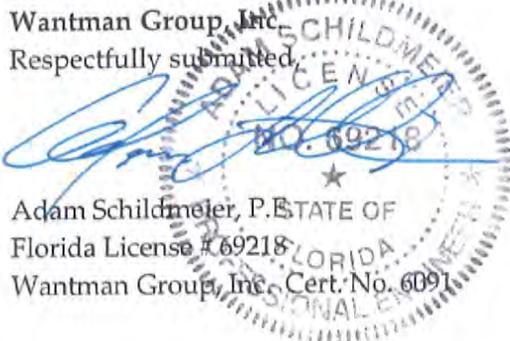
The proposed improvements include twelve buildings with eleven residential structures and a clubhouse. The development will include roadway, drainage and utility infrastructure to support the subdivision.

The proposed drainage system will consist of curbing, inlets, pipes, a perimeter berm and an on-site lake. The runoff from the roadway will collect in the curbing and inlets while the pipes route it to the on-site lake. The perimeter berm will be designed to hold the 100-year, 3-day storm event on-site. The Finished Floor elevation will be set a minimum of 6" above the same elevation. A control structure with a 3" bleeder at the wet season water table will connect the lake to the Turnpike to aid in recovery of the system in all rain events.

The system is designed so it will not connect to NPBCID and Eastpointe's existing lake network. Thus it will have no adverse effect to adjacent properties.

This project is within the South Florida Water Management District (SFWMD), the Northern Palm Beach County Improvement District (NPBCID), and the City of Palm Beach Gardens. The site will meet the criteria of each of these jurisdictions. In particular, the discharge from the bleeder will be less than the 0.81cfs as required by the SFWMD C-18 Canal.

Wantman Group, Inc.
Respectfully submitted,



Adam Schildmeier, P.E.
Florida License # 69218
Wantman Group, Inc. Cert. No. 6091



THE SCHOOL DISTRICT OF
PALM BEACH COUNTY, FL

PLANNING AND INTERGOVERNMENTAL RELATIONS
3300 FOREST HILL BOULEVARD, SUITE B-102
WEST PALM BEACH, FL 33406

PHONE: 561-434-8020 / FAX: 561-434-8815
WWW.PALMBEACHSCHOOLS.ORG/PLANNING

KRISTIN K. GARRISON, AICP
DIRECTOR

DONALD E. FENNOY II, Ed.D.
CHIEF OPERATING OFFICER

STEPHEN BACKHUS
ACTING CHIEF OF FACILITIES MANAGEMENT

SCHOOL CAPACITY AVAILABILITY DETERMINATION

Application	Submittal Date	8/11/2016		
	SCAD #	16081103D		
	FLU /Rezoning/D.O. #	PPUD-1407-000037		
	Property Address / PCN#	NW corner of Hood Rd. and the Florida Turnpike		
	Development Name	Trevi Isle		
	Owner / Agent Name	Kennedy Homes / Urban Design Kilday Studios		
	Planning Area / SAC No.	4 / 26B		
	Proposed Unit Number & Type	50 single-family units		
Impact Review		Elementary School	Middle School	High School
	# of New Students Generated	8	3	4
	Capacity Available	73	131	397
	Utilization Percentage	93%	90%	84%
Staff's Recommendation	<input checked="" type="checkbox"/> Approval	1) Valid from August 23, 2016 to August 22, 2017 or the expiration date of the site-specific development order approved during the validation period. 2) A copy of the approved D.O. needs to be submitted to the School District Planning Dept. prior to August 22, 2017 or this determination will expire otherwise.		
	<input type="checkbox"/> Approval with Conditions			
	<input type="checkbox"/> Denial			
	<input checked="" type="checkbox"/> Comments	School age children may not be assigned to the public school closest to their residences.		


School District Representative Signature

Joyce C. Cai, Senior Planner

Print Name & Title of School District Representative

August 23, 2016

Date

joyce.cai@palmbeachschools.org

Email Address



EXECUTIVE OFFICE

Seacoast Utility Authority

Mailing Address:
P.O. Box 109602
Palm Beach Gardens,
Florida 33410-9602

April 30, 2014

Ms. Ann Booth
Urban Design Kilday Studios
477 Rosemary Avenue, Suite 225
West Palm Beach FL 33401

Re: Trevi Isle
NW Corner Hood Road and Florida Turnpike

Dear Ms. Booth:

This letter is in response to the recently submitted property questionnaire requesting service availability information for 50 Multi-Family Units. The calculations are based on the information in your property questionnaire and are subject to change should plans or additional information indicate otherwise. If a clubhouse, pool, fountains or irrigation are planned for this project, additional connection fees will be required.

Connection Fees:

50 MFUs x \$2,163 = \$108,150.00

50% of the connection fees are due at the time of signing the Developer's Agreement. The remaining connection fees are due as meters are requested.

Administration Fees:

Administration fees are 4% of connection charges (.04 x \$108,150.00 = 4,326.00) and are due at the time preliminary plans are submitted for review. These fees cover plan review, developer agreement preparation and field inspection costs.

Capacity Reservation:

50 MFUs x \$382.68 = \$19,134.00.

100% of the capacity reservation fee is due at the time of signing the Developer's Agreement and annually thereafter until the meter/meters are set.

Prior to initiating any engineering work, please contact John Callaghan at extension 413 at this office to set up a pre-engineering meeting to discuss the water and sewer requirements for this project.

Should you have any questions, please feel free to call.

Sincerely,

SEACOAST UTILITY AUTHORITY

Dee Giles, Developer Agreement Coordinator

cc: Jim Lance John Callaghan

January 9, 2014



Mark Hammond
Executive Director
Solid Waste Authority
7501 N. Jog Road
West Palm Beach, FL 33412

Subject: Availability of Solid Waste Disposal Capacity

Dear Mr. Hammond:

The Solid Waste Authority of Palm Beach County hereby provides certification that the Authority has disposal capacity available to accommodate the solid waste generation for the municipalities and unincorporated county for the coming year of 2014. This letter also constitutes notification of sufficient capacity for concurrency management and comprehensive planning purposes. Capacity is available for both the coming year, and the five and ten year planning periods specified in 9J-5.005(4).

As of September 30, 2013, the Authority's North County Landfills had an estimated 29,185,183 cubic yards of landfill capacity remaining. In addition, the Authority has contracted for the construction of a second Waste-to-Energy facility, projected to begin operations in 2015. This will significantly extend the useful life of the landfill.

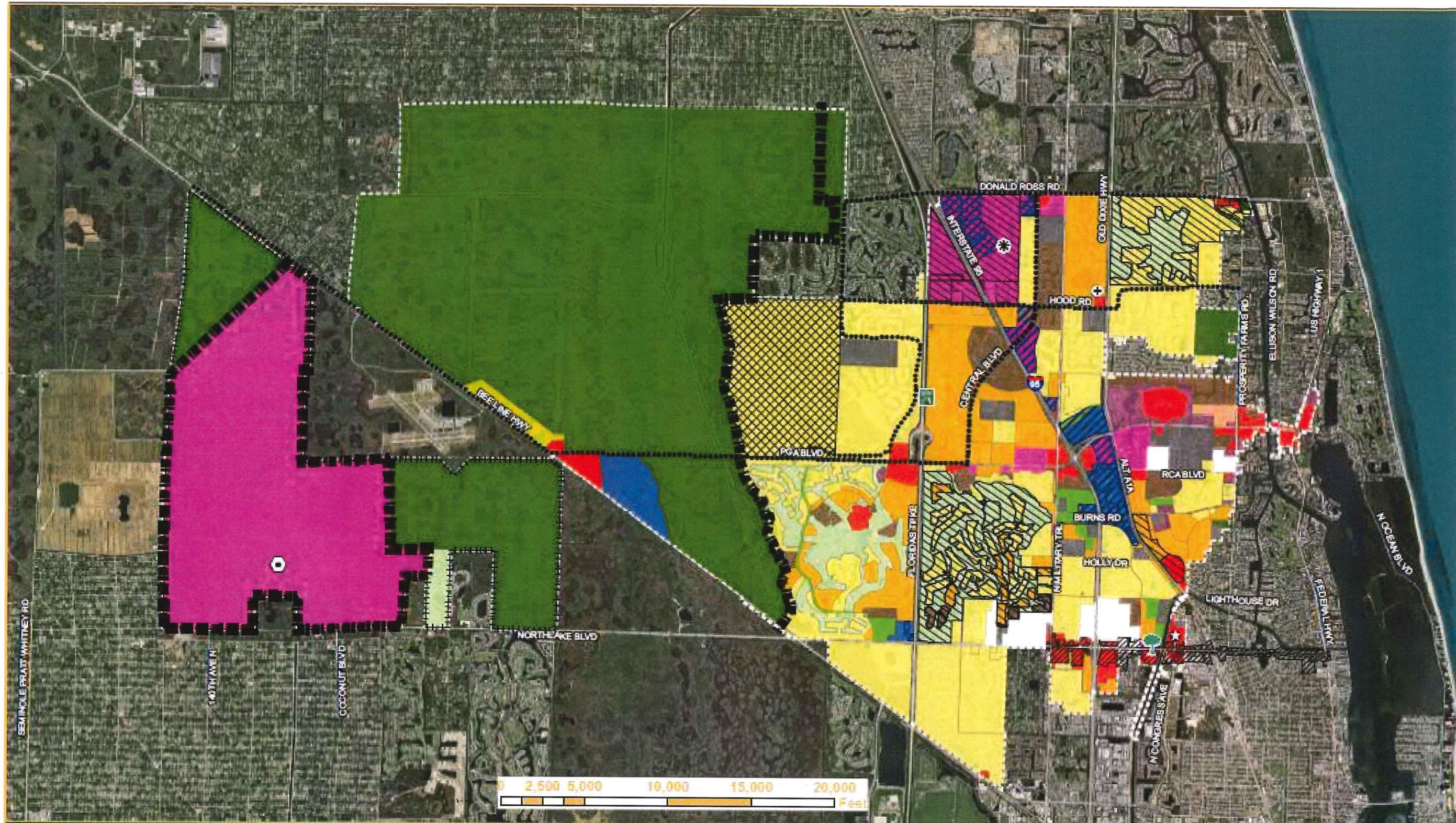
Based upon the existing Palm Beach County population, the most recently available population growth rates published by the University of Florida Bureau of Economic and Business and Research (BEBR), medium projection, and projected rates of solid waste - generation, waste reduction and recycling, the Solid Waste Authority forecasts that capacity will be available at the existing landfill through approximately the year 2046.

The Authority continues to pursue options to increase the life of its existing facilities and to provide for all of the County's current and future disposal and recycling needs. As part of its responsibility, the Authority will provide an annual statement of disposal capacity, using the most current BEBR projections available. Please provide copies of this letter to your plan review and concurrency management staff. If you have any questions or I can be of further assistance, please do not hesitate to contact me.

Very truly yours,

A handwritten signature in black ink, appearing to read 'Marc C. Bruner', is written over a light blue horizontal line.

Marc C. Bruner, Ph.D.
Chief Administrative Officer



MAP A.1. FUTURE LAND USE

City of Palm Beach Gardens Palm Beach County, Florida

RL - RESIDENTIAL LOW	C - COMMERCIAL	ROS - RECREATION OPEN SPACE	MXD - MIXED USE
RM - RESIDENTIAL MEDIUM	PO - PROFESSIONAL OFFICE	CR - COMMERCIAL RECREATION	RR10 - RURAL RESIDENTIAL (1 PER 10 ACRES)
RMH - RESIDENTIAL HIGH	I - INDUSTRIAL	CONR - CONSERVATION	RR20 - RURAL RESIDENTIAL (1 PER 20 ACRES)
MH - MOBILE HOME	P - PUBLIC	G - GOLF	RVL - RESIDENTIAL VERY LOW

★ MAXIMUM SQUARE FEET OF GROSS COMMERCIAL RETAIL SPACE OR EQUIVALENT THEREOF

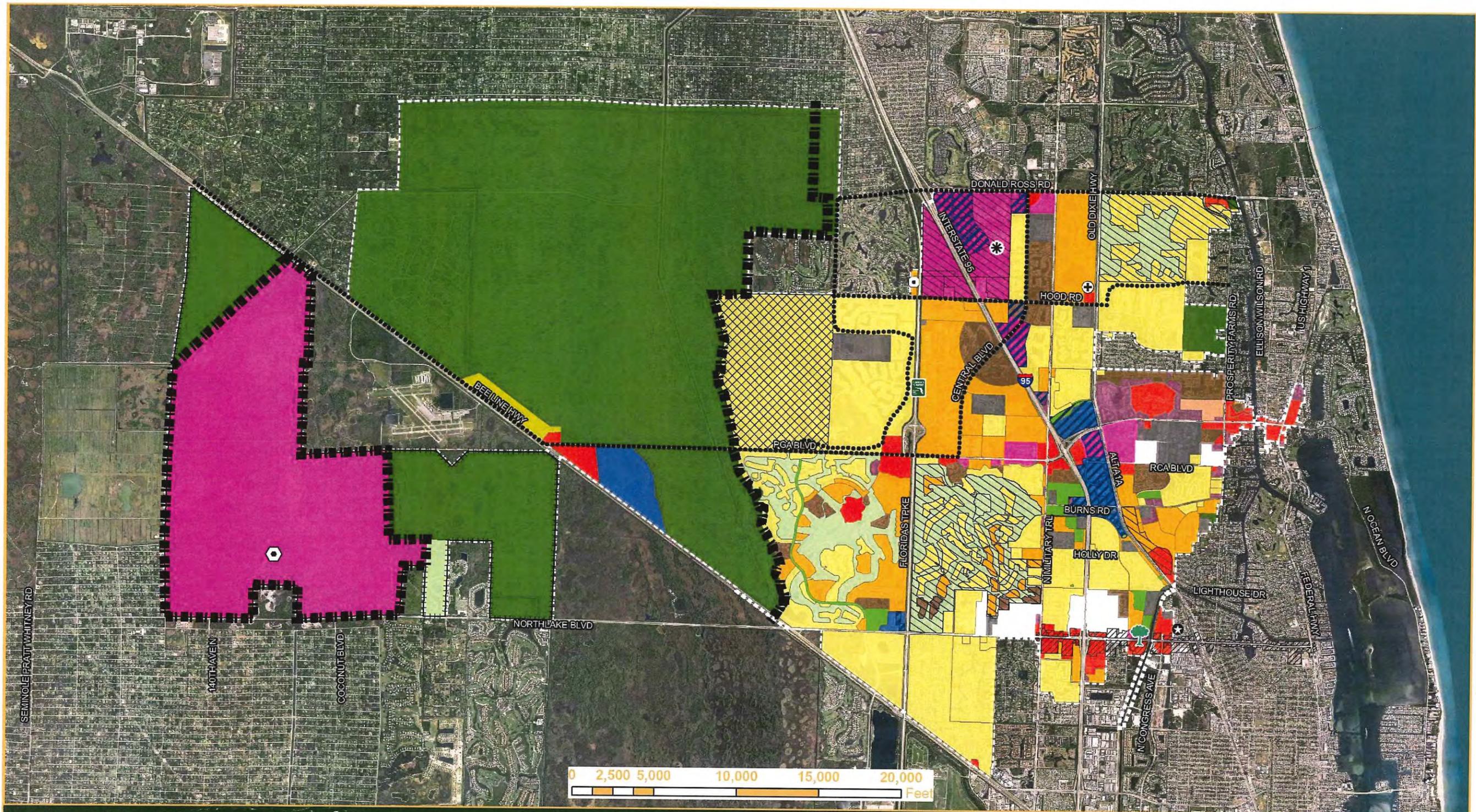
RESERVE-USE (RZ) LAND-USE DESIGNATION LIMITED TO 2 MILLION SQUARE FEET OF RESEARCH AND DEVELOPMENT (SUCCEEDING A 30-AND-30-UNIT, AND 10,000 SQUARE FEET OF COMMERCIAL OR THE EQUIVALENT THEREOF)

LINEAR GROWTH BOUNDARY
BIOGEOGRAPHIC RESEARCH PROTECTION OVERLAY (BRPO)
NORTHLAKE BOULEVARD OVERLAY ZONE (NOOZ)
MCCARTHER BOULEVARD PROTECTION OVERLAY

APPROVED DRUPCD WITH MASTER SITE PLAN ON FILE
WESTERN NORTHLAKE BOULEVARD CORRIDOR PLANNING AREA
DESERT REDUCTION OVERLAY
RAILWAY SYSTEM
MUNICIPAL BOUNDARY
UNINCORPORATED PALM BEACH COUNTY

300 A MAXIMUM OF 5,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 B MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 C MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 D MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 E MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 F MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
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 300 Q MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
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 300 T MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 U MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 V MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 W MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 X MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 Y MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS
 300 Z MAXIMUM OF 1,000 SQ FT NET NEW PEAK HOUR TRIPS

Created July 14, 2011
Source: FPD-Planning & Zoning



MAP A.1. FUTURE LAND USE

City of Palm Beach Gardens Palm Beach County, Florida

<ul style="list-style-type: none"> RL - RESIDENTIAL LOW RM - RESIDENTIAL MEDIUM RH - RESIDENTIAL HIGH MH - MOBILE HOME I - INDUSTRIAL PO - PROFESSIONAL OFFICE ROS - RECREATION OPEN SPACE CR - COMMERCIAL RECREATION COWS - CONSERVATION G - GOLF MXD - MIXED USE RR10 - RURAL RESIDENTIAL (1 PER 10 ACRES) RR20 - RURAL RESIDENTIAL (1 PER 20 ACRES) RVL - RESIDENTIAL VERY LOW 	<ul style="list-style-type: none"> RESIDENTIAL MEDIUM LAND USE DESIGNATION LIMITED TO 50 RESIDENTIAL UNITS MAXIMUM 250,000 SQUARE FEET OF GROSS COMMERCIAL RETAIL SPACE OR EQUIVALENT THEREOF THE MAXIMUM INTENSITY IS LIMITED TO NO MORE THAN 152,461 SQUARE FEET OF GENERAL COMMERCIAL, OR THE EQUIVALENT NUMBER OF NET TRIPS MIXED-USE (MXD) LAND-USE DESIGNATION LIMITED TO THE TRAFFIC EQUIVALENT OF 3,000 SINGLE FAMILY UNITS; 250 MULTI FAMILY UNITS; 1,940,000 SQUARE FEET OF PROFESSIONAL OFFICE; 200,000 SQUARE FEET OF MEDICAL OFFICE; 400,000 SQUARE FEET OF COMMERCIAL; 300 HOTEL ROOMS; AGRICULTURAL USE - 20 ACRES; PUBLIC PARK - 55 ACRES; PUBLIC CIVIC RECREATION PARCEL - 60 ACRES; POLICE/FIRE CITY ANNEX - 15 ACRES; AND PUBLIC ELEMENTARY SCHOOL - 15 ACRES 	<ul style="list-style-type: none"> URBAN GROWTH BOUNDARY BIOSCIENCE RESEARCH PROTECTION OVERLAY (BRPO) NORTHLAKE BOULEVARD OVERLAY ZONE (NBOZ) MACARTHUR BOULEVARD PROTECTION OVERLAY APPROVED DR/PCD WITH MASTER SITE PLAN ON FILE WESTERN NORTHLAKE BOULEVARD CORRIDOR PLANNING AREA DENSITY REDUCTION OVERLAY PARKWAY SYSTEM MUNICIPAL BOUNDARY UNINCORPORATED PALM BEACH COUNTY
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1. BRIGER TRACT: MXD AUTHORIZED USES PRODUCING A MAXIMUM OF 5,361 AM AND 5,528 PM NET NEW PEAK HOUR TRIPS
 2. POWER PLAY SPORTS TRACT: MXD AUTHORIZED USES PRODUCING A MAXIMUM OF 1,241 AM AND 526 PM NET NEW PEAK HOUR TRIPS
 3. SALES: MXD AUTHORIZED USES PRODUCING A MAXIMUM OF 47 AM AND 20 PM NET NEW PEAK HOUR TRIPS
 4. BAILY: MXD AUTHORIZED USES PRODUCING A MAXIMUM OF 86 AM AND 98 PM NET NEW PEAK HOUR TRIPS
 5. FRANCES: MXD AUTHORIZED USES PRODUCING A MAXIMUM OF 42 AM AND 18 PM NET NEW PEAK HOUR TRIPS
 6. BATT SCHOOL: MXD AUTHORIZED USES PRODUCING A MAXIMUM OF 838 AM AND 355 PM NET NEW PEAK HOUR TRIPS

Proposed Future Land Use Map

Updated September 21, 2016
Source: PBG-Planning & Zoning

**CITY OF PALM BEACH GARDENS
PLANNING, ZONING AND APPEALS BOARD
Agenda Cover Memorandum**

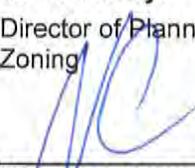
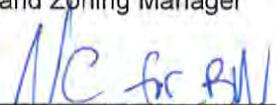
**Meeting Date: November 15, 2016
Petition: PPUD-14-07-000037**

Subject/Agenda Item:

Parcel 18.A07 Rezoning to a Planned Unit Development for a 50-unit residential townhouse community Public Hearing and Recommendation to City Council: A petition by Kennedy Homes, LLC, requesting a rezoning of a 12.5-acre site from Residential Low Density-2 District (RL-2) to Planned Unit Development (PUD) with a Residential Medium District (RM) underlying zoning to allow the development of a 50-townhome residential subdivision, for a community known as Trevi Isle. The property is located on the north side of Hood Road, immediately west of the Florida Turnpike.

Recommendation to APPROVE

Recommendation to DENY

<p>Reviewed by: Director of Planning and Zoning  _____ Natalie M. Crowley, AICP Development Compliance and Zoning Manager  _____ Bahareh Wolfs, AICP City Attorney _____ R. Max Lohman, Esq.</p>	<p>Originating Dept.: Planning & Zoning: Project Manager  _____ Joann Skaria, AICP Senior Planner</p> <p><input checked="" type="checkbox"/> Quasi – Judicial <input type="checkbox"/> Legislative <input checked="" type="checkbox"/> Public Hearing</p> <p>Advertised: <input checked="" type="checkbox"/> Required <input type="checkbox"/> Not Required Date: 11/4/2016 Paper: Palm Beach Post</p>	<p>Finance: Accountant  _____ Tresha Thomas</p> <p>Fees Paid: <u>Yes</u></p> <p>Funding Source: <input type="checkbox"/> Operating <input checked="" type="checkbox"/> Other <u>N/A</u></p> <p>Budget Acct.#: <u>N/A</u></p> <p>Effective Date: <u>N/A</u></p> <p>Expiration Date: <u>N/A</u></p>	<p>PZAB Action: <input type="checkbox"/> Rec. Approval <input type="checkbox"/> Rec. App. w/ Conds. <input type="checkbox"/> Rec. Denial <input type="checkbox"/> Continued to: _____</p> <p>Attachments:</p> <ul style="list-style-type: none"> • Development Application • Warranty Deed • Location Map • Project Narrative & Waiver Justification Statement • Traffic Impact Statement & Approval Letters • Drainage Statement • PUD Site Plan • Conceptual Engineering Plans • Conceptual Photometric Plan • Landscape Plans • Open Space Plan • Architectural Plans • Color Elevations & Renderings
<p>Approved by: City Manager _____ Ronald M. Ferris</p>	<p>Affected parties: <input checked="" type="checkbox"/> Notified <input type="checkbox"/> Not Required</p>		

EXECUTIVE SUMMARY

The Applicant is requesting approval of a rezoning of a 12.5-acre site from Residential Low Density-2 District (RL-2) to Planned Unit Development with a Residential Medium District (RM) underlying zoning to allow the development of a 50-townhome residential subdivision. The Applicant is requesting nine (9) waivers for the multi-family development. Staff recommends approval of the rezoning request.

BACKGROUND

On June 27, 2010, the City Council adopted Ordinance 10, 2010, approving the annexation of the 12.39-acre parcel, Parcel 18.A07, from unincorporated Palm Beach County into the City of Palm Beach Gardens.

On October 21, 2010, the City Council adopted Ordinance 11, 2010, approving the assignment of a future land designation of Residential Low (RL) for the subject parcel.

On December 16, 2010, the City Council adopted Ordinance 27, 2010, approving the assignment of a zoning designation of Residential Low Density-2 District (RL-2) for the subject parcel.

LAND USE & ZONING

Parcel 18.A07 has a future land-use designation of Residential Low (RL), as shown on the City’s Future Land Use Map. The zoning designation for the subject site is Residential Low Density-2 District (RL-2). The land uses and zoning designation of the properties surrounding the subject site are provided in the table below.

Table 1. Existing Zoning and Future Land-Use Designations

EXISTING USE	ZONING	FUTURE LAND USE
<u>Subject Property</u> Parcel 18.A07 (vacant)	Residential Low Density-2 District (RL-2)	Residential Low (RL),
<u>North</u> Eastpointe Country Club (unincorporated Palm Beach County)	Residential Estate (RE)	Low Residential (LR-2)
<u>South (Hood Road)</u> Marsh Pointe Elementary School	Planned Community Development (PCD)	Residential Low (RL)
<u>East (Florida’s Turnpike)</u> Alton Development of Regional Impact (DRI)	Planned Community Development (PCD) Overlay / Mixed Use (MXD)	Mixed Use (MXD)
<u>West</u> Eastpointe Country Club (unincorporated Palm Beach County)	Residential Estate (RE)	Low Residential (LR-2)

REZONING ANALYSIS

The Applicant is requesting to modify the approved zoning from RL-2 to Residential Medium (RM), with a Planned Unit Development (PUD) Overlay. While the requested underlying zoning designation of RM allows a higher density per the City's code, the request is only being made to accommodate the proposed attached multi-family residential dwellings. The Applicant is only proposing to develop 50 residential units, which is consistent with the density that would be permitted under the existing RL-2 zoning district (4 units per acre). The proposed use and density is compatible with the surrounding area, and provides a compatible transition between the single-family homes to the west and the highway to the east. Additionally, the PUD overlay provides the Applicant the opportunity to request relief from certain minimum standards in the form of waivers in order to utilize creative site design and development techniques.

CONSISTENCY WITH THE CITY'S COMPREHENSIVE PLAN

The Applicant's requested rezoning from RL-2 to Residential Medium (RM) is inconsistent with the existing approved future land use designation of Residential Low. For this reason, the Applicant is also requesting a large-scale future land use map amendment to modify the approved future land use of the subject site from RL to Residential Medium (RM). However, the Applicant is only proposing to develop 50 residential units, so the Applicant has voluntarily proposed a Future Land Use Map restriction, in the form of a note on the map, to a maximum of 50 residential units. This is consistent with the density that would be permitted under the RL-2 zoning district.

CONCURRENCY

The Applicant has submitted letters of capacity from Solid Waste Authority and Seacoast Utility Authority for the proposed residential subdivision. The Applicant is proposing to construct a looped master meter system that is built to public standards, so that if there is an opportunity to connect to a neighboring system, that can be achieved. The City's Fire & Police Departments have also reviewed the subject request and determined that the proposal meets the City's Level of Service (LOS) requirements.

Traffic

The proposed development program of 50 residential units results in a total of 333 new daily trips. The total AM peak hour trips, however, is 30, and PM peak hour trips total 34.

On October 27, 2016, the City's Traffic Consultant, Pinder Troutman Consulting, completed the review of the Applicant's traffic impact statement and confirmed that the proposed development program is consistent with the requirements of the Traffic Performance Standards (TPS) of the City of Palm Beach Gardens. A letter of approval was issued with conditions and a build-out date of December 31, 2019.

The proposal was also transmitted to and reviewed by Palm Beach County. On October 3, 2016, Palm Beach County completed review of the Applicant's traffic impact statement and confirmed that the proposed development program is consistent with the requirements of the

TPS for Palm Beach County. A letter of approval was issued with a build-out date of December 31, 2019.

Drainage

The Applicant submitted a Drainage Statement with the subject PUD rezoning petition that was reviewed and accepted by the City's Engineering Department. The proposed drainage system will consist of curbing, inlets, pipes, a perimeter berm and an onsite lake. The perimeter berm will be designed to hold the 100-year, 3-day storm event on site. Legal positive outfall in the form of a control structure with a three (3) inch "bleeder" pipe at the wet season water table will connect the onsite lake to Florida's Turnpike.

PROJECT DETAILS AND STAFF ANALYSIS

Existing Site Details

The subject site consists of two (2) parcels that are heavily wooded with many exotic invasive species, and vacant. The site currently has indirect access from the Hood Road right-of-way through additional right-of-way Parcel 100. The site has approximately 343 lineal feet of frontage on Hood Road and 1,555 feet along Florida's Turnpike. There is a significant grade difference from the Hood Road Bridge to the grade of the subject site. The original 12.39-acre parcel was slightly expanded to the south with a small portion of Parcel 100 during the review process of this petition through a land purchase.

Proposed Site Plan and Points of Access

The Applicant is requesting approval for a new residential subdivision to be called Trevi Isle. The subject site will consist of 11 buildings: one (1) clubhouse structure, one (1) designated model building, and nine (9) residential townhome buildings. The site also features a 1.47-acre amenitized lake, a 1.94-acre amenitized preserve, a 0.32-acre recreation area, and a 0.18-acre park/focal point. The buildings are positioned on site to have the least impact to the existing adjacent residences in Eastpointe Country Club.

Access for the parcel and subdivision, which includes a new dedicated right-turn deceleration lane, must be constructed upon site plan approval, prior to any land alteration on site. Modifications to the grade of Hood Road by Palm Beach County are proposed with the subject petition, where the existing slope is proposed to be decreased, and the actual road will be raised up higher to improve visibility for both drivers traveling westbound over Florida's Turnpike, as well as future residents exiting eastbound by turning left out of the community. The long access drive will address the approximately 13-foot grade change between the access point at Hood Road and the subject site with a smooth and gradual transition over approximately 300 feet, with an average slope of approximately 4%. This equates to an average of an approximately one (1) foot drop over a 23-foot distance.

The Applicant has advised that the proposed modifications to Hood Road and the driveway connection from Hood Road has been reviewed and approved by Palm Beach County Construction Coordination, under the Engineering and Public Works Department.

Vehicular Circulation and Pedestrian Connectivity

The subdivision is proposed to be access controlled with an unmanned “click to enter” security gate at the project entrance. The site plan provides for 150 feet of dedicated stacking distance for both residents and visitors, which is acceptable to Palm Beach County for the driveway connection per documentation provided by the Applicant. Circulation throughout the subject site is provided through one (1) 40-foot right-of-way that traverses in the north-south direction, and loops at the northern end of the community. The access point and right-of-way provides the required minimum 20 foot turning radii at all turns for adequate life-safety access and circulation.

The existing sidewalk on the North side of Hood Road currently terminates just west of the subject site. The Applicant is proposing to relocate this sidewalk north of the new deceleration lane, into the subject community, and connect it from the main right-of-way to the preserve, the recreation area, the lake amenity, and all way north to the park/focal point. The site features suitable pedestrian connectivity.

Neighborhood Recreation and Open Space

Per Section 78-572, Applicants must provide both passive and active recreation opportunities no less than one (1) acre in size within multi-family developments, within ¼ mile. The subject site proposes a recreation area with a pool and clubhouse facility. The clubhouse facility will contain a small fitness room. This area is 0.32 acres. The site also proposes a focal point park that features a gazebo and a pet station, totaling 0.5 acres. The City’s code also allows up to 50% of the requirement (0.5 acres) to be satisfied with preserve acreage so long pedestrian amenities are provided, which the Applicant is proposing in the preserve. The City’s Code also allows up to 40% of the requirement (0.4 acres) to be satisfied with pedestrian amenitized lake areas. The lake features a fully looped five (5) foot sidewalk, as well as a picnic table, benches, and decorative pedestrian-scale lighting. The Applicant is proposing a total of 1.4 acres of recreation area, which exceeds the City code requirements.

The City Code also requires that residential PUDs provide a minimum of 40% of the total site acreage as open space. The Applicant proposes to exceeds the open space requirement for the PUD overall, with 66% open space.

Preserve, Perimeter Buffers and Landscape Plan

The Applicant has submitted an Environmental Analysis that has been reviewed by the City’s Environmental Consultant, CH2MHill. The subject site has 7.6 acres of viable native upland habitat; therefore, the Applicant is required to set aside 1.9 acres of upland preserve. The Applicant is proposing to provide 1.94 acres of upland preserve, a small portion of which will be restored from the additional land from Parcel 100. The Applicant has submitted a Preserve Area Management Plan.

The Applicant is providing the required 90-foot parkway buffer along the south property line which will consist of the required preserve area. The east property line buffer, adjacent to Florida’s Turnpike, is required to be a minimum of 25 feet wide, and is provided at a width of 25 feet. The north and west property line buffers (which are adjacent to residential) are required to be eight (8) feet wide and are provided as 25 feet wide, which far exceeds minimum requirements. The Applicant is proposing to maintain as much native material as

possible in these buffer areas, and once the exotic invasive species have been removed, the Applicant will fill in the buffer areas with native species. A survey of trees to be protected in these areas has been provided on the landscape plan.

The Applicant is proposing to install 184 new trees, which primarily consist of Southern Live Oaks, Tuskegee Crape Myrtle, and Pink Tabebuia, as well as Bald Cypress and Slash Pines. The landscape palette also includes 283 new palm trees, such as Cabbage Palms, Alexander Palms and Montgomery Palms. Shrub species include Red Tip Cocoplum and Sea Grape, among others. Ground cover species include Green Island Ficus, Schefflera, Wax Jasmine, and White Thornless Bougainvillea. The total amount of landscape points provided by the design, 16103, exceeds the 11,621 landscape points required. The proposed landscape palette and design for the project is consistent with the requirements of the City's Landscape Code.

Parking

In the City's code, parking for multi-family uses is required at a rate of 1 space per bedroom plus an additional 5% for guest parking. The subject project proposes 161 bedrooms, and therefore is required to have 161 spaces, plus 8 guest spaces. The clubhouse facility also generates a requirement of 2 spaces, for a total of 171 spaces required. The Applicant is providing 226 spaces on site, which is 32% above what is required by code and 12% above what is permitted to be provided by code (20% additional). The Applicant is requesting a waiver for the additional parking spaces. Guest parking is provided at the clubhouse facility, off-street near the front three townhome buildings, as well as 12 parallel spaces along the main right-of-way and at the park/focal point area.

Site Lighting

The proposed site plan provides a variety of site lighting all throughout the site. The parking areas and right-of-way feature 18- and 12-foot tall light poles with decorative arms. Additionally, pedestrian scale lighting has been provided around the lake amenity area. The City Engineer has reviewed the Applicant's conceptual photometric plan and has determined the proposed plan meets the City Code requirements for minimum, maximum, and average foot-candle readings in Section 78-182 of the City's Code.

Architecture

The Applicant is proposing an architectural style that is similar to the existing Trevi townhome development to the East in terms of building shape, which has Mediterranean influences, however Trevi Isle is proposed with a slightly more modern, updated look. The Applicant is proposing 4 building types: one (1)-four (4) unit building style, two (2)-five (5) unit building styles, and one (1) - six (6) unit building style. The architectural plans indicate four (4) unique unit layouts. The Applicant is proposing a high-quality stone veneer to accent the front façade, in addition to decorative railings, shutters and decorative "shutter dogs", banding, wood trellis', and stone headers and sills to enhance the windows. The buildings will have varied roof lines with flat roof tiles, and feature a bright and tropical color scheme. The mean roof height of the proposed buildings is 23 feet and seven (7) inches.

The clubhouse, which is 280 square feet, will have a consistent color scheme to the townhome buildings, the same culture stone veneer and matching roof material, with a mean roof height of 15 feet and five (5) inches. The proposed roof pitch is 4 to 12.

Signage

The Applicant is proposing one (1) residential entry ground sign for the subdivision in the entry median. The overall sign feature is 27 feet long and 7.4 feet tall, and features a trellis and columns, and stone veneer with accent landscaping; however, the actual sign body is proposed to be 5 feet tall by 11.8 feet long, with a total copy area of 58.5. The sign is setback 15 feet from the ROW property line. No additional signs are proposed on site.

WAIVER REQUEST

The Applicant is requesting nine (9) waivers with the subject request; however, the City's code does not include specific provisions for townhomes. Many of the requested waivers are standard with townhome developments, including the previously approved Trevi at the Gardens Planned Unit Development that exists south of Hood Road and immediately west of Interstate-95.

Table 2. Waiver Requests

	Code	Requirement	Proposed	Waiver	Staff Recommendation
1	78-141, Table 10 Lot Width	100 feet	30 feet	70 feet	Approval
2	78-141, Table 10 Lot Coverage	35%	67%	32%	Approval
3	78-141, Table 10 Front Setback	30 feet	15 feet	15 feet	Approval
4	78-141, Table 10 Side Setback	10 feet	0 feet	10 feet	Approval
5	78-141, Table 10 Rear Setback	20 feet	7 feet	13 feet	Approval
6	78-154, Table 14 Minimum PUD Development Size	250 acres	12.5 acres	237.5 acres	Approval
7	78-186 Yards Perimeter Wall Height	8 feet	16 feet	8 feet	Approval
8	78-345 (d) (3) Number of Parking Spaces Permitted	NMT 20% additional	32% additional	12%	Approval
9	78-441(c) Plat	No vertical permits prior to plat approval	Model permits	Allow model permits only	Approval

1. The Applicant is requesting a waiver from the minimum lot width requirement of 100 feet. This waiver is typical for the multi-family attached townhome product. The requested width is the width of the townhome, so this is the minimum waiver that can be requested. This allows the open space that would typically be on an individual lot to be consolidated into the community serving open space, such as the 1.47 acre lake, and the recreational/preserve areas.
2. The Applicant is requesting a waiver from maximum lot coverage code requirement of 35% for Residential Medium lots, to allow a maximum lot coverage of 67%. This is a consequence of the smaller lot widths that are also being requested and is also typical of the townhome product. The applicant is proposing to maintain the common area spaces for the whole community.
3. The Applicant is requesting a waiver from the minimum front setback requirement of 30 feet to allow a front setback for the townhome structures of 15 feet. This is yet another result of the smaller lot size and the attached townhome product. Allowing more common area open space allows more organized and cohesive site configuration. The Applicant is proposing that garages be setback an additional five (5) feet, for a total of 20 feet.
4. The Applicant is requesting a waiver from the minimum rear setback requirement of 10 feet, to allow a rear setback of 7 feet. This is a consequence of the reduced size lots that are typical of the attached townhome product, and is typical of waivers granted for other townhome projects in the City. This waiver allows residents to have a small outdoor rear "yard" area; however, is not a significant area that would separate maintenance.
5. The Applicant is requesting a waiver from the side setback requirement of 10 feet, to allow a side setback of 0 feet. This is a direct result of the attached townhome product, and is typical of necessary waivers granted for other townhome projects in the City, such as in Paloma and Mirasol.
6. The City's code requires that PUDs developed west of Florida's Turnpike be a minimum of 250 acres in size. The subject site is only 12.5 acres and was existing in this condition prior to the adoption of this code requirement. As the site is constrained on all four (4) sides by right-of-way or existing residential development, it has no realistic opportunity or potential to be developed at a larger magnitude or scale. Additionally, the site is located immediately adjacent to Florida's turnpike, which is the trigger for this code requirement. A similarly sized project immediately east of the Turnpike would not have to request this waiver. Developing the subject site as a Planned Unit Development allows an idea site configuration; however, the ability to request waivers is integral.
7. The Applicant is requesting approval of a perimeter sound wall along the Florida Turnpike property line that is 16 feet tall, consistent to the wall that was requested and approved by Council for the original Trevi townhome project, which is adjacent to Interstate-95. This will provide significantly more buffering and screening for the proposed townhomes as far as noise and light pollution than the code permitted eight (8)-foot wall.
8. The Applicant is requesting 32% additional parking spaces over what is required, which exceeds the additional parking spaces code allowance of 20%. The Applicant is counting garage parking spaces as part of the required parking, which is permitted as long as the garages are of an adequate size, which they are. Additionally, the guest parking spaces requirement of 5% is quite lenient, and eight (8) spaces may not suffice for a development of 50 townhomes. 24 guest spaces is a more appropriate number.

9. The City's code requires that the subdivision plat for the project be approved prior to any vertical building permits issued. The Applicant has requested relief from this requirement. Staff is recommending a condition of approval that the Hood Road modifications, turn lane and entrance be fully operational prior to any land alteration, which will take a significant period of time. Approval of this waiver will grant the Applicant some time relief in having the models constructed while the ministerial portion of the platting process is taking place. The Applicant will still be required to acquire technical compliance approval (TCA) for the plat prior to the issuance of the infrastructure permit.

COMMENTS FROM THE DEVELOPMENT REVIEW COMMITTEE (DRC)

On Friday, August 15, 2014, the subject petition was reviewed by the DRC. At this time, all technical certification comments relating to the project have been satisfied.

STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the subject rezoning petition as presented.

CITY OF PALM BEACH GARDENS
DEVELOPMENT APPLICATION

Planning and Zoning Department
CITY OF PALM BEACH GARDENS
10500 North Military Trail
Palm Beach Gardens, FL 33410
(561) 799-4243 Fax (561) 799-4281

Request:

- | | |
|---|--|
| <input type="checkbox"/> Planned Community Development (PCD) | <input type="checkbox"/> Annexation |
| <input checked="" type="checkbox"/> Planned Unit Development (PUD) | <input checked="" type="checkbox"/> Rezoning |
| <input type="checkbox"/> Amendment to PCD, PUD or Site Plan | <input type="checkbox"/> Site Plan Review |
| <input type="checkbox"/> Conditional Use | <input checked="" type="checkbox"/> Concurrency Certificate |
| <input checked="" type="checkbox"/> Amendment to the Comprehensive Plan | <input type="checkbox"/> Time Extension |
| <input type="checkbox"/> Administrative Approval | <input type="checkbox"/> Miscellaneous |
| <input type="checkbox"/> Administrative Appeal | <input checked="" type="checkbox"/> Other <input type="text" value="Concurrent Processing"/> |

Date Submitted:

Project Name: Trevi Isle

Owner: Kennedy Homes, LLC

Applicant (if not Owner): Same

Applicant's Address: 6400 Congress Ave, #2175
Boca Raton, FL 33487 Telephone No. 561-789-3194

Agent: Urban Design Kilday Studios

Contact Person: Anne Booth E-Mail: abooth@udkstudios.com

Agent's Mailing Address: 477 So. Rosemary Ave, Suite 225, West Palm Beach, FL 33401

Agent's Telephone Number: 561-366-1100

FOR OFFICE USE ONLY	
Petition Number: _____	Date & Time Received: _____
Fees Received	
Application \$ _____	Engineering \$ _____
Receipt Number: _____	

Architect: Specialty Engineering Consultants

Engineer: Messler and Associates

Planner: Urban Design Kilday Studios

Landscape Architect: Urban Design Kilday Studios

Site Information:

Note: Petitioner shall submit electronic digital files of approved projects. See attachment for details.

General Location: Northwest corner of Hood Road and Florida Turnpike

Address: Hood Road

Section: 27 & 34 Township: 41 Range: 42

Property Control Number(s): 52-42-41-34-00-000-1030 and 52-42-41-27-00-000-5010

Acreeage: 12.39 Current Zoning: RL-2 Requested Zoning: RM

Flood Zone _____ Base Flood Elevation (BFE) – to be indicated on site plan _____

Current Comprehensive Plan Land Use Designation: RL- Residential Low

Existing Land Use: Vacant Requested Land Use: 50 residential units

Proposed Use(s) i.e. hotel, single family residence, etc.: Townhomes

Proposed Square Footage by Use: Please see attached floor plans

Proposed Number and Type of Dwelling Unit(s) i.e. single family, multifamily, etc. (if applicable): 50 attached townhomes

Justification

Information concerning all requests (attach additional sheets if needed.)
{Section 78-46, Application Procedures, Land Development Regulations.}

1. Explain the nature of the request: The applicant is requesting approval for concurrent processing of applications to allow a Comprehensive Land Use Plan amendment from RL to RM, rezoning from RL-2 to RM, and a PUD to allow 50 townhomes.

2. What will be the impact of the proposed change on the surrounding area?

The current zoning category allows up to 50 dwellings, the proposed development will allow the units to be attached which increases the community serving open space and allows for a more cohesive preservation area. No additional impacts are expected over the currently allowed development intensity.

3. Describe how the rezoning request complies with the City's Vision Plan and the following elements of the City's Comprehensive Plan - Future Land Use, Transportation, Housing, Infrastructure, Coastal Management, Conservations, Recreation and Open space, Intergovernmental Coordination and Capital Improvement.

Please see the attached project narrative for details on the proposed development.

4. How does the proposed project comply with City requirements for preservation of natural resources and native vegetation (Section 78-301, Land Development Regulations)?

The proposed plan of development includes the preservation of 1.93 acres of upland preserve area, which is in compliance with the Land Development Regulations for preservation of natural resources.

5. How will the proposed project comply with City requirements for Art in Public Places (Chapter 78-261, Land Development Regulations)?

The proposed project is a residential neighborhood and is not subject to the requirements of the AIPP

section of the code.

6. Has project received concurrency certification?

A request for concurrency approval is included in this application.

Date Received:

Legal Description of the Subject Property

(Attach additional sheets if needed)

Or see attached deed for legal description.

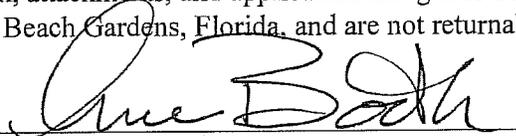
Location

The subject property is located approximately 0 mile(s) from the intersection of Hood Road and the Fla Turnpike _____, on the north, east, south, west side of Hood Road (street/road).

Applicant's Certification

I/We affirm and certify that I/we understand and will comply with the land development regulations of the City of Palm Beach Gardens, Florida. I We further certify that the statements or diagrams made on any paper or plans submitted here with are true to the best of my/our knowledge and belief. Further, I/we understand that this application, attachments, and application filing fees become a part of the official records of the City of Palm Beach Gardens, Florida, and are not returnable.

Applicant is:


Signature of Applicant

Owner

Anne Booth

Print Name of Applicant

Optionee

477 So. Rosemary Ave, Suite 225

Street Address

Lessee

West Palm Beach, FL 33401

City, State, Zip Code

Agent

561-366-1100

Telephone Number

Contract Purchaser

561-366-1111

Fax Number

aboath@udkstudios.com

E-Mail Address

AGENT CONSENT FORM

STATE OF FLORIDA
COUNTY OF PALM BEACH

BEFORE ME THIS DAY Stephen Gravett PERSONALLY
APPEARED WHO BEING DULY SWORN, DEPOSES AND SAYS THAT:

1. He/she is the owner of the real property legally described in the Warranty Deed;
2. He/she authorizes and designates Anne Booth, Urban Design Kilday Studios to act in his/her behalf for the purposes of seeking a School Concurrency determination on the real property legally described in the Warranty Deed;
3. He/she has examined the foregoing School Concurrency application and he/she understands how the proposed change may affect the real property legally described in the Warranty Deed.

FURTHER AFFIANT SAYETH NOT.

The foregoing instrument was acknowledged before me this 13 day of May, 2014, by Stephen Gravett (Name of Person Acknowledging) who is personally known to me or who has produced _____ (type of identification) as identification and who did (did not) take an oath.

Teresa Hugo Tigert
(Signature of Person Taking Acknowledgement)

S. Gravett, CEO
Owner's Signature

Teresa Hugo Tigert
(Name of Acknowledger Typed, Printed, Stamped)

Stephen Gravett
Owner's Name (Print)

(Title or Rank)

6400 Congress Avenue #2175
Street Address

(Serial Number, if any)

Boca Raton, Florida 33487
City, State, Zip Code

(Notary's Seal)  **TERESA HUGO TIGERT**
MY COMMISSION # FF 087126
EXPIRES: March 8, 2018
Bonded Thru Budget Notary Services

561-798-3194
Telephone Number

STATEMENT OF OWNERSHIP AND DESIGNATION OF AUTHORIZED AGENT

Before me, the undersigned authority, personally appeared **STEPHEN GRAVETT**, who being sworn on oath, deposes and says:

1. That, he is the **CHIEF EXECUTIVE OFFICER** of **KENNEDY HOMES, LLC**, which is the Contract Purchaser of the property as described in the attached legal description, and;
2. That, he is authorized to act on behalf of **KENNEDY HOMES, LLC**, with regard to this application, and;
3. That, **KENNEDY HOMES, LLC**, is requesting approvals for various zoning and Land Use changes to allow the development of the property as a residential multi-family community, and;
4. That, **KENNEDY HOMES, LLC**, has appointed **ANNE BOOTH** and **URBAN DESIGN KILDAY STUDIOS** to act as Agent on it's behalf to accomplish the above, and;
5. That, **KENNEDY HOMES, LLC** and/or its successors or assigns, commits to proceed with the proposed development in accordance with the Ordinances and Resolutions of approval and such conditions and safeguards as may be set by the City Council in such Ordinance, and;
6. That, **KENNEDY HOMES, LLC**, or its successors or assigns, commits to complete the development according to the plans approved by such Ordinance, and to continue operating and maintaining such area, functions, and facilities that are not to be provided, operated or maintained by the City of Palm Beach Gardens pursuant to written agreement, and;
7. That, **KENNEDY HOMES LLC**, commits to bind any successors in title to any commitments made in the approval.

KENNEDY HOMES, LLC

By: *Stephen Gravett*
Stephen Gravett, CEO

Sworn to and subscribed before me this 13 day of May, 2014.



Teresa Hugo Tigert
Notary Public, State of Florida
Commission Number FF 087126
My Commission Expires: 3/8/18

EXHIBIT A

LEGAL DESCRIPTION TREVI ISLE

LEGAL DESCRIPTION:

A PARCEL OF LAND LYING IN SECTION 27 AND 34, TOWNSHIP 41 SOUTH, RANGE 42 EAST, PALM BEACH COUNTY, FLORIDA AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH HALF (S $\frac{1}{2}$) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF THE SOUTHEAST QUARTER (SE $\frac{1}{4}$) OF SECTION 27, TOWNSHIP 41 SOUTH, RANGE 42 EAST, TOGETHER WITH THE EAST HALF (E $\frac{1}{2}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF SECTION 34, TOWNSHIP 41 SOUTH, RANGE 42 EAST.

LESS AND EXCEPTING THEREFROM THE RIGHTS OF THE WAY OF FLORIDA'S TURNPIKE, HOOD ROAD AND HOOD ROAD OVERPASS.

CONTAINING 539,627 SQUARE FEET OR 12.388 ACRES, MORE OR LESS.



Prepared by and Return to:

Stephen S. Mathison, P.A.
5606 PGA Boulevard, Suite 211
Palm Beach Gardens, Florida 33418
File No. 8666 (njm)
Property Control No: 52-42-41-27-00-000-5010
52-42-41-34-00-000-1030

CFN 20140225913
OR BK 26863 PG 0463
RECORDED 06/18/2014 15:20:13
Palm Beach County, Florida
AMT 800,000.00
Doc Stamp 5,600.00
Sharon R. Bock, CLERK & COMPTROLLER
Pgs 0463 - 464; (2pgs)

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made this 13TH day of June, 2014, by

SABADELL UNITED BANK, N.A., a National Association,

having its principal place of business at 1111 Brickell Avenue, Miami, Florida, 33131,

hereinafter called the Grantor,

KENNEDY HOMES, LLC, a Florida limited liability company,

whose address is **6400 Congress Avenue, Suite 2175, Boca Raton, Florida, 33487,**

hereinafter called the Grantee:

(Wherever used herein the terms "Grantor" and Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH, that the Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable considerations, the receipt and sufficiency of which is hereby acknowledged, by these presents does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate lying in Palm Beach County, Florida, to-wit:

A parcel of land lying in Sections 27 and 34, Township 41 South, Range 42 East, Palm Beach County, Florida and being more particularly described as follows:

The South Half (S 1/2) of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of the Southeast Quarter (SE 1/4) of Section 27, Township 41 South, Range 42 East, Together with the East Half (E 1/2) of the Northeast Quarter (NE 1/4) of the Northeast Quarter (NE 1/4) of Section 34, Township 41 South, Range 42 East, LESS AND EXCEPTING THEREFROM the rights of way of Florida's Turnpike, Hood Road and Hood Road Overpass.

SUBJECT TO restrictions, reservations, covenants, easements and matters of record; and taxes for the current year and all subsequent years.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; and that the Grantor hereby warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under the Grantor.

IN WITNESS WHEREOF, the Grantor has caused these presents to be executed in its name, and its corporate seal to be hereunto affixed by its proper officers thereunto duly authorized, the day and year first above written.

Signed, sealed and delivered in the presence of:

SABADELL UNITED BANK, N.A., a National Association,

Darlene Balboa
WITNESS

BY: Thomas Soucy
Thomas Soucy, Vice President

Darlene Balboa
Print Name of Witness

(CORPORATE SEAL)

Jose M. Hernandez
WITNESS

Jose M. Hernandez
Print Name of Witness

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, appeared THOMAS SOUCY, as Vice President of SABADELL UNITED BANK, N.A., a National Association; personally know to me or provided as identification to be the person described in and who executed the foregoing instrument and he acknowledged before me that he executed same.

WITNESS my hand and official seal in the County and State aforesaid this 13 day of June, 2014.

(seal)

Yesenia Padron

My Commission Expires: 3-25-17

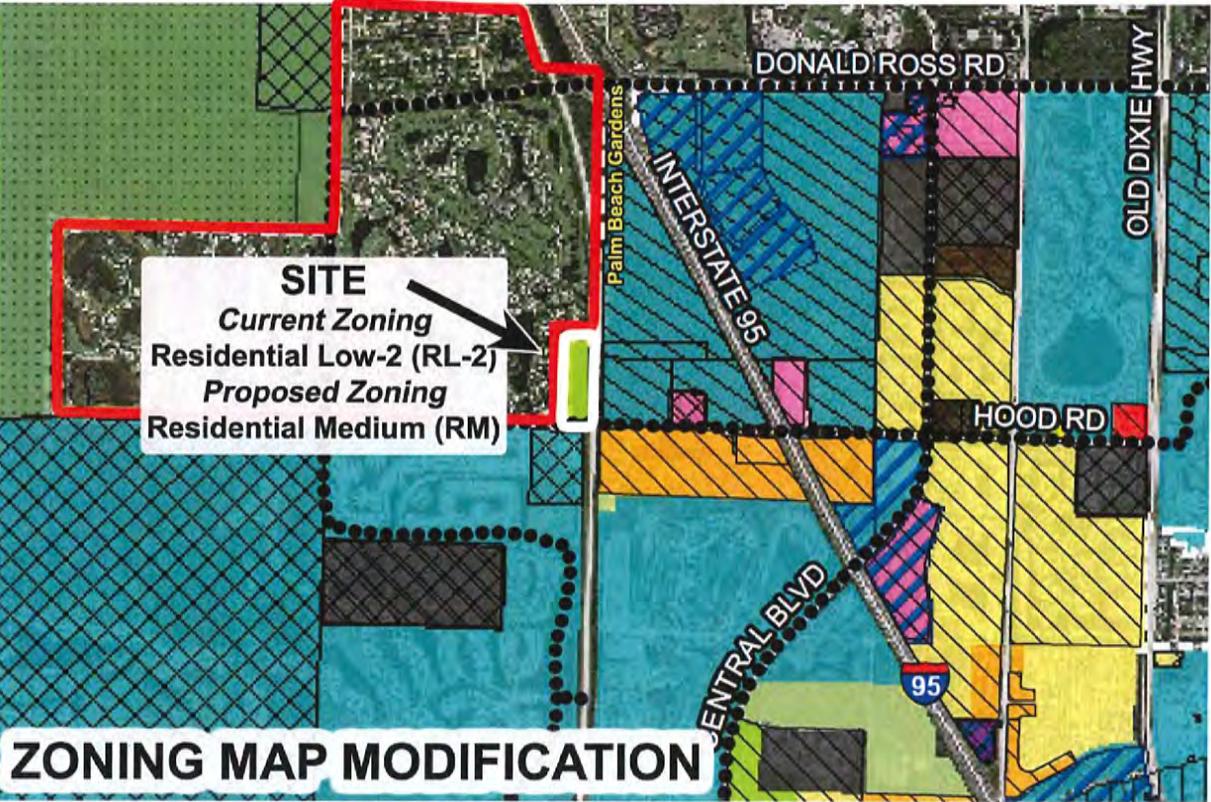
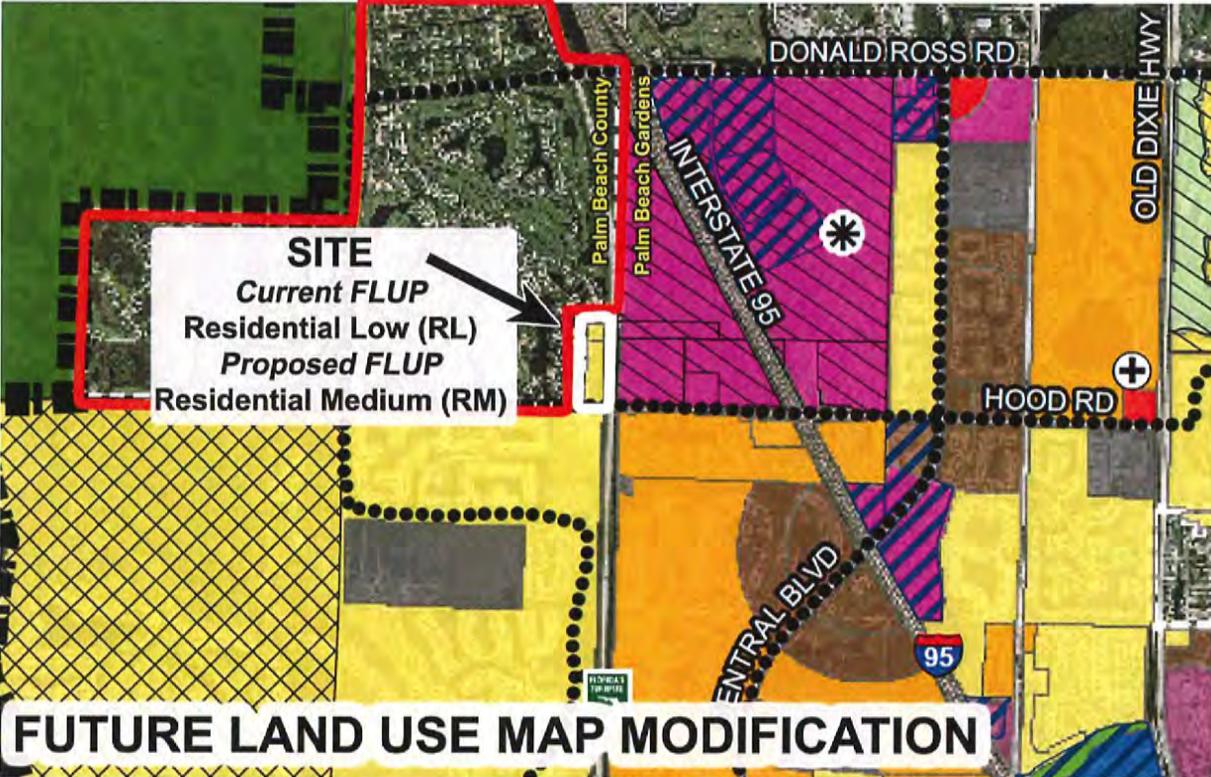
NOTARY PUBLIC

Yesenia Padron

Print Name of Notary



TREVI ISLE PLANNED UNIT DEVELOPMENT FLUP AMENDMENT and REZONING PALM BEACH GARDENS, FLORIDA



May 30, 2014



PROJECT NARRATIVE TREVI ISLE

June 27, 2014

Revised April 2, 2015

Revised March 18, 2016

Revised June 17, 2016

Revised August 19, 2016

Revised October 24, 2016



Urban Planning and Design
Landscape Architecture
Communication Graphics

Request/Location

On behalf of the applicant, Kennedy Homes, LLC, Urban Design Kilday Studios hereby respectfully submits this application request for: Concurrency; the Concurrent processing of a Large-Scale Future Land Use Map Amendment to modify the current land use designation from Residential Low (RL) to Residential Medium (RM); a Rezoning from Residential Low (RL2) to Residential Medium (RM); and a Planned Unit Development (PUD) overlay for fifty (50) townhomes. The site is currently vacant and consists of three parcels for a total of 12.50 acres. The site is located on the northwest corner of Hood Road and Florida's Turnpike.

The proposed townhome development will be a continuation of the successful Trevi development built by the applicant on the southwest corner of Hood Road and I-95. The proposed development will be consistent with the density allowed under the RL-2 district and will provide an enhanced development plan which exceeds the community serving open space and amenities of a comparable single family detached development.

Although the proposed development at a density of 4 du's/acre is consistent with the density allowed under the RL2 and Residential Low zoning and Future Land Use categories, the development of an attached Townhome product is not allowed in the RL2 District. Restrictions on the Comprehensive Plan amendment, together with the proposed PUD and rezoning will restrict the development of the property to the same density levels allowed in the RL categories while allowing a quality townhome development. As part of the requested development approval the applicant is requesting a maximum limit of 50 units be set on the development approval through a note on the Comprehensive Plan. The proposed product type will be an excellent transitional use and buffer between the single family units in Eastpointe and the Turnpike and will provide a much higher percentage of open space and amenities than a standard single family development would otherwise be able to provide.

History

Twelve acres of the site were annexed into the City on June 17, 2010 via Ordinance 11, 2010. On October 21, 2010, via Ordinance 12, 2010 the property's Future Land Use designation was changed from Palm Beach County (PBC) Low Residential, two (2) units per acre (LR-2), to



610 Clematis Street
Suite CU02
West Palm Beach, FL 33401
561.366.1100 561.366.1111 fax
www.udkstudios.com
LCC000035

the City of Palm Beach Gardens Residential Low (RL), with a density allowance of up to four (4) units per acre under straight zoning and six (6) units per acre with a PUD. On December 16, 2010, via Ordinance 27, 2010, the property was rezoned from Palm Beach County Residential Single Family (RS) and Residential Estate (RE) to City of Palm Beach Gardens Residential Low (RL-2), which allows up to four (4) units per acre under straight zoning and six (6) units per acre under a Planned Development. There are no current Development Order conditions of approval for the site.

Existing Zoning and Future Land Use Plan Designations

The site is a long rectangular parcel with 1,258 linear feet of frontage on the Florida Turnpike, and 417 feet of frontage on Hood Road. The parcel is surrounded on the west and north by the Eastpointe County Club residential subdivision. Eastpointe was developed in the 1980s and early 1990s and is located in the unincorporated jurisdiction of Palm Beach County. To the south of the site are the Hood Road overpass, and the Marsh Pointe Elementary School, which is part of the Mirasol PCD and was built in 2008. To the east of the Florida Turnpike is the Scripps Phase II/Briger Tract DRI now known as Alton .

EXISTING USE	ZONING	FUTURE LAND USE
Subject Site: Vacant	Residential Low (RL-2)	Residential Low
TO THE NORTH: Eastpointe Country Club <i>(Palm Beach County)</i>	Single Family Residential (RS) Residential Estate (RE) Residential Transition (RT)	Low Residential, 2 DU/ AC (RL-2)
TO THE EAST: Florida Turnpike	N/A	N/A
TO THE SOUTH: Marsh Pointe Elementary	Planned Community Development (<i>Mirasol PCD</i>)	Residential Low
TO THE WEST: Eastpointe Country Club <i>(Palm Beach County)</i>	Single Family Residential (RS) Residential Estate (RE) Residential Transition (RT)	Low Residential, 2 DU/ AC (RL-2)

Concurrency

Included in this application is a request for concurrency for 50 residential units. The proposed project will comply with all required levels of service standards as adopted by

the city. Total capacity requirements of the proposed project will be available at the time of construction of the project as evidenced by the following:

Roadway System: Attached is a traffic analysis which indicates that the project build-out date will be the end of 2019 and that no additional intersection modifications are required to the roadway system for acceptable operation.

Wastewater: The Seacoast Utility Authority has provided a statement of service availability for the proposed project which indicates that wastewater service is available upon the payment of connection fees, administration fees and capacity reservation fees.

Solid Waste: The Solid Waste Authority has provided a statement that capacity for solid waste is available through the year 2046.

Drainage System: The drainage system has been designed to control all water within the site. The project will have a perimeter berm established that will meet the 25 year 3 day storm event requirements of the SFWMD and the City of Palm Beach Gardens. All offsite runoff will be discharged and controlled by the project control structure.

Potable Water: The Seacoast Utility Authority has provided a statement of service availability for the proposed project which indicates that potable water service is available upon the payment of connection fees, administration fees and capacity reservation fees.

Recreation: 3.7 acres of improved and neighborhood parks are required per 1000 permanent residents. The proposed development will generate the demand for .43 acres of improved park area based on 50 residential units. The proposed plan of development provides improved recreation areas of .5 acres in addition to the preservation area and lake. To meet the code requirement for 1 acre of recreation, three recreation areas are provided. Total Open space for the project far exceeds the Land Development Regulations for open space.

Concurrent Processing Request

The applicant is requesting approval to allow the Comprehensive Plan Amendment, Rezoning and Planned Unit Development Overlay applications to be processed concurrently for consideration by the City Council. The concurrent review of the applications will allow the City Council to have a more cohesive understanding of the proposed development, and will provide assurances with regard to development intensities and design limitations. The concurrent review process will also allow a more comprehensive review with regard to the compatibility of the project to the adjacent neighborhoods.

Proposed Future Land Plan Amendment Analysis

Land Use Compatibility with Surrounding Area

Included in this application are maps which show the location of the property in relation to the surrounding zoning and land uses. Immediately to the north and west of the site is the Eastpointe residential development which is located within the jurisdiction of Palm Beach County. Eastpointe is developed with a mixture of single family custom homes, zero lot line homes, attached patio/townhomes and a golf course. The overall gross density of 1.31 DU's/ac includes multiple parcels which are developed at net densities that range from 4.06 du's/ac to .50 du's/ac. The net density of the parcel immediately adjacent to the parcel is 1.32 du's/ac. Prices of homes in Eastpointe range from the mid-high \$200's to \$700's.

Development on the south side of Hood Road, west of the Turnpike, is part of the Mirasol PCD. Immediately south of the site are the Marsh Pointe Elementary School and Mirabella zero lot line homes. The density of the three Mirabella parcels range from 3.9 du's/ac to 6.69 du's/ac. The price range of the homes in Mirabella range from the low \$400's to the mid \$800's.

The existing zoning of RL-2 and Future Land Use of RL allow a density range of 4 DU's/ac under straight zoning to 6 du's/ac under a Planned Development. Although the proposed development will be restricted to 4 units per acre, the Land Development Regulations do not allow the construction of attached units therefore the applicant is requesting a change to the RM zoning and RM Future Land Use category to allow an attached unit to be constructed. The attached unit design in the site plan allows for a consolidation of open space which has been located to maximize the separation distance between the existing homes and the proposed homes. The site plan also provides a natural buffer and lake between the adjacent units, together with the construction of the sound barrier wall and placement of the homes, the proposed project will provide a beneficial sound and visual barrier between Eastpointe and the Turnpike.

Compatibility with the City's Vision Plan

At the time of the inception of the City's Vision Plan, the site was under the jurisdiction of Palm Beach County. The proposed development is however located within the Urban Growth Boundary of the City's Vision Plan and is consistent with the principals and objectives of the plan. The proposed development will provide a system of pedestrian sidewalks that will connect to the public sidewalk system as well as providing a proposed emergency and pedestrian connection to the Eastpointe community. The infrastructure required to service the project is currently in place and the proposed development has included security and traffic calming techniques which will enhance the safety and security of the community.

The proposed quality and pricing of the development will be consistent with the Trevi project located on the south side of Hood Road as well as the immediately surrounding Eastpointe and Mirasol developments. As noted in the City's Vision Plan, developments of higher intensities are acceptable adjacent to major roadways. In this case the proposed development is consistent with the lower density use by right. The proposed development plan will create a transitional buffer zone including a visual and sound barrier between the existing Eastpointe community and the Turnpike.

The plan of development is consistent and comparable to the net densities of the adjacent parcels. The proposed plan of development includes the protection and preservation of natural resources and preservation of environmentally significant lands. The preserve area will be enhanced by the addition of a pedestrian walkway for the enjoyment of the community. The project will provide a variety of recreational amenities including, a passive park area with Gazebo, a clubhouse complex with a pool, a lake and a natural preserve.

Consistency with the City's Comprehensive Plan

Economic Development Element

GOAL 13.1.: The economic goal of the city of Palm Beach Gardens is to achieve sustainable economic development through a balanced and diversified economy which is compatible with the city's quality built environment and protects important natural resources.

The proposed development will provide construction related jobs, as well as ongoing maintenance and service jobs once the development is complete. The proposed development will provide a high quality residential development which includes a 1.94-acre preservation area and 67% Open Space.

Future Land Use Element

The predominant dwelling types in the Residential Medium category are attached and detached single-family housing, duplexes, and townhomes. The compatible zoning districts for this category are RL1, RL2, RL3, and RM. The proposed development is within the urban service boundary and in accordance with Policy 1.1.1.4 the RM District serves as a transition between Residential Low and more intense land uses, such as the Turnpike. The site is centrally located with convenient access to shopping and employment opportunities. The site is centrally located with access to all required infrastructure and services.

Maximum allowable development

The maximum allowable development under the existing Residential Low - RL designation is 4 dwelling units per acre and up to 5 dwelling units per acre under a Planned Development. This designation would allow 50 units under standard zoning by right and 62 units under a Planned Development.

Under the proposed Future Land Use designation of Residential Medium – RM, the standard zoning density by right is 7 dwelling units per acre and up to 9 dwelling units per acre under a Planned Development. This designation will allow 87 units under standard zoning and 112 units under a Planned Development. The proposed plan of development intends to limit the maximum density to 50 dwelling units through a notation on the Comprehensive Plan map. The density levels of the proposed Planned Development plan are consistent with the density levels allowed under the existing Future Land Use designation and will not increase the intensity of the development as anticipated when the property was annexed.

Transportation Element

Attached is a traffic analysis which indicates that the project build-out date will be the end of 2019 and that no additional intersection modifications are required to the roadway system for acceptable operation.

Infrastructure Element

Required infrastructure was confirmed at the time of annexation. The proposed development is consistent with the intensity allowed under the existing zoning and Future Land Use Designations. All required infrastructure is currently in place for the proposed development.

Historical and Archeological Resources

The applicant is not aware of any historical or archeological resources on the site.

Environmental Issues and Land Suitability for Proposed Land Use

The site has been designed to protect and preserve 1.94 acres of upland preserve in addition to the perimeter buffers and open space throughout the site.

Sanitary Sewer

The Seacoast Utility Authority has provided a statement of service availability for the proposed project which indicates that wastewater service is available upon the payment of connection fees, administration fees and capacity reservation fees.

Potable Water

The Seacoast Utility Authority has provided a statement of service availability for the proposed project which indicates that potable water service is available upon the payment of connection fees, administration fees and capacity reservation fees.

Drainage

The drainage system has been designed to control all water within the site. The project will have a perimeter berm established that will meet the 25 year 3 day storm event requirements of the SFWMD and the City of Palm Beach Gardens. All offsite runoff will be discharged and controlled by the project control structure.

Solid Waste

The Solid Waste Authority has provided a statement that capacity for solid waste is available through the year 2046.

Parks and Recreation

Objective 7.1.1.: Provide open space areas, and active and passive recreation facilities and areas for residents of Palm Beach Gardens in a timely manner so as to comply with the Level of Service (LOS) standards set forth by this element and to maintain such compliance in subsequent years.

1. FLUP Recreation and Open Space LOS - 5 acres of improvement parks per 1000 permanent residents

.58 acres are needed to meet the City's FLUP Level of Service of 5 acres per 1000 residents for the estimated 2.35 persons per unit per 50 dwelling units.

2. Land Development Regulations LOS – 3.7 acres of Neighborhood and Community Park per 1000 permanent residents

.43 acres are needed to meet the City's LDR Level of Service of 3.7 acres per 1000 residents for the estimated 2.35 persons per unit per 50 dwelling units.

The project is proposing 8.41 acres of Open Space which includes .50 acres of recreation. The proposed recreation areas include a .18 acre Passive Park with Gazebo, .32 acre clubhouse and pool area, and preserve area amenities. In addition to the recreation areas, the project provides a community lake.

PUD PROJECT DETAILS

Density

The current land use and zoning designations of residential low allow for a density of four (4) units per acre, however the district does not allow for townhouse structures. The applicant is therefore requesting to modify the land use and rezone to the medium residential district to allow the townhouses. The applicant is further proposing that the project be conditioned to restrict the density of the site to the four (4) dwelling units per acre as is currently permitted on the site.

Architectural Style and Special Features

The proposed elevations of the townhomes are very similar to the Trevi development located just east of the site on the south side of Hood Road. The proposed townhomes will have 4 alternative models and will be constructed with 4 unit, 5 unit and 6 unit buildings. There are two alternative combinations of models for the 5 unit building which will allow for more variety along the street façade. Enhancements to the elevations have been included which include stone accent façades, decorative aluminum railings, decorative iron grills, shutters, “shutter dogs”, banding, wood trellis, stone headers and sills around the windows, varied roof lines and vibrant color tones. The clubhouse and gazebo will use the same colors and materials being used on the homes.

Access

Access to the site is proposed from Hood Road. Because of the grade changes and the proximity of the overpass to the front of the property, the proposed entrance design has been extensively reviewed. Included in the design is a dedicated right turn lane from the overpass for westbound traffic. The entrance will be constructed at an elevated grade with a gradual transition down into the site. The change in elevation on the entrance drive adjacent to the preserve will create a beautiful perspective as the residents enter the community. Included in the application are letters from Palm Beach County, and the Turnpike Authority along with design drawings for the entrance design from Wantman and Associates.

Pedestrian Connectivity

Due to concerns about a ‘mid-block” crossing the applicant has been asked by the County, not to continue the existing public sidewalk on Hood Road which currently

terminates on the overpass. The sidewalk will be brought into the community and continued for the length of the internal roadway providing access to the clubhouse and the park from each home. The applicant is also proposing to build a pedestrian pathway in the preserve area which will connect to the sidewalk at the entrance and will provide access for maintenance of the preserve and the MSE walls.

Project Signage

The proposed entrance sign has been incorporated into a landscape trellis feature in the center island of the entrance. The design is an adaptation of the Trevi entrance design, with the addition of unique features which complement the proposed home designs. Special features include stone, trellis, landscaping and lighting. Colors and materials will be consistent with the homes and buildings in the community. Landscaping, in accordance with City code requirements, will be planted at the base of the sign.

Lighting

All proposed lighting for the site will be in accordance with the City of Palm Beach Gardens Land Development Regulations. Special light shields will be added to the lights at the entrance to eliminate any light intrusion onto abutting properties.

Landscape Buffers and Foundation Plantings

The site has been designed with a 25' natural buffer for the majority of the site. Within the buffer along the Turnpike, the applicant is proposing the construction of a 16' sound wall offset to the east side of the buffer. Where the buffer adjoins the preserve area, planting will be an extension of the preserve area plantings. Adjacent to the SUA well easement, the buffer has been reduced to 20' to allow SUA more convenient access. Along the perimeters adjacent to Eastpointe, the existing trees and understory will be maintained to the greatest extent possible. Where exotic plants are removed, new native plant material will be planted to infill the buffer and preserve areas. The new preserve area will include an upgraded plant palette which will allow for a more immediate infill. A street tree program of Oaks, pines, flowering trees and palms will be used. An alternative street tree planting plan has been designed to provide trees on the east side of the main street. Foundation planting will include a variety of designs to provide a varied streetscape. Several areas have been designated to protect and preserve existing trees.

Site Amenities

The proposed site plan design allows 67% of the site to be consolidated into community serving open space. Included in the design are a passive park with a gazebo, a clubhouse with pool, a lake and 1.94 acre preserve area. Many of the existing trees are

being preserved throughout the site for a natural and mature design. A majority of the homes have frontage on the preserve, the lake or a buffer. Ample guest parking has been provided throughout the community. The gazebo in the park will provide a pleasant location for passive activities. The clubhouse will provide a convenient location for mail collection in addition to a lush landscaped deck around the pool area. The tree lined lake can be used for fishing and other community activities. The preserve area will be enhanced with a pedestrian pathway to allow the residents to enjoy and explore the preserve.

Parking

Each residence will have a two-car garage with an additional two spaces provided in the driveway. There will be seven spaces at the clubhouse, 5 of which are guest spaces. There will be a total of 24 guest parking spaces provided in a variety of locations throughout the property. Stall sizes will vary between 9 and 9.5' wide and 18.5' long, except for the handicap spaces which will be 12' wide and the driveway spaces which will be 20' long.

Parking space width

Section 76-344 allows the City Council to approve a reduction in the width of parking spaces provided a corresponding increase in open space is provided. The applicant proposes to provide 9' and 9.5' x 18.5' parking spaces. The criteria for approval for a reduction in the width of parking spaces requires additional open space be provided at a ratio of 1.5 square feet for each square foot of paved parking area that is reduced. The following formula demonstrates that the site exceeds the current code requirement for open space and meets the criteria for approval.

- There will be a total of 200 – 9' parking spaces and 12-9.5' parking spaces.
- The area of the reduced pavement area is 3,811 square feet ($18.5' \times 1' = 18.5$ sf/space x 200 spaces = 3,700 sf, plus $18.5' \times .5' = 9.25$ sf/space x 12 spaces = 111, total = 3,811 sf).
- At a ratio of 1.5, we are required to provide 5,716.5 additional square feet of open space ($3,811$ sf x 1.5).
- The 40% open space requirement is 5.02 acres (218,671.2 sf). The open space provided on this site is 67% or 8.41 acres (366,339 sf).
- The site provides 3.39 acres (147,668 sf) more open space than is required by code which far exceeds the requirement for additional open space.

Drainage

The proposed drainage system will consist of curbing, inlets, pipes, a perimeter berm and an on-site lake. The runoff from the roadway will collect in the curbing and inlets while the pipes route it to the on-site lake. The perimeter berm will be designed to hold

the 100-year, 3-day storm event on-site. The Finished Floor elevation will be set a minimum of 6" above the same elevation. A control structure with a 3" bleeder at the wet season water table will connect the lake to the Turnpike to aid in recovery of the system in all rain events.

The system is designed so it will not connect to NPBCID or the Eastpointe existing lake network therefore the drainage system will have no adverse effect to adjacent properties.

Phasing

The proposed development will be constructed in one phase.

Platting

The applicant is requesting a waiver to allow permits for dry model homes to be issued prior to the plat being recorded. This request is consistent with waivers previously approved for Mirasol and Paloma and will allow construction to begin while the plat is being processed for review and approval.

Environmental

The City requires 25% of environmentally-significant lands be preserved on site or mitigated. Based on the City's environmental standards and the site conditions, 1.9 acres of upland habitat are required to be preserved. Included in this application is an environmental assessment which describes the condition of the property and the conditions which have impacted the site conditions. The entire property is surrounded by developed lands, roads and highways. The adverse effects of this type of urban setting reduces hydrology, and together with a lack of a natural fire regime, allows encroachment of exotic vegetation. There are no jurisdictional wetland areas observed on the property, nor were any gopher tortoises or other listed animal species observed.

The habitat on the property is considered disturbed based on the recent Environmental Study of the site, conducted by Environmental Services, Inc. The study further states that the upland preservation area contains some of the highest quality habitat that exists on the property and is located in an area dense with native oaks.

Through a Preserve Area Management Plan, the preserve area will be enhanced through the eradication of exotic and nuisance species and supplemental planting of native species where necessary. The enhancements and preservation of this habitat will ensure long-term functional viability. The newly planted preserve will include a pallet of plants that will enhance the existing preserve. The size and quantity of the

plants in the new preserve will be increased to achieve the desired habitat conditions more quickly.

Land Development Regulations

SITE ANALYSIS: Trevi Isle				
Comparison (per code unless otherwise noted)	Allowed/Required	Proposed	Compliance	Waiver Requested
<i>Open Space (PUD)</i>	40% min.	67%	Yes	
<i>Minimum PUD Development Size</i>	250 acre	12.50 acres		yes
<i>Minimum Site Area (RM)</i>	131,100 sf (Min. 7,500 sf for the first two-family unit, and min. of 5,150 sf for each additional unit)	544,500 sf	Yes	
<i>Minimum Building Site Area (RM)</i>	None	n/a	n/a	
<i>Minimum Lot Width (RM)</i>	100'	30'		yes
<i>Maximum Building Lot Coverage (RM)</i>	35%	67%		yes
<i>Maximum Height Limit (RM)</i>	36'	26'-7"	Yes	
<i>Setbacks (RM)</i>				
Front	30'	15'		yes
Side	10'	0'		yes
<i>Side Facing Street</i>	20'	n/a	n/a	
Rear	20'	7'		yes

SITE ANALYSIS: Trevi Isle				
Comparison (per code unless otherwise noted)	Allowed/Required	Proposed	Compliance	Waiver Requested
<i>Parking</i>				
<i>Number Required</i>	169	226		Yes
<i>Stall Dimensions</i>	10' x 18.5 feet	9.5' x 18.5' and 9' x 18.5'		Additional open space provided as required.
<i>Loading Spaces</i>	None	n/a	n/a	

Coordination with Eastpointe Home Owners Association

The applicant has made a commitment to coordinate with the Home Owners Association of the Eastpointe Planned Development in efforts to maintain open communication and to promote mutually beneficial improvements.

Waivers/Justification

One of the general purposes and intentions of the Planned Unit Development overlay district is to “establish and encourage efficient and creative development or re-development of property; to provide maximum opportunity for the application of innovative concepts of development in the creation of aesthetically pleasing living, shopping and working environments on properties of adequate size shape and location...and to ensure that development occurs according to limitations of use, design, density, coverage, and planning as stipulated in an approved development plan”. As a result of these concepts, the PUD Overlay District was created as a Flexible Zoning district that is intended to allow for deviations from standard Land Development Regulations. In turn, the applicant understands that they will be subject to conditions of approval. Deviations to the standard Land Development Regulations are accommodated through the waiver approval process. The granting of waivers allows innovative, and creative design concepts to be realized that will be a benefit to the city.

Along with the request for a rezoning to a PUD district, we have selected the “underlying” zoning district of Residential Medium (RM) for the purposes of comparing the proposed development plan with standard zoning district land development regulations, and which allows for the townhouse product. The purpose of the

comparison is to identify any deviations that may be proposed from the standard land development regulations.

The unique physical conditions of the parcel along with the desire of the applicant to develop the site as a townhome community, has required the applicant to request a number of waivers from the City's LDRs. It should be noted that because of the attached home design, the community serving open space can be consolidated, the separation between adjacent uses can be increased, and more amenities can be provided. The design allows a large number of the lots to abut the lake with the remaining units abutting some form of natural area or buffer. As an alternative to the concept of each lot enjoying an open space area, the proposed design provides these community serving open space areas as an amenity and a benefit for all residents of the community.

We believe that the design of this project is consistent with previously approved townhouse projects in the City, is consistent with the intent and purpose of the PUD district regulations, and is consistent with comparable development standards within other communities. The code does not address the allowance of an attached product type which requires the applicant to request a number of waivers. The approval of the waivers will also allow a project design that increases the separation between the existing homes in the Eastpointe community and creates more cohesive community serving open space. Because the proposed development has been designed to incorporate significant amenities into the design, the consolidated community serving open space allows for creativity in designing the homes and placement on the lots. For these reasons we feel the requested waivers should be approved and respectfully request your support.

The applicant is requesting nine (9) waivers:

1. The applicant would like to request a waiver from **Section 78-141, Table 10, Lot Width**, to allow the width of the individual townhome lots to be reduced from 100' to 30'. This waiver request is a result of the applicants desires to provide an attached product type and represents the width of the individual homes. The open space that would otherwise be included in the lot width has been incorporated into community serving open space.
2. The applicant would like to request a waiver from **Section 78-141 – Table 10, Lot Coverage**, to allow individual lot coverage to be increased from 35% to 67%. This waiver request is a result of the applicants desire to consolidate individual lot area open space into more cohesive community serving open space for the enjoyment of all the residents. This waiver is consistent with similar waivers granted for attached product types in other communities.
3. The applicant would like to request a waiver from **Section 78-141, Table 10, Front Setback**, to allow a Front setback of 15' for the non-garage portion of the home. In all

cases the garage portion of the home will meet a 20' front setback providing a minimum 20' driveway. This waiver is consistent with previously approved waivers for similar projects and will allow the townhouse product to be placed on the lots in a manner that continues to provide a full size driveway along with adjacent landscaping and utilities. The reduced front setback allows for a more flexible and creative approach to the design of the townhouse product.

4. The applicant would like to request a waiver from **Section 78-141, Table 10, Rear Setback** to allow a reduction of the rear setback of from 20' to 7' for buildings and screen enclosures. In all cases the rear of the units will face some form of open space which will provide a visual separation between uses. The homes are limited to the design and configurations presented with one option for patio and landscape alternatives. All yards will be maintained by the Master Association.

5. The applicant would like to request a waiver from **Section 78-141, Table 10, Side Setback** to allow the reduction of the required 10' side setback to allow an attached product type. All buildings will have a minimum 15' separation between structures.

6. The applicant would like to request a waiver from **Section 78-154, Table 14, Minimum Planned Development Size** requiring Planned Developments located north of PGA Boulevard and west of the Florida Turnpike to be a minimum of 250 acres. At the time of the creation of this code requirement, the property was not included within the boundaries of the city limits. Most of the land area within this geographic area can meet this requirement. This property has been in this configuration and size prior to the inception of the code provision and at the time of the annexation. Development of this property as a Planned Development provides the City and the abutting resident's assurances that the project will be completed as presented and affords the City the opportunity to impose conditions of approval to protect the existing residents.

7. The applicant would like to request a waiver from **Section 78-186(7)(a), Yards** to waive the perimeter wall height for residential communities from eight (8) feet to allow the construction of a 16' wall adjacent to the Florida Turnpike. The installation of the wall is intended to lessen the visual and noise impacts of the Turnpike. This waiver has been previously permitted for projects that are adjacent the Florida Turnpike and Interstate 95.

8. The applicant would like to request a waiver from **Section 78-345(d)(3), Number of Parking Spaces Required**, to allow an increase in the number of parking spaces provided. The code requires 1 space per bedroom plus 5% for guest parking. The proposed plan requires 161 spaces for the units, 8 guest parking spaces and 2 clubhouse spaces for a total of 171 spaces. The plan provides 4 spaces per unit, 19 guest spaces around the community and 5 guest spaces at the clubhouse for a total of 24 guest parking spaces together with two spaces for the clubhouse for a total of 55 extra spaces. The parking provided exceeds the code requirement for parking by 20

spaces. The additional spaces provided throughout the community will allow convenient access to guest parking spaces for the community as a whole and will provide off-street parking to avoid blocking the roadways. The code limits excess parking to an increase of 20% over the required parking (34 spaces). The proposed waiver exceeds the 20% allowance by 20 spaces.

9. The applicant would like to request a waiver from **Section 78-441(c)**, Platting, to allow permits for vertical construction for Dry Models prior to the plat being recorded. Allowing the issuance of vertical construction permits prior to the approval and recording of the plat for the property allows the commencement of construction while the documents are being processed. There are previous approvals of this waiver included in similar projects. Conditions of approval prohibit the sale of the homes until the plat is recorded, and allow for construction related issues to be resolved prior to the plat being recorded.

Waiver Criteria:

(1) The request is consistent with the city's comprehensive plan.

The proposed waivers are consistent with the provisions of the Land Development Regulations that allow for waivers in a PUD. The proposed waivers are not in violation of the Comprehensive Plan.

(2) The request is consistent with the purpose and intent of this section.

This request is consistent with the provisions of the code that allow waiver requests within a Planned Unit Development district necessary to implement the site plan, based upon the most comparable zoning district.

(3) The request is in support of and furthers the city's goals, objectives, and policies to establish development possessing architectural significance, pedestrian amenities and linkages, employment opportunities, reductions in vehicle trips, and a sense of place.

The approval of the site plan and architectural design of the overall project satisfies the city's goals and objectives for a project with architectural significance, pedestrian amenities and linkages, and a sense of place. Approval of the requested waivers will enhance the proposed development by allowing for the proposed townhome development to reflect traditional design and characteristics of similar Townhome development in the City and allow for adequate parking for the residents and their guests.

(4) The request demonstrates that granting of the waiver will result in a development that exceeds one or more of the minimum requirements for PUDs.

The proposed waivers will allow for the development of the site as townhome community that will provide for residential amenities and adequate parking for the residents and their guests. In that City of Palm Beach Gardens' Land Development Code does not address the development requirements for a Townhome product, it is necessary that the applicant request these waivers in order to provide for a townhome community that is both innovative in its design, and provides exceptional community amenities. The applicant proposes to exceed the open space and landscape requirements for the site by 27 percent in the form of 1.94 acres of preserves, .18 acre park, .32 acre clubhouse area, natural buffers and a lake.

(5) The request for one or more waivers results from innovative design in which other minimum standards are exceeded.

The proposed design of the townhome community allows for an efficient circulation pattern on a uniquely situated parcel of land, allowing for convenient and safe access for the residents, along with a number of amenities that include a 1.47-acre accessible lake, a 480 square foot clubhouse and pool area, a park and a 1.94-acre preserve. The overall design of the site allows the consolidation of open space for the benefit of the community as a whole. The design also allows for the maximum separation between the existing Eastpointe homes and the proposed townhomes. The granting of the waivers will allow the applicant to address the unique site location and access constraints in a creative and innovative design.

(6) The request demonstrates that granting of the waiver will result in preservation of valuable natural resources, including environmentally-sensitive lands, drainage and recharge areas, and coastal areas.

The site design allows for the consolidation of open space and preservation area which will which creates more viable and useful area for the community. The proposed design will improve the quality of the habitat. The design will allow for appropriate drainage and recharge areas, while providing for community usable open space.

(7) The request clearly demonstrates public benefits to be derived, including but not limited to such benefits as no-cost dedication of rights-of-way, extensions of pedestrian linkages outside of the project boundaries, preservation of important natural resources, and use of desirable architectural, building, and site design techniques.

The proposed waivers will provide the residents of the PUD townhome community larger consolidated areas of preserve and lake that can be shared by the community as a whole and allows for the protection of a viable preserve area strategically located maintaining the natural buffer along Hood Road. The proposed development has been able to incorporate the construction of the public sidewalk system into the design of the entrance which will complete the sidewalk route along Hood Road. The consolidation of

open space allows an increase in the separation between the proposed units and the existing Eastpointe residential units.

(8) Sufficient screening and buffering, if required, are provided to screen adjacent uses from adverse impacts caused by a waiver.

The project has been designed to provide buffers and preserves along all perimeter property lines. The proposed sound wall will provide a visual and sound barrier for all adjacent communities. Careful attention has been given to protect and preserve many of the existing trees in the proposed buffers. All adjacent properties that could be affected by the proposed development are residential in nature and will be screened by both existing and proposed buffer and lake areas.

(9) The request is not based solely or predominantly on economic reasons.

The proposed waivers are necessary in that the City of Palm Beach Gardens' Land Development Code does not address the development requirements for a townhome product, or the unique conditions of the site. By granting approval of these waivers the applicant will be able to provide for a townhome community that is innovative in its design while providing residential amenities and exceeding open space and preserve requirements.

(10) The request will be compatible with existing and potential land uses adjacent to the development site.

The proposed development provides a transitional separation between the intense use of the Turnpike and the residential community of Eastpointe. The density proposed is consistent with the densities of the patio home parcels within Eastpointe and the zero lot line parcels in Mirasol.

(11) The request demonstrates the development will be in harmony with the general purpose and intent of this section, and that such waiver or waivers will not be injurious to the area involved or otherwise detrimental to the public health, safety, and welfare.

The proposed waivers are in harmony with the intent of this LDR section as they will allow for unique development design solutions to a unique site, thereby providing for a quality residential community with quality amenities. The granting of these waivers will not be injurious to the area involved or otherwise detrimental to the public health, safety, and welfare, but instead will allow a high quality residential community within the City.

TRAFFIC IMPACT ANALYSIS

HOOD ROAD RESIDENTIAL SITE PALM BEACH GARDENS, FL

PREPARED FOR:
KENNEDY HOMES, LLC

Kimley»»Horn

January 2014
Revised April 2015
Revised November 2015
Revised August 17, 2016
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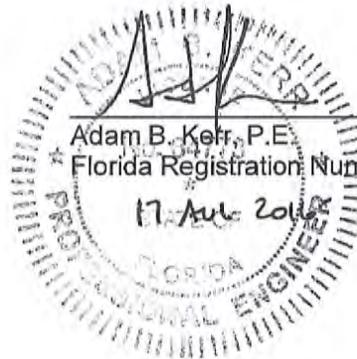
TRAFFIC IMPACT ANALYSIS

**HOOD ROAD RESIDENTIAL SITE
PALM BEACH GARDENS, FL**

Prepared for:
Kennedy Homes, LLC
Delray Beach, FL

Kimley»Horn

January 2014
Revised April 2015
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17 Aug 2016

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INTRODUCTION

It is proposed to develop 50 multi-family residences on the north side of Hood Road, just west of the Florida Turnpike, in the City of Palm Beach Gardens, Florida. The existing property is currently vacant. *Figure 1* illustrates the location of the project site. The parcel control number (PCN) for the project site is 52-42-41-34-00-000-1030.

Access to the project site is provided by a full-access driveway on Hood Road.

Kimley-Horn and Associates, Inc. was retained to prepare a traffic impact analysis to evaluate the impact resulting from buildout of this site by 2019. This document presents the methodology used and the findings of the traffic impact analysis. The analysis was conducted in accordance with the requirements of the current Countywide Traffic Performance Standards Ordinance (TPSO) of Palm Beach County.

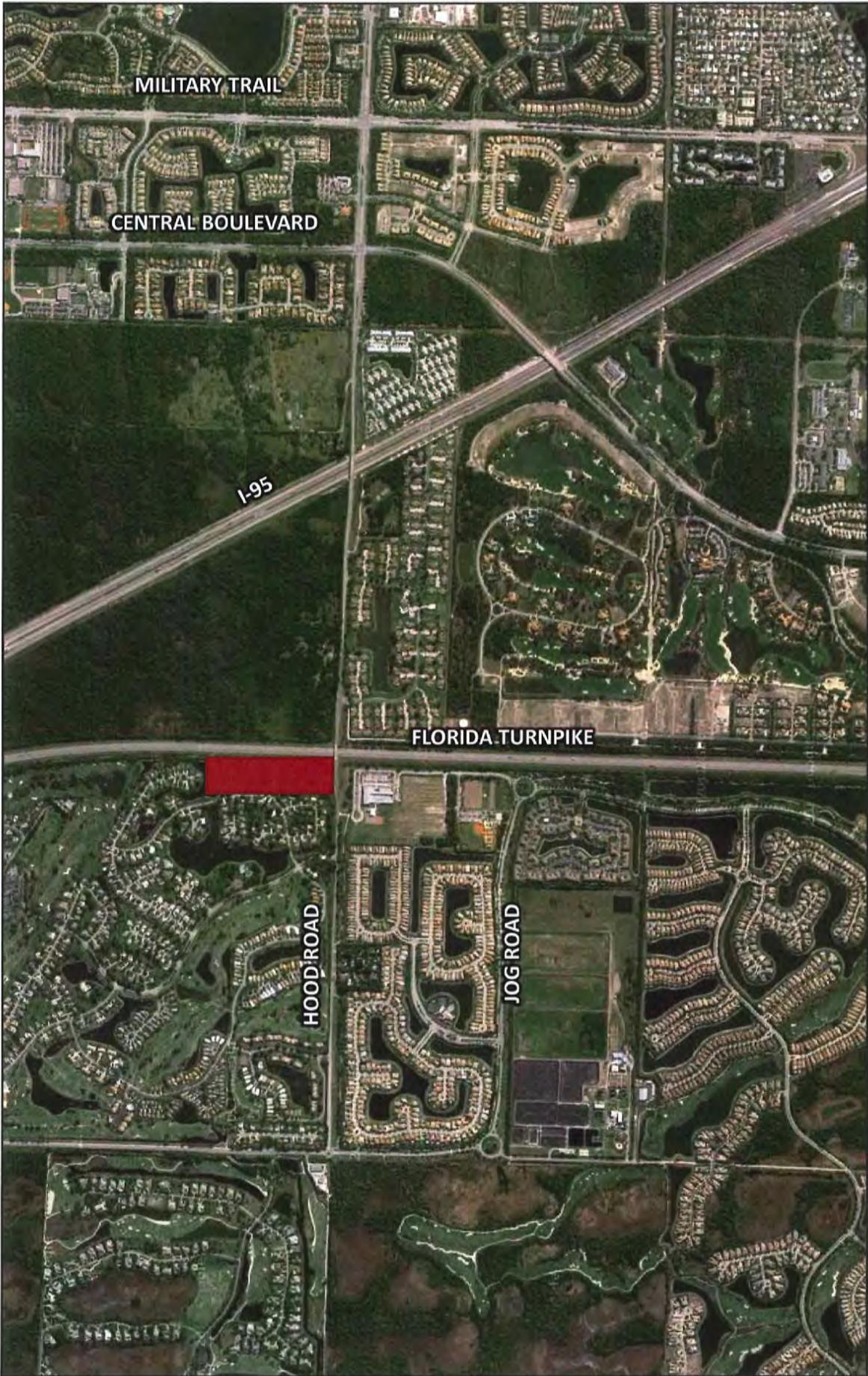


FIGURE 1
SITE LOCATION
HOOD ROAD RESIDENTIAL
Kimley»Horn

LEGEND
SITE



INVENTORY AND PLANNING DATA

Existing peak-hour traffic count data were obtained from Palm Beach County. The count data are provided in Appendix A. Kennedy Homes, LLC provided the project development information.

PROJECT TRAFFIC

Project traffic used in this analysis is defined as the vehicle trips expected to be generated by the project, and the distribution and assignment of that traffic over the study roadway network.

Existing and Proposed Land Uses

The existing site is currently vacant. It is proposed to develop the site with 50 multi-family residences.

Trip Generation

The trip generation potential of the development was calculated based upon the trip generation rates and equations provided by Palm Beach County. As indicated in *Table 1*, the net new trip generation potential of the proposed site is 333 net external daily trips, 30 net new external AM peak hour trips (5 in / 25 out), and 34 net new external PM peak hour trips (23 in / 11 out). Based on the trip generation potential from the proposed development, the maximum radius of development influence is a half mile.

Table 1: Trip Generation

TABLE 1 WEEKDAY TRIP GENERATION HOOD ROAD RESIDENTIAL SITE								
Land Use	Intensity	Daily Trips	AM Peak Hour			PM Peak Hour		
			Total	In	Out	Total	In	Out
Proposed Condo/TH (Fee Simple)	50 units	333	30	5	25	34	23	11
Net New External Trips		333	30	5	25	34	23	11
Trip generation was calculated using the following data: Daily Trip Generation Residential Condominium/Townhouse [ITE 230] = 6.65 trips / dwelling unit AM Peak Hour Trip Generation Residential Condominium/Townhouse [ITE 230] = $\ln(T) = 0.80 \ln(X) + 0.26$; (17% in / 83% out) PM Peak Hour Trip Generation Residential Condominium/Townhouse [ITE 230] = $\ln(T) = 0.82 \ln(X) + 0.32$; (67% in / 33% out)								

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Traffic Distribution

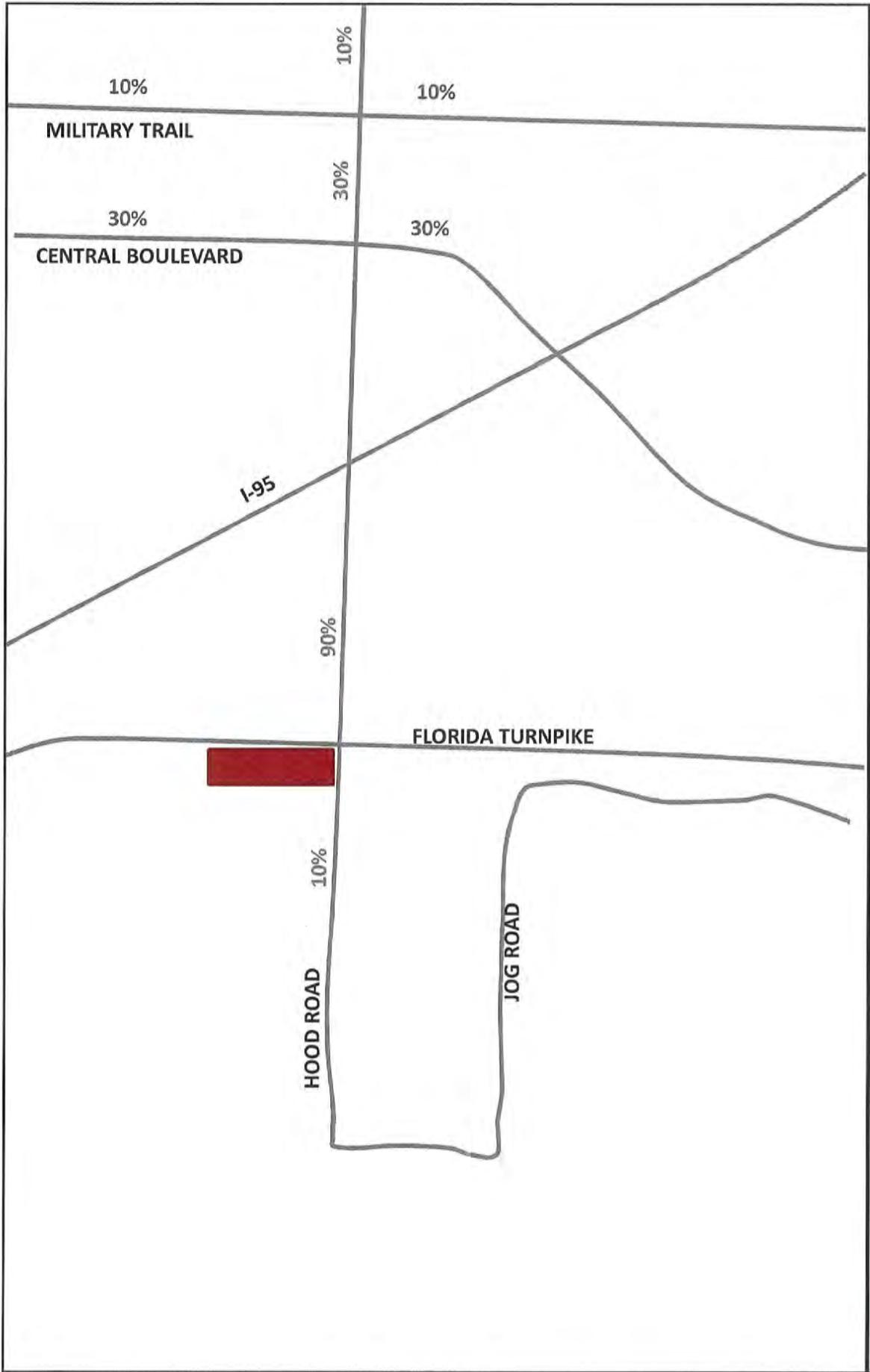
Traffic distribution is the pairing of trip ends from the subject site with other land uses in the area. These trips were assigned to the surrounding roadways based upon a review of the roadway network proposed to be in place at the time of buildout and its travel time characteristics.

The distribution according to cardinal directions is:

EAST	-	90 percent
WEST	-	10 percent

Traffic Assignment

The AM and PM peak hour trips for the project were assigned to the surrounding roadway network proposed to be in place by 2019. *Figure 2* illustrates the project traffic assignment to the surrounding roadway network.



LEGEND

- SITE
- PROJECT TRIP ASSIGNMENT

FIGURE 2
TRIP ASSIGNMENT
HOOD ROAD RESIDENTIAL
Kimley»Horn

ROADWAY IMPROVEMENTS

A review was conducted of the Five-Year Plans of Palm Beach County and FDOT, as well as those improvements committed by the developers of projects in the area. Based on the review, the following committed improvements were identified within the project's impact radius:

- Hood Road, East of Florida's Turnpike to West of Central Boulevard (1.2 miles, 4 lanes)
- Hood Road & Central Boulevard, modifying both the north and south approaches to be: 2 left-turn lanes, 2 through lanes, 1 right-turn lane

TEST 1 SIGNIFICANCE ANALYSIS

An analysis was undertaken on all of the links included in the Palm Beach County Thoroughfare Map within the 0.5-mile radius of development influence to determine which roadway links would be significantly impacted under Test 1 criteria. The new external project traffic was assigned to all the thoroughfare roadway links within the radius of development influence. Per Palm Beach County standards, all the links on which the project traffic impact is greater than 1% of the level of service (LOS) D generalized service volume are considered significantly impacted links.

As indicated in *Table 2*, the following roadway segments are significantly impacted during the AM and PM peak hour conditions under Test 1 criteria:

AM PEAK HOUR

- Hood Road, Project Driveway to Central Boulevard, Eastbound

PM PEAK HOUR

- Hood Road, Project Driveway to Central Boulevard, Eastbound and Westbound

Therefore, the identified significantly impacted roadway segments during the AM & PM peak hours require peak hour Test 1 Roadway Analysis.

Table 2: Test 1 - Significance (AM Peak Hour & PM Peak Hour)

TABLE 2 TEST 1 SIGNIFICANCE ANALYSIS HOOD ROAD RESIDENTIAL SITE																
ROADWAY SEGMENT	COMMITTED NUMBER OF LANES	FACILITY TYPE	LOS D GEN. SVC. VOLUME	% ASSIGNMENT	NB/EB IN/OUT	PROJECT TRIPS						SIGNIFICANCE				
						AM PEAK HOUR			PM PEAK HOUR			AM PEAK HOUR		PM PEAK HOUR		
						TRIPS	% IMPACT	Sig?	TRIPS	% IMPACT	Sig?	TRIPS	% IMPACT	Sig?	TRIPS	% IMPACT
NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB			
Hood Road Jog Road Project Driveway Central Boulevard	2L	Class I	880	10%	1	3	0.11%	No	0.34%	No	2	1	0.23%	No	0.11%	No
	2L	Class I	880	90%	0	5	2.61%	Yes	0.57%	No	10	21	1.14%	Yes	2.39%	Yes

TEST 1 LEVEL OF SERVICE D ANALYSIS

As determined in the previous section, Hood Road between the project driveway and Central Boulevard is significantly impacted during the AM peak and PM peak hour conditions and therefore requires further analysis. Intersection analyses are also required at the first significantly impacted major intersection in either direction from the site access point.

Intersection Analysis

AM and PM peak hour critical movement analysis was performed for the intersections nearest to the point at which the project's traffic enters the project access link and the project traffic entering and exiting the intersection is significant. The nearest major significantly impacted intersection is Hood Road & Central Boulevard.

This intersection meets the CMA guidelines for analysis during the AM and PM peak hours with the existing lane configuration. *Table 3* summarizes the critical movement analysis for this intersection.

Table 3: Critical Movement Analysis Summary

CRITICAL MOVEMENT AND HCS ANALYSIS SUMMARY		
Intersection	Time Period	Critical Sum
Hood Road & Central Boulevard	AM Peak Hour	1,255
	PM Peak Hour	1,223

The detailed worksheets presenting the analysis are provided in Appendix C.

Roadway Link Analysis

The future traffic volume on each roadway segment was analyzed in comparison to its level of service D service volume. *Table 4* details these calculations for the AM and PM peak hours. As seen in *Table 4*, the following significantly impacted roadway segments are not projected to meet the generalized standards:

AM PEAK HOUR

- Hood Road, Project Driveway to Central Boulevard, Eastbound

Table 4: Test 1 - Directional Capacity Analysis (AM Peak Hour and PM Peak Hour)

TEST 1 CAPACITY ANALYSIS HOOD ROAD RESIDENTIAL SITE																
Roadway	From	To	Existing		Direction	Significantly Impacted?	Year 2016 Traffic Volume	Committed Traffic - Option #1		Committed Traffic - Option #2			Utilized (Maximum) Committed Traffic	Project Traffic	2019 Total Traffic	Meets Standard ??
			Lanes	LOS D Facility Type				Committed Traffic (from TFS)	1.0% Traffic Growth	Committed plus 1.0% Growth	Historic Growth Rate (from TFS)	Max. Historic Growth or 0.50%				
Hood Road	Project Driveway	Central Boulevard	2L	Class I	EB	Yes	851	480	26	506	10.25%	10.25%	289	23	1380	No
			2L	Class I	WB	No	-	-	-	-	-	-	-	-	-	-
Hood Road	Project Driveway	Central Boulevard	2L	Class I	EB	Yes	408	320	12	332	10.25%	10.25%	139	10	750	Yes
			2L	Class I	WB	Yes	520	357	16	373	10.25%	10.25%	177	21	914	No

Because the roadway segment of Hood Road between the project driveway and Central Boulevard is expected to exceed the generalized LOS D service volume threshold in the eastbound direction during the AM peak hour, an HCS Arterial Analysis was performed in the eastbound direction to determine if the arterial speed would meet LOS D speed thresholds for an Urban Class II facility as defined in the Palm Beach County Unified Land Development Code.

Based on the Highway Capacity Manual and Palm Beach County guidelines, an arterial analysis should be performed for an arterial that is two miles long or greater. The distance between Jog Road and Military Trail is approximately 2.49 miles.

The arterial analysis was performed for the eastbound buildout AM peak hour. Buildout volumes at the intersections were determined by combining the future year volumes provided in the Palm Beach County TPS database with project traffic. The volume and signal timing information was utilized for the HCS Signalized Intersection analyses, which were used as a basis for the arterial analysis. The volume development worksheets, signal timing worksheets, and HCS Signalized Intersection reports are provided in Appendices C and D.

Intersections within the arterial limits were required to be analyzed using HCM methodology. Based on the analysis, Hood Road from Jog Road to Military Trail is expected to have an arterial speed of 18.7 miles per hour during the AM peak hour, which meets the LOS D threshold. Therefore, Hood Road from Jog Road to Military Trail meets Part 2 of Test 1. The HCS arterial analysis is provided in Appendix D.

TEST 2 SIGNIFICANCE ANALYSES

An analysis was undertaken on all of the links included in the Palm Beach County Thoroughfare Map within the 0.5-mile radius of development influence to determine the roadway links that are significantly impacted under Test 2 criteria. The net new external project traffic was assigned to all the thoroughfare roadway links within the radius of development influence. Per Palm Beach County standards, all the links on which the project traffic impact is greater than 3% of the level of service (LOS) E generalized service volume are considered significantly impacted links. As shown in Table 5, none of the links are significantly impacted by Test 2 standards.

Table 5: Test 2 - Significance (AM Peak Hour & PM Peak Hour)

TABLE 5 TEST 2 SIGNIFICANCE ANALYSIS HOOD ROAD RESIDENTIAL SITE														
ROADWAY SEGMENT	COMMITTED NUMBER OF LANES	FACILITY TYPE	LOS E GEN. SVC. VOLUME	% ASSIGNMENT	AM PEAK HOUR				PM PEAK HOUR					
					TRIPS		% IMPACT		TRIPS		% IMPACT			
					NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB	NB/EB	SB/WB		
Hood Road	2L	Class I	880	10%	1	3	0.11%	No	2	1	0.23%	No	0.11%	No
					23	5	2.61%	No	10	21	1.14%	No	2.39%	No
Project Driveway	2L	Class I	880	90%	0	5	0.57%	No	21	21	1.14%	No	2.39%	No

VEHICLE CIRCULATION AND QUEUING

Vehicular Circulation

Access to the project site is provided by one full-access driveway on Hood Road.

Driveway Classification

According to the Palm Beach County "Guide to Parking Lot and Street Access Design Criteria and Standards", it is necessary to classify project entrances as minor, intermediate, or major according to the two-way hourly volumes.

1. Minor – Services a maximum daily volume of 500 vehicles.
2. Intermediate - Services a maximum daily volume of 2000 vehicles.
3. Major - Services a maximum daily volume of more than 2000 vehicles.

Using these criteria, the site's driveway is classified as minor. *Figure 3* illustrates the location and proposed volumes for the site's driveway.

Turn Lane Requirements

The Palm Beach County "Guide to Parking Lot and Street Access Design Criteria and Standards" provides guidance on the provision of turn lanes at site driveways. According to the standards noted in this document, the volume thresholds for providing exclusive turn lanes are as follows:

- Right-turn Lane – 75 peak hour right turns, with driveway volumes that exceed 1,000 trips per day, and average daily traffic volumes that exceed 10,000 vehicles per day.
- Left-turn Lane – 30 peak hour left turns

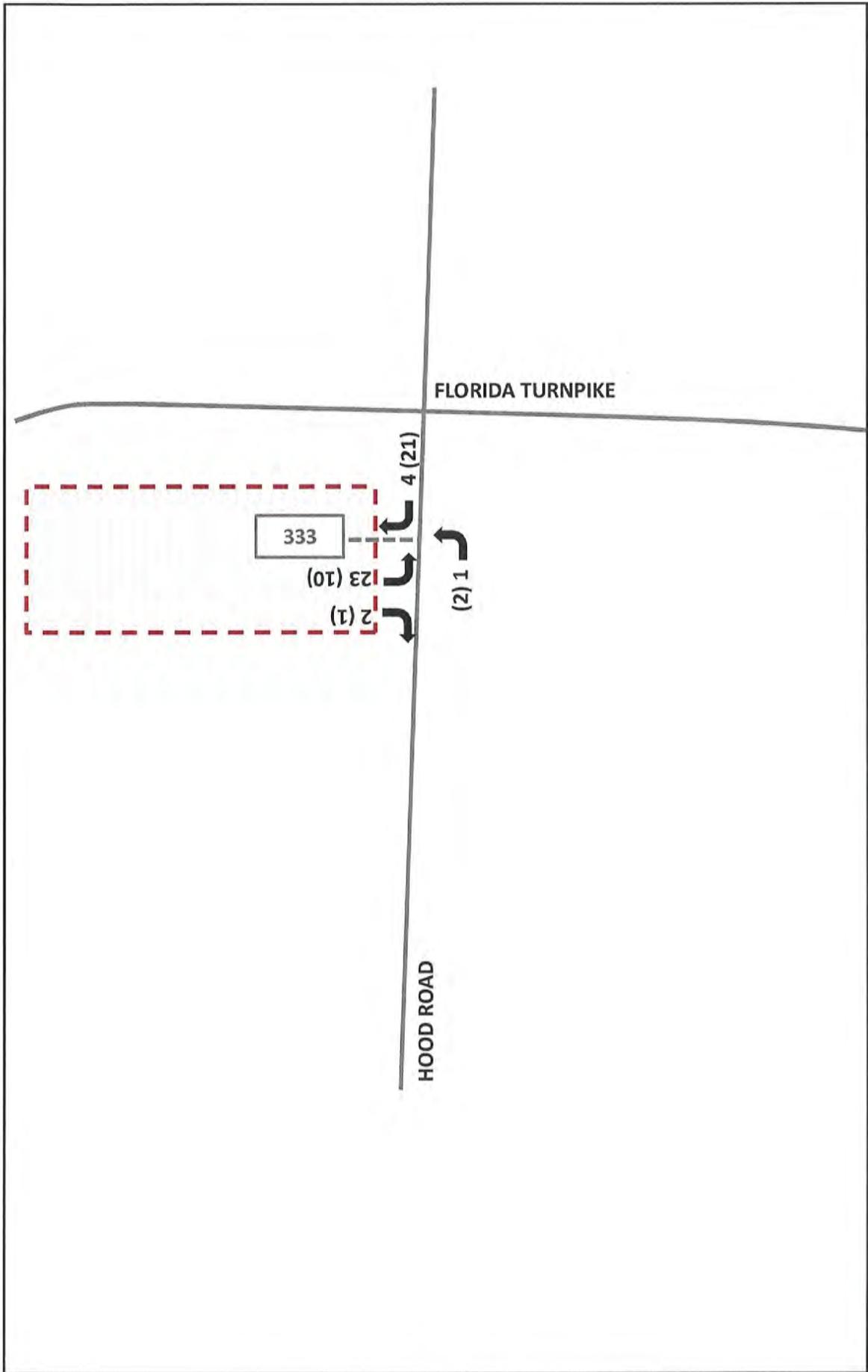
Figure 3 illustrates the AM peak hour and PM peak hour project trips assigned to the project's access locations. As indicated in *Figure 3*, the projected turning movement volumes do not exceed the specified volume thresholds; however, an inbound right-turn lane is proposed at the site's driveway. This turn lane is shown on the site plan provided in *Appendix E*.



LEGEND

-  SITE
-  AM PEAK VOLUMES
-  PM PEAK VOLUMES
-  DAILY VOLUMES

FIGURE 3
DRIVEWAY VOLUMES
HOOD ROAD RESIDENTIAL
Kimley»Horn



CONCLUSION

It is proposed to develop 50 multi-family residences on the north side of Hood Road, just west of Florida's Turnpike in the City of Palm Beach Gardens, Florida. Based on the analysis, the proposed development is expected to significantly impact Hood Road from the project driveway to Central Boulevard during the AM and PM peak hours; however based on the arterial analysis; this corridor is expected to operate acceptably through buildout in 2019 with the assured future lane configuration at the intersection of Central Boulevard & Hood Road.

APPENDIX A: TPS DATABASE INFORMATION

STA ROAD	FROM	TO	LANES	LOS	DAILY TRAFFIC VOLUMES					2016 DAILY			2016 AM PEAK HOUR		2016 PM PEAK HOUR			
					2011	2012	2013	2014	2015	DATE	VOL	GR	2-WAY	NB/EB	SB/WB	2-WAY	NB/EB	SB/WB
3202 HAVERHILL RD	45th St	Beeline Hwy	2	880	14655	12707	13335	12419	14643	2/3/2016	15078	4.18%	1152	592	586	1333	565	785
4648 HIGH RIDGE RD	Gateway Blvd	Hypoluxo Rd	2	880	6494	6529	6335	6325	6527	2/10/2016	7125	4.00%	880	402	488	733	426	310
2307 HOLLY DR	Military Tr	SR 811	2	880	6554	5848	6572	6535	6539	2/23/2016	7205	3.11%	860	357	503	657	345	346
2105 HOOD RD	Jog Road	Central Blvd	2	1140	7906	7427	7751	8428	10325	2/10/2016	10388	10.25%	1530	851	679	928	408	520
2611 HOOD RD	Central Blvd	Military Tr	4D	1770	10520	10409	10676	12043	14060	2/10/2016	15598	13.47%	1993	1002	991	1462	655	837
2213 HOOD RD	Military Tr	SR 811	4D	1960	13757	13898	14255	15373	16490	2/10/2016	17622	7.32%	1523	876	680	1698	937	986
2613 HOOD RD	SR-811	Prosperity Farms Rd	2	880	5855	5306	5512	5939	6477	2/10/2016	6598	6.18%	502	231	315	588	326	289
7041 HOOKER HWY	SR 715	SR 80	2	880	6502	4628	4677	4461	4461	3/2/2016	4547		403	156	247	338	158	189
4411 HYPOLUXO RD	SR-7	Lyons Rd	4D	1960	7848	8768	9276	9741	9710	2/1/2016	10447	4.04%	940	413	588	986	640	370
4683 HYPOLUXO RD	Lyons Rd	Fl Turnpike	4D	1960	13998	14385	15248	16484	16237	2/1/2016	18212	6.10%	1507	616	915	1649	990	675
4685 HYPOLUXO RD	Fl Turnpike	Hagen Ranch Rd	4D	1960	20563	20525	21075	23292	22673	2/1/2016	24396	5.00%	2078	1226	898	2231	1068	1202
4671 HYPOLUXO RD	Hagen Ranch Rd	Jog Rd	4D	1960	21263	22547	23608	24704	24215	2/8/2016	25069	2.02%	2269	1313	971	2272	1100	1191
4629 HYPOLUXO RD	Jog Rd	Haverhill Rd	6D	2940	23922	26501	27476	28979	30344	2/1/2016	31104	4.22%	2690	1406	1327	2791	1334	1457
4681 HYPOLUXO RD	Haverhill Rd	Military Tr	6D	2940	32482	33129	35378	35757	37516	2/1/2016	37469	1.93%	3048	1996	1113	3336	1505	1890
4607 HYPOLUXO RD	Military Tr	Lawrence Rd	6D	2940	38274	39743	39679	40357	42197	2/1/2016	44297	3.74%	3530	1997	1554	3756	1791	2036
4621 HYPOLUXO RD	Lawrence Rd	Congress Ave	6D	2680	38060	35898	36229	38204	41057	2/22/2016	40596	3.87%	2939	1871	1153	3566	1491	2075
4211 HYPOLUXO RD	Congress Ave	I-95	6D	2940	38228	40619	40517	39543	44434	2/10/2016	45552	3.98%	3648	2412	1236	3757	1548	2336
4313 HYPOLUXO RD	I-95	Seacrest Blvd	5	1770	32547	32336	31273	32151	34579	2/10/2016	36104	4.90%	2415	1202	1332	2940	1517	1435
4809 HYPOLUXO RD	Seacrest Blvd	Dixie Hwy	5	1770	15933	15913	13959	15281	17130	2/10/2016	16884	6.55%	1004	489	530	1440	708	773
1605 INDIAN CREEK BLVD	Central Blvd	Military Tr	4D	1960	11880	12162	11887	12136	12329	2/2/2016	12993	3.01%	1144	779	361	1181	534	670
1615 INDIAN CREEK BLVD	Toney Penna Dr	Maplewood Dr	4D	1960	20605	16809	20153	16160	17785	2/2/2016	19809	-0.57%	1695	950	745	2105	835	1275

SIGNAL_ID	E-W STREET	N-S STREET	DATE	TIME	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	TOTAL
26054	Hank Aaron Dr	Congress Ave	5/29/2014	4:45 PM	0	29	380	117	0	4	475	52	0	22	1	24	0	182	11	4	1301
26054	Hank Aaron Dr	Congress Ave	9/22/2011	7:45 AM	0	5	330	157	0	6	254	10	0	12	10	34	0	100	2	4	924
26054	Hank Aaron Dr	Congress Ave	9/22/2011	4:45 PM	0	29	311	141	0	9	395	25	0	16	3	11	0	168	17	2	1127
21305	Hill Ave	Australian Ave	3/26/2015	7:30 AM	0	44	571	0	0	0	610	42	0	47	0	13	0	0	0	0	1327
21305	Hill Ave	Australian Ave	3/26/2015	4:30 PM	0	15	874	0	0	0	736	40	0	82	3	29	0	0	0	0	1779
21305	Hill Ave	Australian Ave	10/24/2012	7:45 AM	0	49	477	0	0	0	531	49	0	46	0	22	0	0	0	0	1174
21305	Hill Ave	Australian Ave	10/24/2012	4:15 PM	2	40	592	0	1	0	475	29	0	59	1	42	0	0	0	1	1242
21305	Hill Ave	Australian Ave	9/21/2010	7:30 AM	2	53	589	0	0	0	693	49	0	27	0	21	0	0	0	0	1434
21305	Hill Ave	Australian Ave	9/21/2010	4:45 PM	0	21	875	0	0	0	674	26	0	76	0	52	0	0	0	0	1724
16050	Holly Dr	Military Tr	5/4/2015	7:15 AM	1	10	1469	239	5	126	890	24	0	39	8	22	18	320	4	276	3451
16050	Holly Dr	Military Tr	5/4/2015	4:45 PM	1	23	1283	147	6	86	1625	22	0	27	10	19	1	156	6	74	3486
16050	Holly Dr	Military Tr	11/20/2013	7:00 AM	2	12	1440	289	5	84	740	19	0	41	11	23	19	342	11	277	3315
16050	Holly Dr	Military Tr	11/20/2013	4:45 PM	1	22	1378	176	5	91	1437	56	0	31	7	11	5	180	12	105	3517
16050	Holly Dr	Military Tr	4/12/2011	7:15 AM	2	14	1439	104	11	70	950	22	0	42	2	24	17	241	7	230	3175
16050	Holly Dr	Military Tr	4/12/2011	4:45 PM	2	28	1528	117	5	114	1530	39	0	45	5	17	2	90	5	81	3608
11480	Hood Rd	Alt A1A/SR 811	10/7/2014	7:15 AM	5	289	761	30	0	13	1429	57	1	138	91	479	0	142	155	27	3617
11480	Hood Rd	Alt A1A/SR 811	10/7/2014	4:30 PM	11	356	1166	87	0	24	1092	121	0	98	118	446	0	57	121	25	3722
11480	Hood Rd	Alt A1A/SR 811	9/24/2012	7:45 AM	5	169	766	69	0	19	1240	43	1	96	99	448	0	105	96	30	3186
11480	Hood Rd	Alt A1A/SR 811	9/24/2012	5:00 PM	7	389	1115	75	0	27	1058	87	0	63	115	349	0	54	86	24	3449
11480	Hood Rd	Alt A1A/SR 811	5/13/2010	7:30 AM	4	205	962	33	3	35	1257	38	0	71	91	343	0	113	121	18	3294
11480	Hood Rd	Alt A1A/SR 811	1/12/2010	7:30 AM	5	200	998	18	5	31	1329	27	3	78	56	262	0	149	127	27	3315
11480	Hood Rd	Alt A1A/SR 811	1/12/2010	4:45 PM	2	488	1263	47	0	57	1033	79	0	52	97	269	0	131	82	20	3620
11480	Hood Rd	Alt A1A/SR 811	5/13/2010	5:00 PM	11	319	1343	55	0	39	971	40	1	52	75	256	0	54	56	20	3292
11470	Hood Rd	Central Bl	4/13/2015	7:30 AM	2	139	418	96	0	146	497	191	0	207	602	150	2	134	404	64	3052
11470	Hood Rd	Central Bl	4/13/2015	3:45 PM	1	105	400	109	3	122	394	124	0	174	435	153	7	140	350	125	2642
11470	Hood Rd	Central Bl	2/3/2014	7:15 AM	0	64	370	115	0	141	423	57	1	107	343	93	4	160	210	82	2170
11470	Hood Rd	Central Bl	2/3/2014	4:30 PM	1	84	386	78	0	114	395	89	1	70	207	81	4	136	272	97	2015
11470	Hood Rd	Central Bl	1/24/2013	7:15 AM	0	39	332	75	1	153	393	53	1	108	303	80	4	116	172	49	1879
11470	Hood Rd	Central Bl	1/24/2013	4:45 PM	0	52	372	61	0	124	369	74	0	62	201	39	1	87	279	98	1819
11470	Hood Rd	Central Bl	10/23/2012	7:15 AM	3	51	304	97	0	132	439	52	0	117	345	78	0	142	211	78	2049
11470	Hood Rd	Central Bl	10/23/2012	4:45 PM	0	68	441	58	0	143	368	84	0	63	199	43	0	97	275	88	1927
11470	Hood Rd	Central Bl	2/3/2011	7:15 AM	0	48	341	101	1	183	438	72	0	125	311	97	2	163	171	72	2125
11470	Hood Rd	Central Bl	2/3/2011	5:00 PM	0	61	449	73	0	135	420	100	0	79	208	45	5	111	278	106	2070

SIGNAL_ID	E-W STREET	N-S STREET	DATE	TIME	NBU	NBL	NBT	NBR	SBU	SBL	SBT	SBR	EBU	EBL	EBT	EBR	WBU	WBL	WBT	WBR	TOTAL
11470	Hood Rd	Central Bl	5/11/2010	7:30 AM	0	58	361	55	1	202	457	60	0	129	311	86	1	92	202	75	2090
11470	Hood Rd	Central Bl	1/12/2010	7:30 AM	0	53	388	67	0	180	448	153	0	184	319	79	2	124	193	78	2268
11470	Hood Rd	Central Bl	5/11/2010	5:00 PM	0	60	381	59	2	86	344	124	0	86	197	54	1	71	220	102	1787
11470	Hood Rd	Central Bl	1/12/2010	5:00 PM	0	71	435	54	0	108	447	164	0	139	214	48	6	81	240	98	2105
11475	Hood Rd	Military Tr	5/4/2015	7:30 AM	1	180	685	133	2	218	837	110	0	133	417	251	0	44	306	164	3481
11475	Hood Rd	Military Tr	5/4/2015	2:45 PM	0	125	624	146	0	270	842	124	1	94	323	115	3	93	305	135	3200
11475	Hood Rd	Military Tr	12/12/2013	7:30 AM	0	84	712	174	1	185	799	131	0	133	475	162	3	66	236	207	3368
11475	Hood Rd	Military Tr	12/12/2013	4:45 PM	0	119	686	126	1	185	901	91	0	61	284	100	3	154	345	256	3312
11475	Hood Rd	Military Tr	11/2/2011	7:15 AM	0	63	674	124	1	246	871	126	1	114	385	133	0	68	277	209	3292
11475	Hood Rd	Military Tr	11/2/2011	4:45 PM	2	100	807	60	2	185	827	92	0	25	319	52	7	156	363	202	3199
11500	Hood Rd/Flamingo Rd	Prosperity Farms Rd	1/12/2010	7:30 AM	2	60	225	11	0	4	310	67	0	29	3	71	0	11	9	3	805
11500	Hood Rd/Flamingo Rd	Prosperity Farms Rd	1/12/2010	5:00 PM	0	60	456	16	0	8	322	38	0	46	8	58	0	6	4	11	1033
41700	Hypoluxo Rd	Congress Ave	8/25/2015	7:30 AM	25	307	656	373	7	273	544	144	13	246	1476	222	4	120	629	174	5213
41700	Hypoluxo Rd	Congress Ave	8/25/2015	5:00 PM	46	304	731	187	14	275	709	114	41	187	920	206	3	257	1528	176	5698
41700	Hypoluxo Rd	Congress Ave	2/10/2014	7:15 AM	24	303	589	305	3	280	539	165	25	222	1389	252	4	103	539	105	4847
41700	Hypoluxo Rd	Congress Ave	2/10/2014	4:45 PM	68	419	834	182	15	285	659	186	41	152	881	176	14	304	1439	185	5840
41700	Hypoluxo Rd	Congress Ave	12/19/2012	7:15 AM	30	290	443	310	5	296	502	150	27	152	1399	228	2	88	635	120	4677
41700	Hypoluxo Rd	Congress Ave	12/19/2012	4:45 PM	57	316	674	219	15	225	651	184	73	200	855	242	6	244	1223	199	5383
41700	Hypoluxo Rd	Congress Ave	3/15/2012	7:30 AM	18	260	503	262	4	233	631	159	33	195	1446	297	2	357	686	121	5207
41700	Hypoluxo Rd	Congress Ave	3/15/2012	5:00 PM	29	311	747	227	17	163	688	181	100	234	902	244	11	299	1329	151	5633
41700	Hypoluxo Rd	Congress Ave	11/9/2010	7:30 AM	16	255	514	287	10	261	504	127	36	200	1374	180	7	96	569	146	4582
41700	Hypoluxo Rd	Congress Ave	11/9/2010	5:00 PM	30	326	651	118	8	177	738	149	61	220	779	154	7	275	1246	150	5089
41800	Hypoluxo Rd	Federal Hwy/US 1	5/12/2015	7:45 AM	8	251	297	1	0	6	408	189	0	230	11	153	0	5	18	4	1581
41800	Hypoluxo Rd	Federal Hwy/US 1	5/12/2015	4:45 PM	10	287	503	4	2	6	452	280	0	253	21	202	0	4	10	5	2039
41800	Hypoluxo Rd	Federal Hwy/US 1	12/4/2012	7:30 AM	7	210	257	8	0	3	370	137	0	138	5	152	0	7	17	10	1321
41800	Hypoluxo Rd	Federal Hwy/US 1	12/4/2012	5:00 PM	9	269	423	11	0	11	365	221	1	194	22	213	0	4	18	8	1769
41800	Hypoluxo Rd	Federal Hwy/US 1	9/7/2010	7:45 AM	12	194	237	3	1	2	359	171	0	182	8	250	0	7	12	6	1444
41800	Hypoluxo Rd	Federal Hwy/US 1	9/7/2010	5:00 PM	8	197	356	7	0	9	342	263	0	218	10	157	0	3	8	4	1582
41630	Hypoluxo Rd	Hagen Ranch Rd	4/23/2015	7:00 AM	0	146	99	225	0	218	212	71	0	68	855	372	104	108	678	90	3246
41630	Hypoluxo Rd	Hagen Ranch Rd	4/23/2015	4:45 PM	0	196	274	213	0	74	152	45	0	63	757	139	1	73	1164	193	3344
41630	Hypoluxo Rd	Hagen Ranch Rd	11/29/2012	7:00 AM	1	107	77	228	0	231	261	15	1	40	820	288	128	77	578	61	2913
41630	Hypoluxo Rd	Hagen Ranch Rd	11/29/2012	5:00 PM	0	225	184	182	0	85	142	48	0	37	678	154	1	74	811	169	2790
41630	Hypoluxo Rd	Hagen Ranch Rd	11/8/2010	7:15 AM	0	125	106	236	1	198	153	46	0	58	704	176	66	98	381	81	2429

Input Data

ROAD NAME: Hood Rd	STATION: 2105	Report Created: 08/17/2016
CURRENT YEAR: 2015	FROM: Jog Rd	
ANALYSIS YEAR: 2019	TO: MIDPOINT	
GROWTH RATE: 11.61%	COUNT DATE: 2/11/2015	
	PSF: 1	

Link Analysis

Time Period Direction	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	1443	853	590	872	433	513
Peak Volume	1443	853	590	872	433	513
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	1443	853	590	872	433	513

Committed Developments							Type	% Complete
Frenchman's Reserve	0	0	0	1	0	0	Res	85%
Old Palm Golf Club	1	0	1	2	1	1	Res	45%
Parcel 4.03/4.06	0	0	0	0	0	0	Res	100%
Central Gardens	7	3	4	14	7	7	NR	50%
Paloma	3	1	2	4	2	1	Res	75%
Regional Center DRI	0	0	0	1	0	0	NR	97%
Legend at the Gardens	0	0	0	0	0	0	NR	100%
Palm Beach Community Church	1	0	0	1	1	1	NR	90%
Donald Ross Village	4	2	2	8	4	4	NR	80%
Southampton	0	0	0	0	0	0	Res	80%
Hood Road Residential	1	0	1	1	1	0	Res	50%
The Pointe	0	0	0	0	0	0	NR	100%
Parcel 5A	12	10	2	11	2	9	NR	0%
Mirasol	2	1	1	2	1	1	Res	95%
Cimarron Cove	32	18	14	50	23	27	NR	0%
Frenchman's Crossing	0	0	0	0	0	0	NR	100%
FAU Jupiter	27	22	5	26	5	21	NR	20%
Briger West	14	3	10	23	14	9	Res	0%
Briger East	31	22	8	35	11	24	NR	0%
Jewish Community Center	35	19	15	10	4	6	NR	50%
Franklin Academy PBG	24	13	11	5	2	3	NR	80%
Avenir	1	0	0	1	1	1	Res	0%
Total Committed Developments	195	114	76	195	79	115		
Total Committed Residential	22	5	15	34	20	13		
Total Committed Non-Residential	173	109	61	161	59	102		
Double Count Reduction	6	1	4	9	5	3		
Total Discounted Committed Developments	189	113	72	186	74	112		
Historical Growth	796	470	325	481	239	283		
Comm Dev+1% Growth	248	148	96	221	92	133		
Growth Volume Used	796	470	325	481	239	283		
Total Volume	2239	1323	915	1353	672	796		

Lanes	2L					
LOS D Capacity	1480	1140	1140	1480	1140	1140
Link Meets Test 1?	NO	NO	YES	YES	YES	YES
LOS E Capacity	1570	1440	1440	1570	1440	1440
Link Meets Test 2?	NO	YES	YES	YES	YES	YES

Input Data

ROAD NAME: Hood Rd
 CURRENT YEAR: 2015
 ANALYSIS YEAR: 2019
 GROWTH RATE: 11.61%

STATION: 2105
 FROM: MIDPOINT
 TO: Parkside Dr
 COUNT DATE: 2/11/2015
 PSF: 1

Report Created: 08/17/2016

Link Analysis

Time Period Direction	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	1443	853	590	872	433	513
Peak Volume	1443	853	590	872	433	513
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	1443	853	590	872	433	513

Committed Developments							Type	% Complete
Frenchman's Reserve	0	0	0	1	0	0	Res	85%
Old Palm Golf Club	1	0	1	2	1	1	Res	45%
Parcel 4.03/4.06	0	0	0	0	0	0	Res	100%
Central Gardens	7	3	4	14	7	7	NR	50%
Paloma	3	1	2	4	2	1	Res	75%
Regional Center DRI	0	0	0	1	0	0	NR	97%
Legend at the Gardens	0	0	0	0	0	0	NR	100%
Palm Beach Community Church	1	0	0	1	1	1	NR	90%
Donald Ross Village	4	2	2	8	4	4	NR	80%
Southampton	0	0	0	0	0	0	Res	80%
Hood Road Residential	19	16	3	23	8	15	Res	50%
The Pointe	0	0	0	0	0	0	NR	100%
Parcel 5A	12	10	2	11	2	9	NR	0%
Mirasol	2	1	1	2	1	1	Res	95%
Cimarron Cove	32	18	14	50	23	27	NR	0%
Frenchman's Crossing	0	0	0	0	0	0	NR	100%
FAU Jupiter	27	22	5	26	5	21	NR	20%
Briger West	122	94	28	205	83	123	Res	0%
Briger East	31	22	8	35	11	24	NR	0%
Jewish Community Center	463	206	258	133	79	55	NR	50%
Franklin Academy PBG	217	98	119	46	24	22	NR	80%
Avenir	1	0	0	1	1	1	Res	0%
Total Committed Developments	942	493	447	563	252	312		
Total Committed Residential	148	112	35	238	96	142		
Total Committed Non-Residential	794	381	412	325	156	170		
Double Count Reduction	37	28	9	60	24	34		

22 EASTBOUND LEFT
 AND 8 SOUTHBOUND
 RIGHT AT PARKSIDE
 INTERSECTION.

COMMITTED DATA USED IN LINK TABLES

Total Discounted Committed Developments	905	465	438	503	228	278
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Historical Growth	796	470	325	481	239	283
Comm Dev+1% Growth	964	500	462	538	246	299
Growth Volume Used	964	500	462	538	246	299
Total Volume	2407	1353	1052	1410	679	812

Lanes	2L					
LOS D Capacity	1480	1140	1140	1480	1140	1140
Link Meets Test 1?	NO	NO	YES	YES	YES	YES
LOS E Capacity	1570	1440	1440	1570	1440	1440
Link Meets Test 2?	NO	YES	YES	YES	YES	YES

Input Data

ROAD NAME: Hood Rd	STATION: 2105	Report Created: 08/17/2016
CURRENT YEAR: 2015	FROM: Midpoint	
ANALYSIS YEAR: 2019	TO: Central Blvd	
GROWTH RATE: 11.61%	COUNT DATE: 2/11/2015	
	PSF: 1	

Link Analysis

Time Period Direction	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	1443	853	590	872	433	513
Peak Volume	1443	853	590	872	433	513
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	1443	853	590	872	433	513

Committed Developments							Type	% Complete
Frenchman's Reserve	0	0	0	1	0	0	Res	85%
Old Palm Golf Club	1	0	1	2	1	1	Res	45%
Parcel 4.03/4.06	0	0	0	0	0	0	Res	100%
Central Gardens	7	3	4	14	7	7	NR	50%
Paloma	3	1	2	4	2	1	Res	75%
Regional Center DRI	0	0	0	1	0	0	NR	97%
Legend at the Gardens	0	0	0	0	0	0	NR	100%
Palm Beach Community Church	1	0	0	1	1	1	NR	90%
Donald Ross Village	4	2	2	8	4	4	NR	80%
Gardens Station East & West	0	0	0	0	0	0	NR	100%
Southampton	0	0	0	0	0	0	Res	80%
Hood Road Residential	19	16	3	23	8	15	Res	50%
The Pointe	0	0	0	0	0	0	NR	100%
PGA Station	8	7	1	84	15	69	NR	44%
Parcel 5A	12	10	2	11	2	9	NR	0%
Mirasol	26	15	11	22	10	13	Res	95%
Cimarron Cove	32	18	14	50	23	27	NR	0%
Frenchman's Crossing	0	0	0	0	0	0	NR	100%
FAU Jupiter	27	22	5	26	5	21	NR	20%
Briger West	97	75	22	163	66	97	Res	0%
Briger East	123	34	89	140	94	46	NR	0%
Jewish Community Center	463	206	258	133	79	55	NR	50%
Franklin Academy PBG	217	98	119	46	24	22	NR	80%
Avenir	1	0	0	1	1	1	Res	0%
Total Committed Developments	1041	507	533	730	342	389		
Total Committed Residential	147	107	39	216	88	128		
Total Committed Non-Residential	894	400	494	514	254	261		
Double Count Reduction	37	27	10	54	22	32		
Total Discounted Committed Developments	1004	480	523	676	320	357		
Historical Growth	796	470	325	481	239	283		
Comm Dev+1% Growth	1063	515	547	711	338	378		
Growth Volume Used	1063	515	547	711	338	378		
Total Volume	2506	1368	1137	1583	771	891		

Lanes	2L					
LOS D Capacity	1480	810	810	1480	810	810
Link Meets Test 1?	NO	NO	NO	NO	YES	NO
LOS E Capacity	1570	860	860	1570	860	860
Link Meets Test 2?	NO	NO	NO	NO	YES	NO

Input Data

ROAD NAME: Hood Rd STATION: 0
 CURRENT YEAR: 2015 FROM: Parkside Dr
 ANALYSIS YEAR: 2019 TO: MIDPOINT
 GROWTH RATE: 0% COUNT DATE: NA
 PSF: 0

Report Created: 08/17/2016

Link Analysis

Time Period Direction	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	0	0	0	0	0	0
Peak Volume	0	0	0	0	0	0
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	0	0	0	0	0	0

Committed Developments							Type	% Complete
Frenchman's Reserve	0	0	0	1	0	0	Res	85%
Old Palm Golf Club	1	0	1	2	1	1	Res	45%
Parcel 4.03/4.06	0	0	0	0	0	0	Res	100%
Central Gardens	7	3	4	14	7	7	NR	50%
Paloma	3	1	2	4	2	1	Res	75%
Regional Center DRI	0	0	0	1	0	0	NR	97%
Legend at the Gardens	0	0	0	0	0	0	NR	100%
Palm Beach Community Church	1	0	0	1	1	1	NR	90%
Donald Ross Village	4	2	2	8	4	4	NR	80%
Gardens Station East & West	0	0	0	0	0	0	NR	100%
Southampton	0	0	0	0	0	0	Res	80%
Hood Road Residential	19	16	3	23	8	15	Res	50%
The Pointe	0	0	0	0	0	0	NR	100%
PGA Station	8	7	1	84	15	69	NR	44%
Parcel 5A	12	10	2	11	2	9	NR	0%
Mirasol	26	15	11	22	10	13	Res	95%
Cimarron Cove	32	18	14	50	23	27	NR	0%
Frenchman's Crossing	0	0	0	0	0	0	NR	100%
FAU Jupiter	27	22	5	26	5	21	NR	20%
Briger West	97	75	22	163	66	97	Res	0%
Briger East	123	34	89	140	94	46	NR	0%
Jewish Community Center	463	206	258	133	79	55	NR	50%
Franklin Academy PBG	217	98	119	46	24	22	NR	80%
Avenir	1	0	0	1	1	1	Res	0%
Total Committed Developments	1041	507	533	730	342	389		
Total Committed Residential	147	107	39	216	88	128		
Total Committed Non-Residential	894	400	494	514	254	261		
Double Count Reduction	37	27	10	54	22	32		
Total Discounted Committed Developments	1004	480	523	676	320	357		
Historical Growth	0	0	0	0	0	0		
Comm Dev+1% Growth	1004	480	523	676	320	357		
Growth Volume Used	1004	480	523	676	320	357		
Total Volume	1004	480	523	676	320	357		

34 SOUTHBOUND
 LEFT AND 89
 WESTBOUND RIGHT
 AT PARKSIDE

Lanes	2L					
LOS D Capacity	1480	810	810	1480	810	810
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	1570	860	860	1570	860	860
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

ROAD NAME: Hood Rd
 CURRENT YEAR: 2015
 ANALYSIS YEAR: 2019
 GROWTH RATE: 10.54%

Input Data
 STATION: 2611
 FROM: Central Blvd
 TO: MIDPOINT
 COUNT DATE: 2/11/2015
 PSF: 1

Report Created: 08/11/2016

Link Analysis

Time Period	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	1606	892	714	1219	583	684
Peak Volume	1606	892	714	1219	583	684
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	1606	892	714	1219	583	684

Committed Developments							Type	% Complete
Frenchman's Reserve	6	2	5	8	5	3	Res	85%
Old Palm Golf Club	21	16	5	26	10	16	Res	45%
Parcel 4.03/4.06	0	0	0	0	0	0	Res	100%
Central Gardens	65	36	29	127	64	64	NR	50%
Paloma	3	1	2	4	2	1	Res	75%
Regional Center DRI	1	1	0	2	1	1	NR	97%
Legend at the Gardens	0	0	0	0	0	0	NR	100%
Palm Beach Community Church	0	0	0	0	0	0	NR	90%
Donald Ross Village	7	4	4	13	6	6	NR	80%
Southampton	3	3	1	4	1	3	Res	80%
Hood Road Residential	12	10	2	14	5	10	Res	50%
The Pointe	0	0	0	0	0	0	NR	100%
PGA Station	24	20	4	253	46	207	NR	44%
Parcel 5A	12	10	2	11	2	9	NR	0%
Mirasol	18	10	7	15	7	9	Res	95%
Abacoa DRI	33	17	16	46	24	22	NR	68%
Cimarron Cove	82	36	46	130	70	60	NR	0%
Frenchman's Crossing	0	0	0	0	0	0	NR	100%
Loehmann's Plaza	5	4	1	17	8	9	NR	7%
FAU Jupiter	43	8	35	41	33	8	NR	20%
Briger West	57	44	13	96	39	57	Res	0%
Briger East	72	20	52	82	55	27	NR	0%
Jewish Community Center	254	113	142	73	43	30	NR	50%
Franklin Academy PBG	96	43	53	20	11	10	NR	80%
Avenir	1	0	0	1	1	1	Res	0%
Total Committed Developments	815	398	419	983	433	553		
Total Committed Residential	121	86	35	168	70	100		
Total Committed Non-Residential	694	312	384	815	363	453		
Double Count Reduction	30	22	9	42	18	25		
Total Discounted Committed Developments	785	376	410	941	415	528		
Historical Growth	792	440	352	601	288	337		
Comm Dev+1% Growth	850	412	439	990	439	556		
Growth Volume Used	850	440	439	990	439	556		
Total Volume	2456	1332	1153	2209	1022	1240		

Lanes	4LD					
LOS D Capacity	3220	1770	1770	3220	1770	1770
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	3400	1870	1870	3400	1870	1870
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

ROAD NAME: Hood Rd
 CURRENT YEAR: 2015
 ANALYSIS YEAR: 2019
 GROWTH RATE: 10.54%

Input Data
 STATION: 2611
 FROM: MIDPOINT
 TO: N Military Trl
 COUNT DATE: 2/11/2015
 PSF: 1

Report Created: 08/11/2016

Link Analysis

Time Period Direction	AM			PM		
	2-way	NB/EB	SB/WB	2-way	NB/EB	SB/WB
Existing Volume	1606	892	714	1219	583	684
Peak Volume	1606	892	714	1219	583	684
Diversion(%)	0	0	0	0	0	0
Volume after Diversion	1606	892	714	1219	583	684

Committed Developments							Type	% Complete
Frenchman's Reserve	6	2	5	8	5	3	Res	85%
Old Palm Golf Club	21	16	5	26	10	16	Res	45%
Parcel 4.03/4.06	0	0	0	0	0	0	Res	100%
Central Gardens	65	36	29	127	64	64	NR	50%
Paloma	7	6	2	9	3	6	Res	75%
Regional Center DRI	1	1	0	2	1	1	NR	97%
Legend at the Gardens	0	0	0	0	0	0	NR	100%
Palm Beach Community Church	0	0	0	0	0	0	NR	90%
Donald Ross Village	7	4	4	13	6	6	NR	80%
Southampton	3	3	1	4	1	3	Res	80%
Hood Road Residential	12	10	2	14	5	10	Res	50%
The Pointe	0	0	0	0	0	0	NR	100%
PGA Station	24	20	4	253	46	207	NR	44%
Parcel 5A	12	10	2	11	2	9	NR	0%
Mirasol	18	10	7	15	7	9	Res	95%
Abacoa DRI	33	17	16	46	24	22	NR	68%
Cimarron Cove	82	36	46	130	70	60	NR	0%
Frenchman's Crossing	0	0	0	0	0	0	NR	100%
Loehmann's Plaza	5	4	1	17	8	9	NR	7%
FAU Jupiter	43	8	35	41	33	8	NR	20%
Briger West	57	44	13	96	39	57	Res	0%
Briger East	72	20	52	82	55	27	NR	0%
Jewish Community Center	254	113	142	73	43	30	NR	50%
Franklin Academy PBG	96	43	53	20	11	10	NR	80%
Avenir	1	0	0	1	1	1	Res	0%
Total Committed Developments	819	403	419	988	434	558		
Total Committed Residential	125	91	35	173	71	105		
Total Committed Non-Residential	694	312	384	815	363	453		
Double Count Reduction	31	23	9	43	18	26		
Total Discounted Committed Developments	788	380	410	945	416	532		
Historical Growth	792	440	352	601	288	337		
Comm Dev+1% Growth	853	416	439	994	440	560		
Growth Volume Used	853	440	439	994	440	560		
Total Volume	2459	1332	1153	2213	1023	1244		

Lanes	4LD					
LOS D Capacity	3220	1770	1770	3220	1770	1770
Link Meets Test 1?	YES	YES	YES	YES	YES	YES
LOS E Capacity	3400	1870	1870	3400	1870	1870
Link Meets Test 2?	YES	YES	YES	YES	YES	YES

E-W Street: Hood Rd
 N-S STREET: Central Blvd
 TIME PERIOD: AM
 GROWTH RATE: 5.41%
 SIGNAL ID: 11470

Input Data
 COUNT DATE: 4/13/2015
 CURRENT YEAR: 2015
 ANALYSIS YEAR: 2019
 PSF: 1.01

Report Created: 08/17/2016

Intersection Volume Development

	Eastbound			Westbound			Northbound			Southbound			Type	% Complete
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right		
Existing Volume	207	602	150	136	404	64	141	418	96	146	497	191		
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		
Peak Season Volume	209	608	152	137	408	65	142	422	97	147	502	193		
Committed Developments														
Mirasol	6	10	3	0	7	0	2	0	0	0	0	4	Res	95%
Southampton	0	0	0	1	0	0	0	3	3	0	1	0	Res	80%
Regional Center DRI	0	0	0	0	0	0	0	1	0	1	1	0	NR	97%
Franklin Academy PBG	27	43	22	0	53	0	27	0	0	0	0	33	NR	80%
Old Palm Golf Club	0	0	1	5	0	0	1	19	15	0	6	0	Res	45%
Central Gardens	0	0	3	29	0	0	4	16	36	0	13	0	NR	50%
Palm Beach Community Church	0	0	0	0	0	0	0	0	0	0	1	0	NR	90%
Briger East	0	20	34	0	52	52	89	82	0	20	31	0	NR	0%
Paloma	0	1	1	0	2	2	2	9	0	1	3	0	Res	75%
Donald Ross Village	2	0	0	0	0	4	0	10	0	4	10	2	NR	80%
Abacoa DRI	0	0	0	0	0	15	0	36	0	17	40	0	NR	68%
Parcel 5A	0	10	0	0	2	0	0	0	0	0	0	0	NR	0%
Hood Road Residential	2	10	5	0	2	0	1	0	0	0	0	1	Res	50%
Jewish Community Center	53	113	38	0	142	0	47	0	0	0	0	67	NR	50%
Frenchman's Reserve	0	0	0	3	0	2	0	0	1	0	0	0	Res	85%
Cimarron Cove	0	0	18	46	0	0	14	59	36	0	74	0	NR	0%
FAU Jupiter	22	0	0	0	0	35	0	88	0	8	19	5	NR	20%
PGA Station	0	7	7	0	1	1	1	1	0	3	3	0	NR	44%
Briger West	14	44	13	0	13	0	4	0	0	0	0	4	Res	0%
Total Committed Developments	126	258	145	84	274	111	192	324	91	54	202	116		
Total Committed Residential	22	65	23	9	24	4	10	31	19	1	10	9		
Total Committed Non-Residential	104	193	122	75	250	107	182	293	72	53	192	107		
Double Count Reduction	6	16	6	2	6	1	3	8	5	0	3	2		
Total Discounted Committed	120	242	139	82	268	110	189	316	86	54	199	114		
Historical Growth	49	143	36	32	96	15	33	99	23	34	118	45		
Comm Dev+1% Growth	128	267	145	88	285	113	195	333	90	60	219	122		
Growth Volume Used	128	267	145	88	285	113	195	333	90	60	219	122		
Total Volume	337	875	297	225	693	178	337	755	187	207	721	315		

E-W Street: Hood Rd
 N-S STREET: Central Blvd
 TIME PERIOD: PM
 GROWTH RATE: 5.41%
 SIGNAL ID: 11470

Input Data
 COUNT DATE: 4/13/2015
 CURRENT YEAR: 2015
 ANALYSIS YEAR: 2019
 PSF: 1.01

Report Created: 08/17/2016

Intersection Volume Development

	Eastbound			Westbound			Northbound			Southbound			Type	% Complete
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right		
Existing Volume	174	435	153	147	350	125	106	400	109	125		394		124
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		0%		0%
Peak Season Volume	176	439	155	148	354	126	107	404	110	126		398		125
Committed Developments														
Mirasol	3	7	2	0	9	0	2	0	0	0		0		5 Res 95%
Southampton	0	0	0	3	0	0	0	1	1	0		3		0 Res 80%
Regional Center DRI	0	0	0	0	0	1	0	2	0	1		2		0 NR 97%
Franklin Academy PBG	7	11	5	0	10	0	5	0	0	0		0		6 NR 80%
Old Palm Golf Club	0	0	1	16	0	0	1	12	9	0		19		0 Res 45%
Central Gardens	0	0	7	64	0	0	7	29	64	0		29		0 NR 50%
Palm Beach Community Church	0	0	1	0	0	0	1	1	0	0		1		0 NR 90%
Avenir	0	1	0	0	1	0	0	0	0	0		0		0 Res 0%
Briger East	0	55	94	0	27	27	46	42	0	55		86		0 NR 0%
Paloma	0	2	2	0	1	1	1	5	0	2		9		0 Res 75%
Donald Ross Village	4	0	0	0	0	6	0	18	0	6		18		4 NR 80%
Abacoa DRI	0	0	0	0	0	22	0	51	0	24		55		0 NR 68%
Parcel 5A	0	2	0	0	9	0	0	0	0	0		0		0 NR 0%
Hood Road Residential	1	5	2	0	10	0	4	0	0	0		0		2 Res 50%
Jewish Community Center	21	43	15	0	30	0	10	0	0	0		0		14 NR 50%
Frenchman's Reserve	0	0	0	2	0	1	0	0	3	2		0		0 Res 85%
Cimarron Cove	0	0	23	60	0	0	27	113	70	0		97		0 NR 0%
FAU Jupiter	5	0	0	0	0	8	0	21	0	33		83		21 NR 20%
PGA Station	0	15	15	0	69	35	69	35	0	8		8		0 NR 44%
Briger West	12	39	11	0	57	0	16	0	0	0		0		18 Res 0%
Total Committed Developments	53	180	178	145	223	101	189	330	147	131		410		70
Total Committed Residential	16	54	18	21	78	2	24	18	13	4		31		25
Total Committed Non-Residential	37	126	160	124	145	99	165	312	134	127		379		45
Double Count Reduction	4	14	5	5	20	1	6	5	3	1		8		6
Total Discounted Committed	49	166	173	140	203	100	183	325	144	130		402		64
Historical Growth	41	103	36	35	83	30	25	95	26	30		93		29
Comm Dev+1% Growth	56	184	179	146	217	105	187	341	148	135		418		69
Growth Volume Used	56	184	179	146	217	105	187	341	148	135		418		69
Total Volume	232	623	334	294	571	231	294	745	258	261		816		194

E-W Street: Hood Rd
 N-S STREET: N Military Trl
 TIME PERIOD: AM
 GROWTH RATE: 6.03%
 SIGNAL ID: 11475

Input Data
 COUNT DATE: 5/4/2015
 CURRENT YEAR: 2015
 ANALYSIS YEAR: 2019
 PSF: 1.02

Report Created: 08/17/2016

Intersection Volume Development

	Eastbound			Westbound			Northbound			Southbound			Type	% Complete
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right		
Existing Volume	133	417	251	44	306	164	181	685	133	220	837	110		
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		
Peak Season Volume	136	425	256	45	312	167	185	699	136	224	854	112		
Committed Developments														
Mirasol	6	4	0	1	3	0	0	1	1	0	1	4	Res	95%
Southampton	0	3	0	0	1	0	0	0	0	0	0	0	Res	80%
Regional Center DRI	0	1	1	0	0	1	0	1	0	1	1	0	NR	97%
Legacy Place Commercial	0	0	0	0	0	0	0	0	0	1	1	0	NR	90%
Franklin Academy PBG	11	22	16	0	27	0	20	0	0	0	0	13	NR	80%
Old Palm Golf Club	4	10	0	1	3	0	0	1	1	0	1	2	Res	45%
Central Gardens	14	11	16	0	9	0	13	0	0	0	0	11	NR	50%
Palm Beach Community Church	0	0	0	1	0	0	0	1	1	0	1	0	NR	90%
Loehmann's Plaza	0	4	4	0	1	3	1	3	0	8	10	0	NR	7%
Avenir	0	0	0	0	0	0	0	16	0	0	17	0	Res	0%
Briger East	0	20	20	0	52	52	52	59	0	20	23	0	NR	0%
Paloma	6	6	0	3	2	0	0	11	9	0	3	2	Res	75%
Donald Ross Village	0	2	4	0	2	2	4	10	0	2	10	0	NR	80%
Abacoa DRI	0	17	17	0	15	36	15	31	0	40	35	0	NR	68%
Parcel 5A	0	0	10	19	0	0	2	27	4	0	124	0	NR	0%
Hood Road Residential	2	2	7	0	1	0	2	0	0	0	0	1	Res	50%
Jewish Community Center	29	27	58	0	34	0	72	0	0	0	0	36	NR	50%
Frenchman's Reserve	0	2	0	4	5	3	0	0	1	1	0	0	Res	85%
Cimarron Cove	36	36	0	53	46	0	0	50	42	0	63	46	NR	0%
FAU Jupiter	0	5	8	0	22	22	35	31	0	5	6	0	NR	20%
PGA Station	0	7	20	0	1	1	4	7	0	7	37	0	NR	44%
Briger West	0	20	19	0	6	1	6	1	0	2	2	0	Res	0%
Total Committed Developments	108	199	200	82	230	121	226	250	59	87	335	115		
Total Committed Residential	18	47	26	9	21	4	8	30	12	3	24	9		
Total Committed Non-Residential	90	152	174	73	209	117	218	220	47	84	311	106		
Double Count Reduction	5	12	7	2	5	1	2	8	3	1	6	2		
Total Discounted Committed	103	187	193	80	225	120	224	242	56	86	329	113		
Historical Growth	36	112	68	12	82	44	49	184	36	59	225	30		
Comm Dev+1% Growth	109	204	203	82	238	127	232	270	62	95	364	118		
Growth Volume Used	109	204	203	82	238	127	232	270	62	95	364	118		
Total Volume	245	629	459	127	550	294	417	969	198	319	1218	230		

E-W Street: Hood Rd
 N-S STREET: N Military Trl
 TIME PERIOD: PM
 GROWTH RATE: 6.03%
 SIGNAL ID: 11475

Input Data
 COUNT DATE: 5/4/2015
 CURRENT YEAR: 2015
 ANALYSIS YEAR: 2019
 PSF: 1.02

Report Created: 08/17/2016

Intersection Volume Development

	Eastbound			Westbound			Northbound			Southbound			Type	% Complete
	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right		
Existing Volume	95	323	115	96	305	135	125	624	146	270	842	124		
Diversions	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%		
Peak Season Volume	97	329	117	98	311	138	128	636	149	275	859	126		
Committed Developments														
Mirasol	4	3	0	1	3	0	0	1	1	0	1	5	Res	95%
Southampton	0	1	0	0	3	0	0	0	0	0	0	0	Res	80%
Regional Center DRI	0	1	1	0	1	2	1	2	0	2	2	0	NR	97%
Legacy Place Commercial	0	0	0	0	0	1	0	1	0	1	1	0	NR	90%
Franklin Academy PBG	3	5	4	0	5	0	4	0	0	0	0	2	NR	80%
Old Palm Golf Club	3	7	0	1	11	0	0	1	1	0	1	4	Res	45%
Central Gardens	25	19	29	0	19	0	29	0	0	0	0	25	NR	50%
Palm Beach Community Church	0	0	0	1	0	0	0	2	1	0	2	0	NR	90%
Loehmann's Plaza	0	8	8	0	9	19	9	23	0	16	20	0	NR	7%
Avenir	1	0	0	0	0	0	0	19	0	0	24	1	Res	0%
Briger East	0	55	55	0	27	27	27	31	0	55	63	0	NR	0%
Paloma	3	3	0	10	6	0	0	7	5	0	12	6	Res	75%
Donald Ross Village	0	4	6	0	4	4	6	18	0	4	18	0	NR	80%
Abacoa DRI	0	24	24	0	22	51	22	44	0	55	47	0	NR	68%
Parcel 5A	0	0	2	5	0	0	9	112	17	0	29	0	NR	0%
Hood Road Residential	1	1	3	0	2	0	7	0	0	0	0	2	Res	50%
Jewish Community Center	11	10	22	0	7	0	16	0	0	0	0	8	NR	50%
Frenchman's Reserve	0	5	0	2	3	2	0	0	4	3	0	0	Res	85%
Cimarron Cove	70	70	0	69	60	0	0	96	80	0	83	60	NR	0%
FAU Jupiter	0	21	33	0	5	5	8	7	0	21	29	0	NR	20%
PGA Station	0	15	46	0	69	69	207	380	0	15	84	0	NR	44%
Briger West	0	18	17	0	26	3	24	3	0	2	2	0	Res	0%
Total Committed Developments	121	270	250	89	282	183	369	747	109	174	418	113		
Total Committed Residential	12	38	20	14	54	5	31	31	11	5	40	18		
Total Committed Non-Residential	109	232	230	75	228	178	338	716	98	169	378	95		
Double Count Reduction	3	10	5	4	14	1	8	8	3	1	10	5		
Total Discounted Committed	118	260	245	85	268	182	361	739	106	173	408	108		
Historical Growth	26	87	31	26	82	36	34	168	39	73	227	33		
Comm Dev+1% Growth	122	273	250	89	281	188	366	765	112	184	443	113		
Growth Volume Used	122	273	250	89	281	188	366	765	112	184	443	113		
Total Volume	219	602	367	187	592	326	494	1401	261	459	1302	239		

APPENDIX B: PCN SHEETS



Location Address HOOD RD
 Municipality PALM BEACH GARDENS
 Parcel Control Number 52-42-41-34-00-000-1030
 Subdivision
 Official Records Book 26863 Page463
 Sale Date JUN-2014
 Legal Description 34-41-42, E 1/2 OF NE 1/4 OF NE 1/4 LYG W OF & ADJ TO
 FL TPK (LESS PTS K/A PAR 1 & PT OF PAR 2 IN
 OR27678P1215 & S 25 FT

Owners
 KENNEDY HOMES LLC

Mailing address
 6400 CONGRESS AVE STE 2175
 BOCA RATON FL 33487 2871

Sales Date	Price	OR Book/Page	Sale Type	Owner
JUN-2014	\$800,000	26863 / 0463	WARRANTY DEED	KENNEDY HOMES LLC
OCT-2012	\$1,400,000	25558 / 1107	WARRANTY DEED	SABADELL UNITED BANK NA
DEC-2009	\$100	23617 / 1749	CERT OF TITLE	95 HOOD LLC
DEC-2001	\$500,000	13248 / 0982	WARRANTY DEED	POWER PLAY SPORTS & ENTERTAINMENT LTD
MAR-1999	\$119,553,900	11025 / 1180	WARRANTY DEED	

1 2

No Exemption Information Available.

Number of Units 0 *Total Square Feet 0 Acres 10.1971
 Use Code 0000 - VACANT Zoning RS - (52-PALM BEACH GARDENS)

Tax Year	2015	2014	2013
Improvement Value	\$0	\$0	\$0
Land Value	\$583,014	\$97,169	\$97,169
Total Market Value	\$583,014	\$97,169	\$97,169

All values are as of January 1st each year

Tax Year	2015	2014	2013
Assessed Value	\$583,014	\$97,169	\$97,169
Exemption Amount	\$0	\$0	\$0
Taxable Value	\$583,014	\$97,169	\$97,169

Tax Year	2015	2014	2013
Ad Valorem	\$12,211	\$2,070	\$2,085
Non Ad Valorem	\$0	\$0	\$0
Total tax	\$12,211	\$2,070	\$2,085

**APPENDIX C: CRITICAL MOVEMENT ANALYSIS, VOLUME
DEVELOPMENT SHEETS, & SIGNAL TIMINGS**

**VOLUME DEVELOPMENT SHEET
HOOD ROAD RESIDENTIAL SITE
HOOD ROAD & MILITARY TRAIL**

Growth Rate = 6.03%
 Peak Season = 1.02 1.02
 Buildout Year = 2019 2019
 Years = 4 4

AM Peak Hour

	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume on 5/4/2015	181	685	133	220	837	110	133	417	251	44	306	164
Peak Season Volume	185	699	136	224	854	112	136	425	256	45	312	167
Traffic Volume Growth	49	184	36	59	225	30	36	112	68	12	82	44
Committed Development	222	242	56	86	329	113	103	187	193	80	225	120
1.0% Traffic Volume Growth	8	28	6	9	35	5	6	17	10	2	13	7
Committed + 1.0% Growth	230	270	62	95	364	118	109	204	203	82	238	127
Max (Committed + 1.0% or Historic Growth)	230	270	62	95	364	118	109	204	203	82	238	127
Background Traffic Volumes	415	969	198	319	1,218	230	245	629	459	127	550	294
Project Traffic												
Inbound Traffic Assignment	10.0%					10.0%					10.0%	
Inbound Traffic Volumes	1					1					1	
Outbound Traffic Assignment							10.0%	10.0%	10.0%			
Outbound Traffic Volumes							3	3	3			
Project Traffic	1					1	3	3	3		1	
Total Traffic w/o RTOR	416	969	198	319	1,218	231	248	632	462	127	551	294
TOTAL TRAFFIC	416	969	198	319	1,218	231	248	632	462	127	551	294

**VOLUME DEVELOPMENT SHEET
HOOD ROAD RESIDENTIAL SITE
HOOD ROAD & CENTRAL BOULEVARD: EXISTING LANEAGE**

Growth Rate = 5.41%
Peak Season = 1.01 1.01
Buildout Year = 2019 2019
Years = 4 4

AM Peak Hour

	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT									
Existing Volume on 04/13/2015	141	418	96	146	497	191	207	602	150	136	404	64
Peak Season Volume	142	422	97	147	502	193	209	608	152	137	408	65
Traffic Volume Growth	33	99	23	34	118	45	49	143	36	32	96	15
Committed Development	189	316	86	54	199	114	120	242	139	82	268	110
1.0% Traffic Volume Growth	6	17	4	6	20	8	8	25	6	5	17	3
Committed + 1.0% Growth	195	333	90	60	219	122	128	267	145	88	285	113
Max (Committed + 1.0% or Historic Growth)	195	333	90	60	219	122	128	267	145	88	285	113
Background Traffic Volumes	337	755	187	207	721	315	337	875	297	225	693	178
Project Traffic												
Inbound Traffic Assignment	30.0%					30.0%						30.0%
Inbound Traffic Volumes	2					2						2
Outbound Traffic Assignment							30.0%	30.0%	30.0%			
Outbound Traffic Volumes							8	8	8			
Project Traffic	2					2	8	8	8			2
Total Traffic w/o RTOR	339	755	187	207	721	317	345	883	305	225	695	178
TOTAL TRAFFIC	339	755	187	207	721	317	345	883	305	225	695	178

Critical Volume Analysis

No. of Lanes	1	2	>0	1	2	1	2	2	1	2	2	1			
Approach Volume		1,281			1,245			1,533				1,098			
Per Lane Volume	339	471	0	207	361	317	173	442	305	113	348	178			
Overlap Reduction	0	0	0	0	0	(173)	0	0	(113)	0	0	(178)			
Net Per Lane Volume	339	471	0	207	361	144	173	442	192	113	348	0			
North-South Critical	NB LT + SB TH = 700					SB LT + NB TH = 678									
East-West Critical	EB LT + WB TH = 521						WB LT + EB TH = 555								
Maximum Critical Sum	700			+			555			=			1,255		
STATUS ?	NEAR														

PM Peak Hour

	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT									
Existing Volume on 04/13/2015	106	400	109	125	394	124	174	435	153	147	350	125
Peak Season Volume	107	404	110	126	398	125	176	439	155	148	354	126
Traffic Volume Growth	25	95	26	30	93	29	41	103	36	35	83	30
Committed Development	183	325	144	130	402	64	49	166	173	140	203	100
1.0% Traffic Volume Growth	4	16	4	5	16	5	7	18	6	6	14	5
Committed + 1.0% Growth	187	341	148	135	418	69	56	184	179	146	217	105
Max (Committed + 1.0% or Historic Growth)	187	341	148	135	418	69	56	184	179	146	217	105
Background Traffic Volumes	294	745	258	261	816	194	232	623	334	294	571	231
Project Traffic												
Inbound Traffic Assignment	30.0%					30.0%						30.0%
Inbound Traffic Volumes	7					7						7
Outbound Traffic Assignment							30.0%	30.0%	30.0%			
Outbound Traffic Volumes							3	3	3			
Project Traffic	7					7	3	3	3			7
Total Traffic w/o RTOR	301	745	258	261	816	201	235	626	337	294	578	231
TOTAL TRAFFIC	301	745	258	261	816	201	235	626	337	294	578	231

Critical Volume Analysis

No. of Lanes	1	2	>0	1	2	1	2	2	1	2	2	1			
Approach Volume		1,304			1,278			1,198				1,103			
Per Lane Volume	301	502	0	261	408	201	118	313	337	147	289	231			
Overlap Reduction	0	0	0	0	0	(118)	0	0	(301)	0	0	(231)			
Net Per Lane Volume	301	502	0	261	408	83	118	313	36	147	289	0			
North-South Critical	NB LT + SB TH = 709					SB LT + NB TH = 763									
East-West Critical	EB LT + WB TH = 407						WB LT + EB TH = 460								
Maximum Critical Sum	763			+			460			=			1,223		
STATUS ?	NEAR														

**VOLUME DEVELOPMENT SHEET
HOOD ROAD RESIDENTIAL SITE
HOOD ROAD & PARKSIDE DRIVE**

Growth Rate = 1.00%
 Peak Season = 1.01 1.01
 Buildout Year = 2019 2019
 Years = 4 4

AM Peak Hour

	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume in 2016 ⁽¹⁾								851			679	
Peak Season Volume	0	0	0	0	0	0	0	860	0	0	686	0
Traffic Volume Growth	0	0	0	0	0	0	0	35	0	0	28	0
Committed Development (Briger East) ⁽²⁾				34		8	22					89
Other Committed Developments in TPS ⁽³⁾								443			434	
Total Committed Traffic	0	0	0	34	0	8	22	443	0	0	434	89
1.0% Traffic Volume Growth	0	0	0	0	0	0	0	35	0	0	28	0
Committed + 1.0% Growth	0	0	0	34	0	8	22	478	0	0	462	89
Max (Committed + 1.0% or Historic Growth)	0	0	0	34	0	8	22	478	0	0	462	89
Background Traffic Volumes	0	0	0	34	0	8	22	1,338	0	0	1,148	89
Project Traffic											90.0%	
Inbound Traffic Assignment											5	
Inbound Traffic Volumes												
Outbound Traffic Assignment								90.0%				
Outbound Traffic Volumes								23				
Project Traffic								23			5	
Total Traffic w/o RTOR	0	0	0	34	0	8	22	1,361	0	0	1,153	89
TOTAL TRAFFIC	0	0	0	34	0	8	22	1,361	0	0	1,153	89

(1) Existing eastbound and westbound traffic calculated from count station 2105 (Year 2016 Counts)

(2) The Briger East traffic was assigned to the Parkside intersection in accordance with the committed traffic from the TPS database sheets. Eastbound committed traffic from Jog to Parkside was assigned to the Eastbound Left-turn movement, Westbound committed traffic from Jog to Parkside was assigned to the Southbound Right-turn movement, Eastbound committed traffic from Parkside to Central was assigned to the Southbound Left-turn movement and Westbound committed traffic from Parkside to Central was assigned to the Westbound Right-turn movement.

**VOLUME DEVELOPMENT SHEET
HOOD ROAD RESIDENTIAL SITE
HOOD ROAD & FRANKLIN ACADEMY**

Growth Rate = 1.00%
 Peak Season = 1 1
 Buildout Year = 2019 2019
 Years = 3 3

AM Peak Hour

	Northbound			Southbound			Eastbound			Westbound		
	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT	LT	Thru	RT
Existing Volume in 2016 ⁽¹⁾								851			679	
Peak Season Volume	0	0	0	0	0	0	0	851	0	0	679	0
Diverted Franklin Academy Traffic ⁽²⁾				437		49	59	-437			-535	535
Adjusted Existing Volumes	0	0	0	437	0	49	59	414	0	0	144	535
Traffic Volume Growth	0	0	0	13	0	1	2	13	0	0	4	16
Committed Development (Franklin Academy) ⁽³⁾				51		6	7					62
Other Committed Developments in TPS								367			319	
Total Committed Traffic	0	0	0	51	0	6	7	367	0	0	319	62
1.0% Traffic Volume Growth	0	0	0	13	0	1	2	13	0	0	4	16
Committed + 1.0% Growth	0	0	0	64	0	7	9	380	0	0	323	78
Max (Committed + 1.0% or Historic Growth)	0	0	0	64	0	7	9	380	0	0	323	78
Background Traffic Volumes	0	0	0	501	0	56	68	794	0	0	467	613
Project Traffic												
Inbound Traffic Assignment											90.0%	
Inbound Traffic Volumes											5	
Outbound Traffic Assignment								90.0%				
Outbound Traffic Volumes								23				
Project Traffic								23			5	
Total Traffic w/o RTOR	0	0	0	501	0	56	68	817	0	0	472	613
TOTAL TRAFFIC	0	0	0	501	0	56	68	817	0	0	472	613

(1) Existing eastbound and westbound traffic calculated from count station 2105 (Year 2016 Counts)

(2) The existing Franklin Academy traffic was calculated using trip generation for 1200 students and distribution from the TPS database: 594 AM inbound trips and 486 AM outbound trips. Inbound distribution: 10% eastbound left and 90% westbound right. Outbound distribution: 10% southbound right and 90% southbound left.

Areawide Growth Rate		
	Growth Rate (from TPS)	Utilized Growth Rate
Hood Road	10.25%	10.25%
Hood Road & Central Boulevard	5.41%	5.41%
Hood Road & Military Trail	6.03%	6.0%

CONTROLLER TIME SHEET

DATE TIMING INSTALLED: _____

INTERSECTION: HOOD RD AND FRANKLIN CHARTER SCHOOL PBG	CONTROLLER TYPE: NAZTEC
SIGNAL # 11440	SYSTEM # 359

PHASE NUMBER	APPROACH INTERVAL	MIN GREEN	GAP EXT	MAX 1	MAX 2	YEL CLR	RED CLR	WALK	PED CLR	MIN RCL	MAX RCL	PED RCL	LOCK CALLS	NA1 RIW	DETECTOR SETTINGS
1	WALT	4.0	2.0	25.0		5.0	2.0	0.0	0.0	0			0		L1=Normal
2	EA	20.0	4.0	45.0		5.0	2.0	7.0	16.0	1			1		L2=Normal
3															
4															
5															
6	WA	20.0	4.0	45.0		5.0	2.0	0.0	0.0	0			0		L6=Normal
7															
8	NA	6.0	3.0	35.0		4.0	2.0	7.0	12.0	0			0		L8 Normal L8R:D/N (10)

PRE-EMPTION TIMING										SPECIAL FUNCTIONS									
GREEN BEFORE	TRACK CLR	TRACK CLR YEL	MIN DWELL	YEL AFTER	RED AFTER	START Φ	DUAL ENTRY	DET SWITCH	OUT OF FLASH	INTO FLASH									
							YES	YES											
						2-6	2,6	1	2-6	8									

COMMENTS	SCHOOL SIGNAL TO OPERATE AS A FLASHER EXCEPT BETWEEN THE HOURS OF 06:30 TO 18:30 SCHOOL DAYS ONLY.	TIMING DESIGNED BY: K. LANE-PALMER	DATE: 7/22/2015
		APPROVED BY: J. LI, P. E.	DATE:

SYSTEM TIMING SHEET

DATE TIMING INSTALLED: _____

INTERSECTION: HOOD RD AND FRANKLIN CHARTER SCHOOL PBG	INTERSECTION # 11440	CONTROLLER TYPE: NAZTEC
SYSTEM:	SYSTEM # 359	

TOD SCHEDULER											
WEEKDAY						WEEKEND					
TIME	PATTERN	TIME	PATTERN	TIME	PATTERN	TIME	PATTERN	TIME	PATTERN	TIME	PATTERN
0:00		0:00		0:00				0:00			

TIMING PLANS											
DIAL	1	2	3	4	5	6					
CYCLE LENGTH (SEC)											
OFFSET (SEC)											
PERMISSIVES	AUTO	AUTO	AUTO	AUTO	AUTO	AUTO					
COORDINATED PHASE											
FORCE-OFF 1 (SEC)	SPLIT	MODE	SPLIT	MODE	SPLIT	MODE					
FORCE-OFF 2 (SEC)	WALT										
FORCE-OFF 3 (SEC)	EA										
FORCE-OFF 4 (SEC)	EA										
FORCE-OFF 5 (SEC)											
FORCE-OFF 6 (SEC)	WA										
FORCE-OFF 7 (SEC)											
FORCE-OFF 8 (SEC)	NA										

Special Features:

1)	
2)	
3)	

TIMING DESIGNED BY:		DATE:
APPROVED BY: J. LI, P.E.		DATE:

Palm Beach County

Signal Timing Sheet

10/2/2012

11475 : 365 - Hood Rd and Military Trail (Standard File)

Phase [1.1.1]

	1 (NL)	2 (SI)	3 (EL)	4 (WT)	5 (SL)	6 (NT)	7 (WL)	8 (ET)	9	10	11	12	13	14	15	16
Walk		5		5		5		5								
Ped Clearance		27		33		29		36								
Min Green	4	20	4	6	4	20	4	6								
Passage	2	4	2	3	2	4	2	3								
Max1	15	45	15	30	30	45	15	30								
Max2																
Yellow	4	4.5	4	4.5	4	4.5	4	4.5								
Red	4.5	3	4.5	3.5	4.5	3	4.5	3.5								

Phase Option [1.1.2]

	1 (NL)	2 (SI)	3 (EL)	4 (WT)	5 (SL)	6 (NT)	7 (WL)	8 (ET)	9	10	11	12	13	14	15	16
Enable	ON															
Auto Entry				ON				ON								
Auto Exit		ON				ON										
Non Act1																
Non Act2																
Lock Call		ON				ON										
Min Recall		ON				ON										
Max Recall																
Ped Recall																
Dual Entry		ON		ON		ON		ON								
Sim Gap Enable									ON							
Rest In Walk																

Detector, Vehicle Parameters 1-16 [5.1]

	1 (NBL1)	2 (NBL2)	3 (SBT1)	4 (SBT2)	5 (SBT3)	6 (SBR1)	7 (EBL1)	8 (EBL2)	9 (WBT1)	10 (WBT2)	11 (WBR1)	12 (SBL1)	13 (SBL2)	14 (NBT1)	15 (NBT2)	16 (NBT3)
Call Phase	1	1	2	2	2	2	3	3	4	4	4	5	5	6	6	6
Switch Phase																
Delay Time												5				

Detector, Vehicle Parameters 17-32 [5.1]

	17 (NBR1)	18 (WBL1)	19 (WBL2)	20 (EBT1)	21 (EBT2)	22 (EBR1)	23	24	25	26	27	28	29	30	31	32
Call Phase	6	7	7	8	8	8										
Switch Phase																
Delay Time						5										

Detector, Vehicle Parameters 33-48 [5.1]

	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48
Call Phase																
Switch Phase																
Delay Time																

Detector, Vehicle Parameters 49-64 [5.1]

	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64
Call Phase	8	8	8	4	4	4										
Switch Phase																
Delay Time																

Approved By: Quazi Bari

Date: _____

Palm Beach County

System Timing Sheet

10/2/2012

11475 : 365 - Hood Rd and Military Trail (Standard File)

TB Coor, Day Plan [4.4]

Day Plan Table 1	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour		6	9	15	18	20	22									
Minute		30			30	30										
Action	100	2	1	3	4	5	100									

Day Plan Table 2	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour		8	10	19	21	22										
Minute																
Action	100	4	1	4	5	100										

Day Plan Table 3	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour		8	10	18	21	22										
Minute																
Action	100	4	1	4	5	100										

Coordination, Pattern 1-16 [2.1]/Coordination, Alt Tables+[2.6]

Pattern	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Cycle Time	140	160	160	120	100											
Offset Time	56	64	136	13	88											
Split Number	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Seq Number	1	1	2	1	1	1	1	1	1	1	1	1	1	1	1	1
Ph Opt Alt																
Ph Time Alt																

Coordination, Splits [2.7.1]

Split Table 1	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time	18	55	21	46	22	51	18	49								
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Split Table 2	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time	18	75	20	47	34	59	18	49								
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Split Table 3	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time	20	67	20	53	28	59	24	49								
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph						ON										

Split Table 4	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time	17	60	16	27	19	58	18	25								
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Split Table 5	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time	17	46	17	20	17	46	17	20								
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Split Table 6	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Approved By: Quazi Bari

Date: _____

Palm Beach County

Preempt & Overlap Timing Sheet

10/2/2012

11475 : 365 - Hood Rd and Military Trail (Standard File)

Preemption Times[3.1]/Phases[3.2]/Options[3.3]

Channel	1	2	3	4	5	6
Lock Input						
Override Flash						
Override Higher						
Flash Dwell						
Link						
Delay						
Min Duration						
Min Green						
Min Walk						
Ped Clear						
Track Green						
Min Dwell						
Max Presence						
Track R1						
Track R2						
Track R3						
Track R4						
Dwell P1						
Dwell P2						
Dwell P3						
Dwell P4						
Dwell P5						
Dwell P6						
Dwell P7						
Dwell P8						
Dwell P9						
Dwell P10						
Dwell P11						
Dwell P12						
Dwell Ped1						
Dwell Ped2						
Dwell Ped3						
Dwell Ped4						
Dwell Ped5						
Dwell Ped6						
Dwell Ped7						
Dwell Ped8						
Exit R1						
Exit R2						
Exit R3						
Exit R4						

Preemption Times+ [3.4]/Overlaps+ [3.5]/Options+ [3.6]

Preempt	1	2	3	4	5	6
Enable						
Type	EMERG	EMERG	EMERG	EMERG	EMERG	EMERG
Skip Track						
Volt Mon Flash						
Coord in Preempt						
Max2						
Return Max/Min	MAX	MAX	MAX	MAX	MAX	MAX
Extend Dwell						
Pattern						
Output Mode	TS2	TS2	TS2	TS2	TS2	TS2
Track Over 1						
Track Over 2						
Track Over 3						
Track Over 4						
Track Over 5						
Track Over 6						
Track Over 7						
Track Over 8						
Track Over 9						
Track Over 10						
Track Over 11						
Track Over 12						
Dwell Over 1						
Dwell Over 2						
Dwell Over 3						
Dwell Over 4						
Dwell Over 5						
Dwell Over 6						
Dwell Over 7						
Dwell Over 8						
Dwell Over 9						
Dwell Over 10						
Dwell Over 11						
Dwell Over 12						
Ped Clear						
Yellow						
Red						
Return Min/Max						
Delay Inh						
Exit Time						
All Red B4						

Overlap Program Parameters [1.5.2.1]

Overlap	Included Phases	Modifier Phases	Type	Green	Yellow	Red
Overlap 1	1		NORMAL		3.5	1.5
Overlap 2	3		NORMAL		3.5	1.5
Overlap 3	5		NORMAL		3.5	1.5
Overlap 4	7		NORMAL		3.5	1.5
Overlap 5			NORMAL		3.5	1.5
Overlap 6			NORMAL		3.5	1.5
Overlap 7			NORMAL		3.5	1.5
Overlap 8			NORMAL		3.5	1.5
Overlap 9			NORMAL		3.5	1.5
Overlap 10			NORMAL		3.5	1.5
Overlap 11			NORMAL		3.5	1.5
Overlap 12			NORMAL		3.5	1.5
Overlap 13			NORMAL		3.5	1.5
Overlap 14			NORMAL		3.5	1.5
Overlap 15			NORMAL		3.5	1.5
Overlap 16			NORMAL		3.5	1.5

Approved By: Quazi Bari

Date: _____

Palm Beach County

Alternate Timing Sheet

10/2/2012

11475 : 365 - Hood Rd and Military Trail (Standard File)

Alternate Phase Program 1, Interval Times [1.1.6.1]

	Phase	Walk	Ped Clear	Min Green	Passage	Max1	Max2	Yellow	Red Clear	Assign Ph	Bike Clear
1											
2											
3											
4											
5											
6											
7											
8											

Alternate Phase Program 2, Interval Times [1.1.6.1]

	Phase	Walk	Ped Clear	Min Green	Passage	Max1	Max2	Yellow	Red Clear	Assign Ph	Bike Clear
1											
2											
3											
4											
5											
6											
7											
8											

Alternate Phase Program 3, Interval Times [1.1.6.1]

	Phase	Walk	Ped Clear	Min Green	Passage	Max1	Max2	Yellow	Red Clear	Assign Ph	Bike Clear
1											
2											
3											
4											
5											
6											
7											
8											

Alternate Phase Program 4, Interval Times [1.1.6.1]

	Phase	Walk	Ped Clear	Min Green	Passage	Max1	Max2	Yellow	Red Clear	Assign Ph	Bike Clear
1											
2											
3											
4											
5											
6											
7											
8											

Alternate Phase Program 5, Interval Times [1.1.6.1]

	Phase	Walk	Ped Clear	Min Green	Passage	Max1	Max2	Yellow	Red Clear	Assign Ph	Bike Clear
1											
2											
3											
4											
5											
6											
7											
8											

TB Coor, Day Plan [4.4]

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour																
Minute																
Action	100															

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour																
Minute																
Action																

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour																
Minute																
Action																

Approved By: Quazi Bari

Date: _____

Palm Beach County

Special System Timing Sheet

10/2/2012

11475 : 365 - Hood Rd and Military Trail (Standard File)

Coordination, Splits [2.7.1]

Split Table 7	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON	MAX	NON													
Coord-Ph		ON														

Split Table 8	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 9	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 10	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 11	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 12	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 13	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time	36	62	30	22	20	78	30	22								
Mode	NON	MAX	NON	NON	MAX	MAX	NON									
Coord-Ph		ON														

Split Table 14	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 15	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 16	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Approved By: Quazi Bari

Date: _____

Palm Beach County

Signal Timing Sheet

2/13/2014

11470 : 360 - Hood Rd and Central Bl (Standard File)

Phase [1.1.1]

	1 (NL)	2 (ST)	3 (EL)	4 (WT)	5 (SL)	6 (NT)	7 (WL)	8 (ET)	9	10	11	12	13	14	15	16
Walk		7		7		7		7								
Ped Clearance		27		23		24		22								
Min Green	4	10	4	6	4	10	4	6								
Passage	2	4	2	4	2	4	2	4								
Max1	15	45	15	45	15	45	15	45								
Max2	15	34	15	31	15	34	15	31								
Yellow	5	5	5	5	5	5	5	5	3.5	3.5	3.5	3.5	3.5	3.5	3.5	3.5
Red	2	2	2	2	2	2	2	2								

Phase Option [1.1.2]

	1 (NL)	2 (ST)	3 (EL)	4 (WT)	5 (SL)	6 (NT)	7 (WL)	8 (ET)	9	10	11	12	13	14	15	16
Enable	ON															
Auto Entry				ON				ON								
Auto Exit		ON				ON										
Non Act1																
Non Act2																
Lock Call		ON				ON										
Min Recall		ON				ON										
Max Recall	ON															
Ped Recall		ON		ON		ON		ON								
Dual Entry		ON		ON		ON		ON								
Sim Gap Enable		ON		ON		ON		ON								
Rest In Walk																

Detector, Vehicle Parameters 1-16 [5.1]

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Call Phase	1	2	2	3	3	4	4	4	5	6	6	7	7	8	8	8
Switch Phase	6								2							
Delay Time								10								10

Detector, Vehicle Parameters 17-32 [5.1]

	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32
Call Phase																
Switch Phase																
Delay Time																

Detector, Vehicle Parameters 33-48 [5.1]

	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48
Call Phase																
Switch Phase																
Delay Time																

Detector, Vehicle Parameters 49-64 [5.1]

	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64
Call Phase																
Switch Phase																
Delay Time																

Approved By: Stephen Shreve

Date: _____

Palm Beach County

System Timing Sheet

2/13/2014

11470 : 360 - Hood Rd and Central BI (Standard File)

TB Coor, Day Plan [4.4]

Day Plan Table 1	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour		6	9	15	18											
Minute		30			30											
Action	21	21	21	21	21											

Day Plan Table 2	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour																
Minute																
Action	21															

Day Plan Table 3	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour																
Minute																
Action	21															

Coordination, Pattern 1-16 [2.1]/Coordination, Alt Tables+[2.6]

Pattern	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Cycle Time	70	80	80													
Offset Time	30		47													
Split Number	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Seq Number	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
Ph Opt Alt																
Ph Time Alt																

Coordination, Splits [2.7.1]

Split Table 1	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time	16	20	16	18	16	20	16	18								
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Split Table 2	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time	16	26	16	22	16	26	16	22								
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Split Table 3	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time	16	26	16	22	16	26	16	22								
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Split Table 4	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Split Table 5	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Split Table 6	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON	MAX	NON	NON	NON	MAX	NON									
Coord-Ph		ON														

Approved By: Stephen Shreve

Date: _____

Palm Beach County

Preempt & Overlap Timing Sheet

2/13/2014

11470 : 360 - Hood Rd and Central Bl (Standard File)

Preemption Times[3.1]/Phases[3.2]/Options[3.3]

Channel	1	2	3	4	5	6
Lock Input						
Override Flash						
Override Higher						
Flash Dwell						
Link						
Delay						
Min Duration						
Min Green						
Min Walk						
Ped Clear						
Track Green						
Min Dwell						
Max Presence						
Track R1						
Track R2						
Track R3						
Track R4						
Dwell P1						
Dwell P2						
Dwell P3						
Dwell P4						
Dwell P5						
Dwell P6						
Dwell P7						
Dwell P8						
Dwell P9						
Dwell P10						
Dwell P11						
Dwell P12						
Dwell Ped1						
Dwell Ped2						
Dwell Ped3						
Dwell Ped4						
Dwell Ped5						
Dwell Ped6						
Dwell Ped7						
Dwell Ped8						
Exit R1						
Exit R2						
Exit R3						
Exit R4						

Preemption Times+[3.4]/Overlaps+[3.5]/Options+[3.6]

Preempt	1	2	3	4	5	6
Enable						
Type	EMERG	EMERG	EMERG	EMERG	EMERG	EMERG
Skip Track						
Volt Mon Flash						
Coord in Preempt						
Max2	ON					
Return Max/Min	MAX	MAX	MAX	MAX	MAX	MAX
Extend Dwell						
Pattern						
Output Mode	TS2	TS2	TS2	TS2	TS2	TS2
Track Over 1						
Track Over 2						
Track Over 3						
Track Over 4						
Track Over 5						
Track Over 6						
Track Over 7						
Track Over 8						
Track Over 9						
Track Over 10						
Track Over 11						
Track Over 12						
Dwell Over 1						
Dwell Over 2						
Dwell Over 3						
Dwell Over 4						
Dwell Over 5						
Dwell Over 6						
Dwell Over 7						
Dwell Over 8						
Dwell Over 9						
Dwell Over 10						
Dwell Over 11						
Dwell Over 12						
Ped Clear						
Yellow						
Red						
Return Min/Max						
Delay Inh						
Exit Time						
All Red B4						

Overlap Program Parameters [1.5.2.1]

Overlap	Included Phases	Modifier Phases	Type	Green	Yellow	Red
Overlap 1	1		NORMAL		3.5	1.5
Overlap 2			NORMAL		3.5	1.5
Overlap 3	5		NORMAL		3.5	1.5
Overlap 4			NORMAL		3.5	1.5
Overlap 5			NORMAL		3.5	1.5
Overlap 6			NORMAL		3.5	1.5
Overlap 7			NORMAL		3.5	1.5
Overlap 8			NORMAL		3.5	1.5
Overlap 9			NORMAL		3.5	1.5
Overlap 10			NORMAL		3.5	1.5
Overlap 11			NORMAL		3.5	1.5
Overlap 12			NORMAL		3.5	1.5
Overlap 13			NORMAL		3.5	1.5
Overlap 14			NORMAL		3.5	1.5
Overlap 15			NORMAL		3.5	1.5
Overlap 16			NORMAL		3.5	1.5

Approved By: Stephen Shreve

Date: _____

Palm Beach County

Alternate Timing Sheet

2/13/2014

11470 : 360 - Hood Rd and Central BI (Standard File)

Alternate Phase Program 1, Interval Times [1.1.6.1]

	Phase	Walk	Ped Clear	Min Green	Passage	Max1	Max2	Yellow	Red Clear	Assign Ph	Bike Clear
1											
2											
3											
4											
5											
6											
7											
8											

Alternate Phase Program 2, Interval Times [1.1.6.1]

	Phase	Walk	Ped Clear	Min Green	Passage	Max1	Max2	Yellow	Red Clear	Assign Ph	Bike Clear
1											
2											
3											
4											
5											
6											
7											
8											

Alternate Phase Program 3, Interval Times [1.1.6.1]

	Phase	Walk	Ped Clear	Min Green	Passage	Max1	Max2	Yellow	Red Clear	Assign Ph	Bike Clear
1											
2											
3											
4											
5											
6											
7											
8											

Alternate Phase Program 4, Interval Times [1.1.6.1]

	Phase	Walk	Ped Clear	Min Green	Passage	Max1	Max2	Yellow	Red Clear	Assign Ph	Bike Clear
1											
2											
3											
4											
5											
6											
7											
8											

Alternate Phase Program 5, Interval Times [1.1.6.1]

	Phase	Walk	Ped Clear	Min Green	Passage	Max1	Max2	Yellow	Red Clear	Assign Ph	Bike Clear
1											
2											
3											
4											
5											
6											
7											
8											

TB Coor, Day Plan [4.4]

Day Plan Table 4	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour																
Minute																
Action																

Day Plan Table 5	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour																
Minute																
Action																

Day Plan Table 6	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Hour																
Minute																
Action																

Approved By: Stephen Shreve

Date: _____

Palm Beach County

Special System Timing Sheet

2/13/2014

11470 : 360 - Hood Rd and Central Bl (Standard File)

Coordination, Splits [2.7.1]

Split Table 7	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON	MAX	NON													
Coord-Ph		ON														

Split Table 8	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 9	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 10	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 11	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 12	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 13	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time	36	62	30	22	20	78	30	22								
Mode	NON	MAX	NON	NON	MAX	MAX	NON									
Coord-Ph		ON														

Split Table 14	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 15	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Split Table 16	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
Time																
Mode	NON															
Coord-Ph		ON														

Approved By: Stephen Shreve

Date: _____

APPENDIX D: HCS AND ARTERIAL ANALYSIS WORKSHEETS

SHORT REPORT												
General Information						Site Information						
Analyst	KHA					Intersection	Hood Road & Franklin Academy					
Agency or Co.	Kimley-Horn					Area Type	All other areas					
Date Performed						Jurisdiction						
Time Period	AM Peak Hour					Analysis Year	2019 - Existing Timing					
Volume and Timing Input												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Number of Lanes	1	1			1	1				1		1
Lane Group	L	T			T	R				L		R
Volume (vph)	68	817			472	613				501		56
% Heavy Vehicles	2	2			2	2				2		2
PHF	0.95	0.95			0.95	0.95				0.95		0.95
Pretimed/Actuated (P/A)	A	A			A	A				A		A
Startup Lost Time	2.0	2.0			2.0	2.0				2.0		2.0
Extension of Effective Green	2.0	2.0			2.0	2.0				2.0		2.0
Arrival Type	3	3			3	3				3		3
Unit Extension	3.0	3.0			3.0	3.0				3.0		3.0
Ped/Bike/RTOR Volume	0	0		0	0	60	0	0		0	0	56
Lane Width	12.0	12.0			12.0	12.0				12.0		12.0
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N
Parking/Hour												
Bus Stops/Hour	0	0			0	0				0		0
Minimum Pedestrian Time		3.2			3.2			3.2			3.2	
Phasing	EB Only	EW Perm	03	04	SB Only	06	07	08				
Timing	G = 25.0	G = 45.0	G =	G =	G = 35.0	G =	G =	G =				
	Y = 7	Y = 7	Y =	Y =	Y = 6	Y =	Y =	Y =				
Duration of Analysis (hrs) = 0.25						Cycle Length C = 125.0						
Lane Group Capacity, Control Delay, and LOS Determination												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Adjusted Flow Rate	72	860		497	582					527		0
Lane Group Capacity	508	1148		671	1102					496		836
v/c Ratio	0.14	0.75		0.74	0.53					1.06		0.00
Green Ratio	0.62	0.62		0.36	0.70					0.28		0.53
Uniform Delay d ₁	13.7	17.1		34.9	9.1					45.0		13.9
Delay Factor k	0.11	0.30		0.30	0.13					0.50		0.11
Incremental Delay d ₂	0.1	2.8		4.4	0.5					58.0		0.0
PF Factor	1.000	1.000		1.000	1.000					1.000		1.000
Control Delay	13.8	19.9		39.3	9.6					103.0		13.9
Lane Group LOS	B	B		D	A					F		B
Approach Delay	19.4			23.3						103.0		
Approach LOS	B			C						F		
Intersection Delay	38.4			Intersection LOS						D		

SHORT REPORT												
General Information						Site Information						
Analyst <i>KHA</i> Agency or Co. <i>Kimley-Horn</i> Date Performed Time Period <i>AM Peak Hour</i>						Intersection <i>Hood Road & Parkside Drive</i> Area Type <i>All other areas</i> Jurisdiction <i>PBC</i> Analysis Year <i>2019</i>						
Volume and Timing Input												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Number of Lanes	1	1			1	1				0		0
Lane Group	L	T			T	R					LR	
Volume (vph)	22	1361			1153	89				34		8
% Heavy Vehicles	2	2			2	2				2		2
PHF	0.95	0.95			0.95	0.95				0.95		0.95
Pretimed/Actuated (P/A)	A	A			A	A				A		A
Startup Lost Time	2.0	2.0			2.0	2.0					2.0	
Extension of Effective Green	2.0	2.0			2.0	2.0					2.0	
Arrival Type	3	3			3	3					3	
Unit Extension	3.0	3.0			3.0	3.0					3.0	
Ped/Bike/RTOR Volume	0	0		0	0	60	0	0		0	0	8
Lane Width	12.0	12.0			12.0	12.0					12.0	
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N
Parking/Hour												
Bus Stops/Hour	0	0			0	0					0	
Minimum Pedestrian Time		3.2			3.2			3.2			3.2	
Phasing	EB Only	EW Perm	03	04	SB Only	06	07	08				
Timing	G = 6.0	G = 53.0	G =	G =	G = 6.0	G =	G =	G =				
	Y = 5	Y = 5	Y =	Y =	Y = 5	Y =	Y =	Y =				
Duration of Analysis (hrs) = 0.25						Cycle Length C = 80.0						
Lane Group Capacity, Control Delay, and LOS Determination												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Adjusted Flow Rate	23	1433			1214	31						36
Lane Group Capacity	226	1490			1234	1266						133
v/c Ratio	0.10	0.96			0.98	0.02						0.27
Green Ratio	0.80	0.80			0.66	0.80						0.08
Uniform Delay d ₁	19.0	6.9			13.1	1.6						34.9
Delay Factor k	0.11	0.47			0.49	0.11						0.11
Incremental Delay d ₂	0.2	15.2			21.7	0.0						1.1
PF Factor	1.000	1.000			1.000	1.000						1.000
Control Delay	19.2	22.1			34.8	1.6						36.0
Lane Group LOS	B	C			C	A						D
Approach Delay	22.1			34.0						36.0		
Approach LOS	C			C						D		
Intersection Delay	27.7			Intersection LOS						C		

SHORT REPORT													
General Information						Site Information							
Analyst <i>KHA Analyst</i> Agency or Co. <i>KHA</i> Date Performed Time Period <i>AM Peak</i>						Intersection <i>Hood Rd & Central Blvd</i> Area Type <i>All other areas</i> Jurisdiction <i>PBC</i> Analysis Year <i>2019 - Existing Timing</i>							
Volume and Timing Input													
	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Number of Lanes	2	2	1	2	2	1	1	2	0	1	2	1	
Lane Group	L	T	R	L	T	R	L	TR		L	T	R	
Volume (vph)	345	883	305	225	695	178	339	755	187	207	721	317	
% Heavy Vehicles	2	2	2	2	2	2	2	2	2	2	2	2	
PHF	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	
Pretimed/Actuated (P/A)	A	A	A	A	A	A	A	A	A	A	A	A	
Startup Lost Time	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0		2.0	2.0	2.0	
Extension of Effective Green	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0		2.0	2.0	2.0	
Arrival Type	3	3	3	3	3	3	3	3		3	3	3	
Unit Extension	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0		3.0	3.0	3.0	
Ped/Bike/RTOR Volume	0	0	60	0	0	60	0	0	10	0	0	60	
Lane Width	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0		12.0	12.0	12.0	
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N	
Parking/Hour													
Bus Stops/Hour	0	0	0	0	0	0	0	0		0	0	0	
Minimum Pedestrian Time		3.2			3.2			3.2			3.2		
Phasing	Excl. Left	Thru & RT	03			04			Excl. Left	Thru & RT	07		08
Timing	G = 10.0	G = 16.0	G =	G =	G = 10.0	G = 20.0	G =	G =					
	Y = 6	Y = 6	Y =	Y =	Y = 6	Y = 6	Y =	Y =					
Duration of Analysis (hrs) = 0.25							Cycle Length C = 80.0						
Lane Group Capacity, Control Delay, and LOS Determination													
	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Adjusted Flow Rate	363	929	258	237	732	124	357	981		218	759	271	
Lane Group Capacity	430	709	633	430	709	633	221	862		221	887	712	
v/c Ratio	0.84	1.31	0.41	0.55	1.03	0.20	1.62	1.14		0.99	0.86	0.38	
Green Ratio	0.13	0.20	0.40	0.13	0.20	0.40	0.13	0.25		0.13	0.25	0.45	
Uniform Delay d ₁	34.2	32.0	17.2	32.9	32.0	15.6	35.0	30.0		34.9	28.6	14.6	
Delay Factor k	0.38	0.50	0.11	0.15	0.50	0.11	0.50	0.50		0.49	0.39	0.11	
Incremental Delay d ₂	14.3	149.6	0.4	1.5	42.4	0.2	296.9	76.2		56.5	8.3	0.3	
PF Factor	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000		1.000	1.000	1.000	
Control Delay	48.5	181.6	17.6	34.4	74.4	15.8	331.9	106.2		91.4	36.9	14.9	
Lane Group LOS	D	F	B	C	E	B	F	F		F	D	B	
Approach Delay	123.2			59.1			166.4			41.7			
Approach LOS	F			E			F			D			
Intersection Delay	101.4			Intersection LOS						F			

SHORT REPORT													
General Information						Site Information							
Analyst <i>KHA Analyst</i> Agency or Co. <i>KHA</i> Date Performed <i>1/3/2014</i> Time Period <i>AM Peak</i>						Intersection <i>Hood Rd & Military Trail</i> Area Type <i>All other areas</i> Jurisdiction <i>PBC</i> Analysis Year <i>2019 - Existing Timing</i>							
Volume and Timing Input													
	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Number of Lanes	2	2	1	2	2	1	2	3	1	2	3	1	
Lane Group	L	T	R	L	T	R	L	T	R	L	T	R	
Volume (vph)	248	632	462	127	551	294	416	969	198	319	1218	231	
% Heavy Vehicles	2	2	2	2	2	2	2	2	2	2	2	2	
PHF	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	
Pretimed/Actuated (P/A)	A	A	A	A	A	A	A	A	A	A	A	A	
Startup Lost Time	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	
Extension of Effective Green	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	
Arrival Type	3	3	3	3	3	3	3	3	3	3	3	3	
Unit Extension	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	
Ped/Bike/RTOR Volume	0	0	60	0	0	60	0	0	60	0	0	60	
Lane Width	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N	
Parking/Hour													
Bus Stops/Hour	0	0	0	0	0	0	0	0	0	0	0	0	
Minimum Pedestrian Time		3.2			3.2			3.2			3.2		
Phasing	Excl. Left	EB Only	Thru & RT	04	Excl. Left	SB Only	Thru & RT	08					
Timing	G = 11.5	G = 2.0	G = 32.0	G =	G = 24.5	G = 6.0	G = 51.5	G =					
	Y = 8.5	Y = 0	Y = 8	Y =	Y = 8.5	Y = 0	Y = 7.5	Y =					
Duration of Analysis (hrs) = 0.25						Cycle Length C = 160.0							
Lane Group Capacity, Control Delay, and LOS Determination													
	EB			WB			NB			SB			
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT	
Adjusted Flow Rate	261	665	423	134	580	246	438	1020	145	336	1282	180	
Lane Group Capacity	473	754	658	247	709	782	526	1633	698	838	1823	861	
v/c Ratio	0.55	0.88	0.64	0.54	0.82	0.31	0.83	0.62	0.21	0.40	0.70	0.21	
Green Ratio	0.14	0.21	0.42	0.07	0.20	0.49	0.15	0.32	0.44	0.24	0.36	0.54	
Uniform Delay d ₁	64.4	61.1	37.3	71.7	61.2	24.3	65.8	46.0	27.6	50.7	43.9	18.8	
Delay Factor k	0.15	0.41	0.22	0.14	0.36	0.11	0.37	0.21	0.11	0.11	0.27	0.11	
Incremental Delay d ₂	1.4	11.9	2.2	2.4	7.5	0.2	11.0	0.8	0.1	0.3	1.2	0.1	
PF Factor	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	
Control Delay	65.8	72.9	39.4	74.2	68.7	24.5	76.7	46.8	27.7	51.0	45.2	18.9	
Lane Group LOS	E	E	D	E	E	C	E	D	C	D	D	B	
Approach Delay	61.1			58.1			53.3			43.6			
Approach LOS	E			E			D			D			
Intersection Delay	52.9						Intersection LOS						D

SHORT REPORT												
General Information						Site Information						
Analyst <i>KHA Analyst</i> Agency or Co. <i>KHA</i> Date Performed <i>1/3/2014</i> Time Period <i>AM Peak</i>						Intersection <i>Hood Rd & Military Trail</i> Area Type <i>All other areas</i> Jurisdiction <i>PBC</i> Analysis Year <i>2019 - Optimized Timing</i>						
Volume and Timing Input												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Number of Lanes	2	2	1	2	2	1	2	3	1	2	3	1
Lane Group	L	T	R	L	T	R	L	T	R	L	T	R
Volume (vph)	248	632	462	127	551	294	416	969	198	319	1218	231
% Heavy Vehicles	2	2	2	2	2	2	2	2	2	2	2	2
PHF	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95	0.95
Pretimed/Actuated (P/A)	A	A	A	A	A	A	A	A	A	A	A	A
Startup Lost Time	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Extension of Effective Green	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0	2.0
Arrival Type	3	3	3	3	3	3	3	3	3	3	3	3
Unit Extension	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0
Ped/Bike/RTOR Volume	0	0	60	0	0	60	0	0	60	0	0	60
Lane Width	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0	12.0
Parking/Grade/Parking	N	0	N	N	0	N	N	0	N	N	0	N
Parking/Hour												
Bus Stops/Hour	0	0	0	0	0	0	0	0	0	0	0	0
Minimum Pedestrian Time		3.2			3.2			3.2			3.2	
Phasing	Excl. Left	EB Only	Thru & RT	04	Excl. Left	SB Only	Thru & RT	08				
Timing	G = 10.5	G = 2.0	G = 38.0	G =	G = 24.5	G = 1.0	G = 51.5	G =				
	Y = 8.5	Y = 0	Y = 8	Y =	Y = 8.5	Y = 0	Y = 7.5	Y =				
Duration of Analysis (hrs) = 0.25							Cycle Length C = 160.0					
Lane Group Capacity, Control Delay, and LOS Determination												
	EB			WB			NB			SB		
	LT	TH	RT	LT	TH	RT	LT	TH	RT	LT	TH	RT
Adjusted Flow Rate	261	665	423	134	580	246	438	1020	145	336	1282	180
Lane Group Capacity	451	887	717	226	842	792	526	1633	688	730	1665	801
v/c Ratio	0.58	0.75	0.59	0.59	0.69	0.31	0.83	0.62	0.21	0.46	0.77	0.22
Green Ratio	0.13	0.25	0.45	0.07	0.24	0.50	0.15	0.32	0.43	0.21	0.33	0.51
Uniform Delay d ₁	65.3	55.4	32.7	72.7	55.6	23.7	65.8	46.0	28.2	55.0	48.3	22.0
Delay Factor k	0.17	0.30	0.18	0.18	0.26	0.11	0.37	0.21	0.11	0.11	0.32	0.11
Incremental Delay d ₂	1.9	3.6	1.3	4.1	2.4	0.2	11.0	0.8	0.2	0.5	2.3	0.1
PF Factor	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000	1.000
Control Delay	67.2	59.0	33.9	76.8	58.0	23.9	76.7	46.8	28.3	55.5	50.6	22.1
Lane Group LOS	E	E	C	E	E	C	E	D	C	E	D	C
Approach Delay	52.7			51.9			53.3			48.7		
Approach LOS	D			D			D			D		
Intersection Delay	51.5			Intersection LOS						D		

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15

Arterial Level of Service

Seg.	Sect.	Running time (sec)	Inter. control. delay (sec)	Other delay (sec)	Sum of time by section (sec)	Sum of length by section (mi)	Arterial speed (mph)	Arterial LOS by section
1	1	104.0	19.7	0.0	123.7	1.30	37.8	A
2	2	56.4	17.0	0.0	73.4	0.66	32.4	B
3	3	23.5	173.5	0.0	197.0	0.22	4.0	F
4	4	30.5	55.7	0.0	86.3	0.31	12.9	F

5
6
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11
12
13
14
15

Total travel time (x) = 480.3 sec
 Total length (y) = 2.49 miles
 Total travel speed, $S_a = 3600 \times (y)/(x) = 18.7$ mph
 Total urban street LOS (Exhibit 15-2) = D

Intersection Files in the Analysis

- 1: Hood&Franklin
- 2: Hood&Parkside
- 3: Hood&Central
- 4: Hood&Military_Opt-rev
- 5:
- 6:
- 7:
- 8:
- 9:
- 10:
- 11:
- 12:
- 13:
- 14:
- 15:

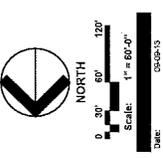
APPENDIX E: SITE PLAN

Urban Planning & Design
 Communication Graphics
 477 S. Rosemary Ave., Suite 225
 West Palm Beach, FL 33401
 561.366.1100 FAX 561.306.1111
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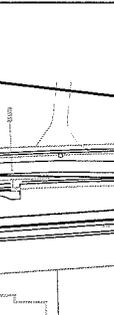
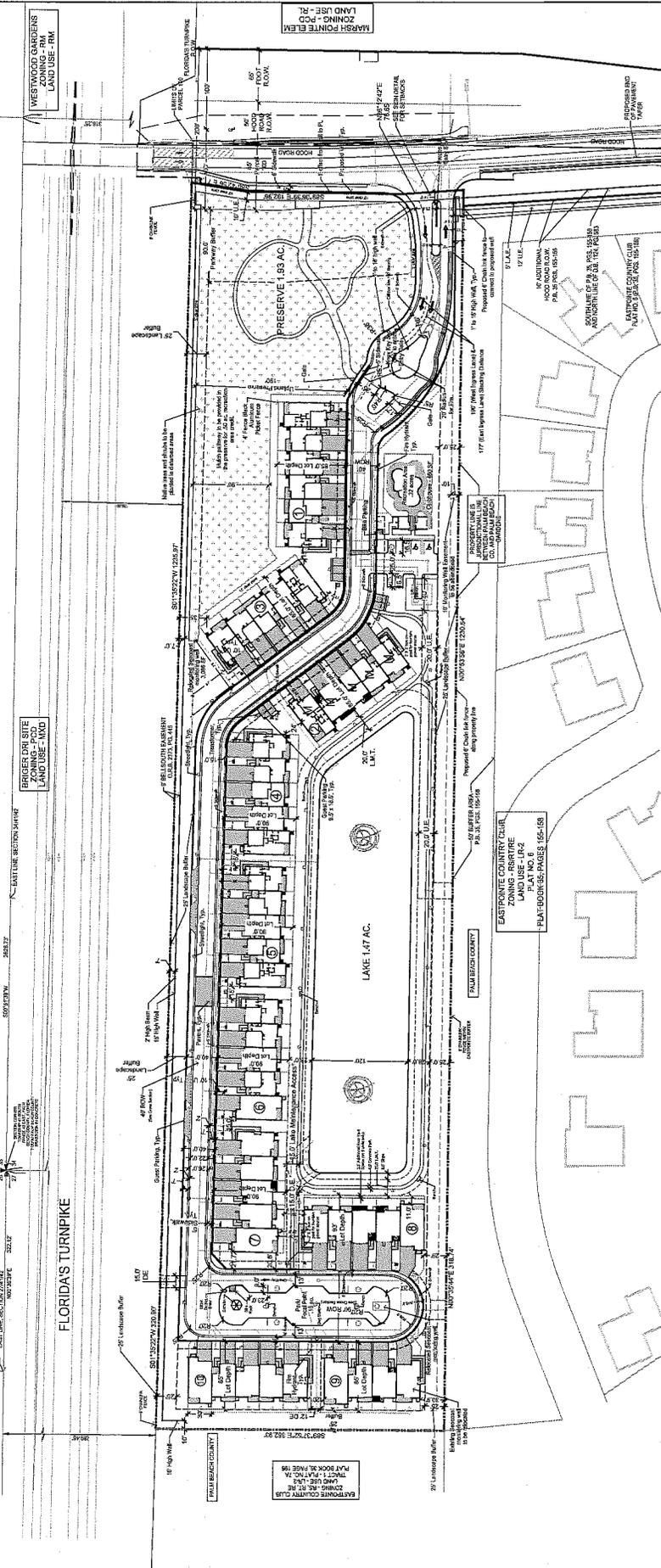
Urban Planning & Design
 Communication Graphics
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 West Palm Beach, FL 33401
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 www.urbandesignstudios.com

Trevi Isle
 Palm Beach Gardens, FL
 Site Plan



Project No: 04-030-005
 Designed By: SCM
 Drawn By: SCM
 Checked By: SCM
 Date: 04/11/05

SP-1
 of 5



WAIVER REQUESTS:

- Section 78-14(1), Fla. Stat. - The proposed site plan is in compliance with the minimum 30% lot coverage for a maximum of 47% lot coverage.
- Section 78-14(1), Fla. Stat. - The proposed site plan is in compliance with the minimum 30% lot coverage for a maximum of 47% lot coverage.
- Section 78-14(1), Fla. Stat. - The proposed site plan is in compliance with the minimum 30% lot coverage for a maximum of 47% lot coverage.
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- Section 78-14(1), Fla. Stat. - The proposed site plan is in compliance with the minimum 30% lot coverage for a maximum of 47% lot coverage.
- Section 78-14(1), Fla. Stat. - The proposed site plan is in compliance with the minimum 30% lot coverage for a maximum of 47% lot coverage.

PROPERTY DEVELOPMENT REGULATIONS

REQUIRED	PROPOSED
MINIMUM LOT AREA	1.00 AC.
MINIMUM LOT WIDTH	120 FT.
MINIMUM LOT DEPTH	120 FT.
MINIMUM LOT AREA	1.00 AC.
MINIMUM LOT WIDTH	120 FT.
MINIMUM LOT DEPTH	120 FT.

VEHICULAR PARKING

REQUIRED	PROPOSED
VEHICULAR PARKING	111 SPACES

VEHICULAR PARKING

REQUIRED	PROPOSED
VEHICULAR PARKING	111 SPACES

VEHICULAR PARKING

REQUIRED	PROPOSED
VEHICULAR PARKING	111 SPACES

PROPERTY DEVELOPMENT REGULATIONS

REQUIRED	PROPOSED
MINIMUM LOT AREA	1.00 AC.
MINIMUM LOT WIDTH	120 FT.
MINIMUM LOT DEPTH	120 FT.
MINIMUM LOT AREA	1.00 AC.
MINIMUM LOT WIDTH	120 FT.
MINIMUM LOT DEPTH	120 FT.

VEHICULAR PARKING

REQUIRED	PROPOSED
VEHICULAR PARKING	111 SPACES

VEHICULAR PARKING

REQUIRED	PROPOSED
VEHICULAR PARKING	111 SPACES

VEHICULAR PARKING

REQUIRED	PROPOSED
VEHICULAR PARKING	111 SPACES

NOTES:

- BASE INFORMATION BASED ON BOUNDARY PROVIDED BY WANTAN GROUP, INC. UPDATED 05-2015.
- LANDSCAPING SHALL BE FIELD ADJUSTED TO AVOID CONFLICT WITH UTILITIES AND LIGHT POLES.
- A MINIMUM 10' BUFFER SETBACK SHALL BE MAINTAINED FROM REAR PROPERTY LINE.
- ALL ACCESSIBLE PARKING SPACES SHALL EXCEED A 20' X 30' SIZE.
- FINAL LOCATIONS OF ALL PROPOSED TRAFFIC SIGNAGE SHALL BE ESTABLISHED BY THE ENGINEER OF RECORD.
- USE EXISTING UTILITIES AND TRUNKS AS MUCH AS PRACTICABLE.
- CONCRETE DETAILS TO BE SHOWN ON ENGINEERING CONSTRUCTION PLANS.
- SEE ENGINEERING INFORMATION AND PLANS FOR ROADWAY CROSS SECTIONS.
- SHOULDER INFORMATION AND PLANS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- SMOOTH TO FIELD ADJUSTMENTS.
- HANDICAPPED PARKING SPACES SHALL BE PLACED BEHIND THE SIDEWALK IN AREAS WHERE SIDEWALK IS REQUIRED. THE TWO AND A HALF (2 1/2) FOOT OVERTHANG AREA WHERE WHEEL STOPS ARE NOT PROVIDED.

CONSULTANTS:

Urban Design Studios
 477 S. Rosemary Ave., Suite 225
 West Palm Beach, FL 33401
 (561) 366-1100
 (561) 746-8464

CIVIL ENGINEER
 2003 Lake County
 West Palm Beach, FL 33411
 (561) 671-2220

CONTRACT DATA:

PERMITTED	PROPOSED
PERMITTED	PROPOSED

CONTRACT DATA:

Urban Design Studios
 477 S. Rosemary Ave., Suite 225
 West Palm Beach, FL 33401
 (561) 366-1100
 (561) 746-8464

CIVIL ENGINEER
 2003 Lake County
 West Palm Beach, FL 33411
 (561) 671-2220



Mr. Dave Young, PE
Palm Beach County
Roadway Production Division
2300 N. Jog Road
West Palm Beach, FL 33411

Subject:
Hood Road & Central Boulevard
Intersection Improvements
Palm Beach County Project No. 2014502

Dear Mr. Young

We are pleased to submit this proposal for professional services for the improvement of the intersection of Hood Road and Central Boulevard. The scope of services included in this proposal consists of the preparation of plans for the construction of a second left turn lane on the north and south approaches and the addition of an exclusive right turn lane on the south approach.

The existing lane configuration on the north approach of the intersection consists of the following:

- Single SB left turn lane
- Two SB thru lanes
- Two NB thru lanes
- Single SB right turn lane and 5' bike lane

The existing right of way width on the north approach is 120 feet.

The existing lane configuration on the south approach of the intersection consists of the following:

- Two SB thru lanes
- Single NB left turn lane
- Two NB thru lanes

The existing right of way width on the south approach is approximately 120 feet.

Central Boulevard will be widened to provide for the additional left turn lane on both approaches and a south approach right turn lane. The dual left turn lanes will provide for 450 feet of storage and a 100 foot long taper. The right turn lane will provide for

Imagine the result



*OK as to
scope fee.
KDF
8/7/14*

ARCADIS U.S., Inc.
2081 Vista Parkway
Suite 200
West Palm Beach
Florida 33411
Tel 561 697 7000
Fax 561 697 7751
www.arcadis-us.com

Transportation

Date:
July 2, 2014

Contact:
Henry Deibel

Phone:
(561) 697-7075

Email:
Hank.deibel@arcadis-us.com

Our ref:

Florida License Numbers

Engineering
EB00007917

Geology
GB564

Surveying
LB7062

280 feet of storage and a 50 foot long taper. The proposed lane configuration on the north approach will be:

- Single 11' SB right turn lane
- 5' shoulder
- Two 11' SB thru lanes
- Two 11' SB left turn lanes
- Minimum 7' wide raised median
- Two 11' NB thru lanes. The NB thru lanes at the intersection will be widened to accommodate the dual left turns from the west approach (15' and 12' lanes).
- 3' outside paved shoulder ✓

The proposed lane configuration on the south approach will be

- Single 11' NB right turn lane
- 5' shoulder
- Two 11' NB thru lanes
- Two 11' NB left turn lanes
- Minimum 7' wide raised median
- Two 11' SB thru lanes The SB thru lanes at the intersection will be wide enough to accommodate the dual left turns from the east approach (15' and 12' lanes).
- 4' outside paved shoulder

Curb and gutter and concrete sidewalks will be provided. The design speed for the project will be 45 mph. No improvements are anticipated on Hood Road. The widening will occur on the east side of the intersection so as to avoid the need to acquire additional right of way on the west side of Central Boulevard.

The following plan sheets will be prepared:

- Cover sheet ✓
- Typical sections ✓
- General notes
- Summary of quantities
- Roadway plan sheets
- Intersection Plateau Plans
- Drainage Structure Sheets

- Cross sections
- Pavement marking and signage plans
- Signalization plans

Survey services will be provided by Brown & Phillips Inc. in accordance with the attached proposal. The survey will consist of a topographic location survey to map the existing conditions at the project site. The survey limits on Central Boulevard will be from approximately 2000 feet south of Hood Road to 800 feet north of Hood Road. The survey limits on Hood Road will be from 50 feet west of Central Boulevard to 50 feet east of Central Boulevard. Cross sections will be obtained at 100-foot intervals for use in the design of the project.

A subsurface geotechnical testing program will be performed for the project. The geotechnical testing will be performed by Tierra South Florida in accordance with the attached proposal.

Traffic signal improvement plans will be prepared by Simmons & White in accordance with the attached proposal. The signal improvements will consist of the design of new mast arms on the NE and SE corners. A structural analysis of the two mast arms on the NW and SW corners will be performed to determine if the existing system can be modified to accommodate the proposed roadway improvements. Should the existing system prove to be acceptable, the final design will be based on utilizing the existing mast arms on the NW and SW corners. Should the existing mast arm system be found to be structurally deficient, the final plans will be prepared for a new mast arm traffic signal system.

It is anticipated that the project will require permits from the following regulatory agencies:

- South Florida Water Management District
- Northern Palm Beach County improvement District

Permit application packages will be submitted to these agencies for review and approval.

Utility coordination services will be provided. Utility coordination meetings will be conducted at the initial contact, utility pothole, and final plan stages. As an optional service if needed, utility pothole services will be provided by Ground Hound Detection Services. Ground Hound will excavate a maximum of 10 test holes to

ARCADIS

Mr. Dave Young
July 2, 2014

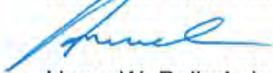
confirm the location of existing utilities for use in the design of the proposed improvements. Attached is a copy of Ground Hound's proposal for this work.

Enclosed please find a fee summary and breakdown for this project. We thank you for the opportunity to submit this proposal and look forward to working with you towards the successful completion of this project.

Please feel free to contact our office if you have any questions or require any additional information.

Sincerely,

ARCADIS U.S., Inc.



Henry W. Deibel, Jr., PE
Associate Vice President

Copies:

Serge Jerome



October 3, 2016

Department of Engineering and Public Works

P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbcgov.com

Ms. Joann Skaria, AICP
Senior Planner
City of Palm Beach Gardens
10500 North Military Trail
Palm Beach Gardens, Florida 33410

**RE: Hood Road Residential/Trevi Isles
Project #: 150411
TRAFFIC PERFORMANCE STANDARDS REVIEW**

Dear Ms. Skaria:

The Palm Beach County Traffic Division has reviewed the **Hood Road Residential** revised Traffic Impact Analysis prepared by Kimley-Horn & Associates, dated September 29, 2016, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County Land Development Code. The project is summarized as follows:

Municipality:	City of Palm Beach Gardens
Location:	North side of Hood Road, just west of the Turnpike
PCN #:	52-42-41-34-00-000-1030, 52-42-41-27-00-000-5010
Existing Uses:	Vacant
Proposed Uses:	50 Multi-Family DU (Condo/Town-House)
Access:	A full access driveway connection on Hood Road
New Daily Trips:	333
New Peak Hour Trips:	30 AM (5/25) and 34 PM (23/11)
Build-out:	December 31, 2019

Based on our review, the Traffic Division has determined the proposed development meets the Traffic Performance Standards of Palm Beach County.

Please note the receipt of a Traffic Performance Standards (TPS) approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

Palm Beach County Board of County Commissioners

- Mary Lou Berger, Mayor
- Hal R. Valeche, Vice Mayor
- Paulette Burdick
- Shelley Vana
- Steven L. Abrams
- Melissa McKinlay
- Priscilla A. Taylor

County Administrator

Verdenia C. Baker

"An Equal Opportunity Affirmative Action Employer"



Ms. Joann Skaria, AICP
Hood Road Residential – Trevi Isles
October 3, 2016
Page 2 of 2

No building permits are to be issued by the City after the build-out date specified above. The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-684-4030 or e-mail to qbari@pbcgov.org

Sincerely,

Quazi Bari, P.E.
Senior Professional Engineer
Traffic Division

QAB/dd

cc: Addressee
Adam B. Kerr, P.E. – Kimley-Horn and Associates
Steve Bohovsky - Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\MMT\MUNICIPALITIES\APPROVALS\2016\150411 - HOOD ROAD
RESIDENTIAL TREVI ISLES.DOCX



Transportation Consultants



2005 Vista Parkway, Suite 111
West Palm Beach, FL 33411-6700
(561) 296-9698 Fax (561) 684-6336
Certificate of Authorization Number: 7989

October 27, 2016

Ms. Joann Skaria, AICP
Senior Planner
City of Palm Beach Gardens, Planning & Zoning
10500 North Military Trail
Palm Beach Gardens, Florida 33410

**Re: Trevi Isle PUD Concurrency - #PTC14-002K
CONC-14-07-000026, PPUD-14-07-000037**

Dear Ms. Skaria:

Pinder Troutman Consulting, Inc. (PTC) has completed our review of the Concurrency Certification request submittal package. Specifically, we have reviewed the Traffic Impact Analysis, prepared by Kimley-Horn and Associates, Inc. dated September 29, 2016, with subsequent revisions on October 3, 2016, and the revised Site Plan dated-stamped by the City on October 25, 2016. The project is summarized below:

Proposed Uses:	50 multi-family/townhomes
Access:	On Hood Road – 1 Full Driveway
New Daily Trips:	333
New Peak Hour Trips:	AM Peak: 5 In; 25 Out; 30 Total PM Peak: 23 In; 11 Out; 34 Total
Buildout Date:	December 31, 2019

Based on our review, we have determined that the proposed project meets the Traffic Performance Standards of the City of Palm Beach Gardens with the following conditions:

1. Prior to the issuance of the first building permit, Applicant shall provide a copy of the Palm Beach County Engineering Department permit for the driveway on Hood Road including the westbound right turn lane on Hood Road.
2. Prior to the issuance of the first Certificate of Occupancy, the Applicant shall design and construct a westbound right turn lane on Hood Road, in accordance with Palm Beach County Engineering Department standards at the proposed driveway.
3. No building permits may be issued after December 31, 2019.

Please contact me if you have any questions or need any additional information.

Sincerely,

Linda Riccardi, P.E.
Project Manager

ENGINEER'S DRAINAGE STATEMENT

Trevi Isle
WGI No. 1543.01

April 2, 2015

The proposed project is a 12.39 acre site with a proposed 50-unit multi-family development at the northwest corner of the Turnpike and Hood Road in the City of Palm Beach Gardens in Palm Beach County, Florida. The site is bordered by Hood Road to the south, the Turnpike to the east, and the Eastpointe Country Club to the north and west.

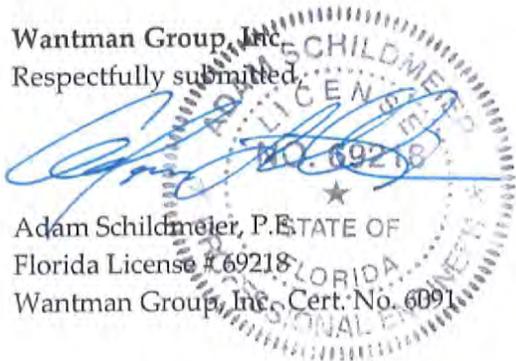
The proposed improvements include twelve buildings with eleven residential structures and a clubhouse. The development will include roadway, drainage and utility infrastructure to support the subdivision.

The proposed drainage system will consist of curbing, inlets, pipes, a perimeter berm and an on-site lake. The runoff from the roadway will collect in the curbing and inlets while the pipes route it to the on-site lake. The perimeter berm will be designed to hold the 100-year, 3-day storm event on-site. The Finished Floor elevation will be set a minimum of 6" above the same elevation. A control structure with a 3" bleeder at the wet season water table will connect the lake to the Turnpike to aid in recovery of the system in all rain events.

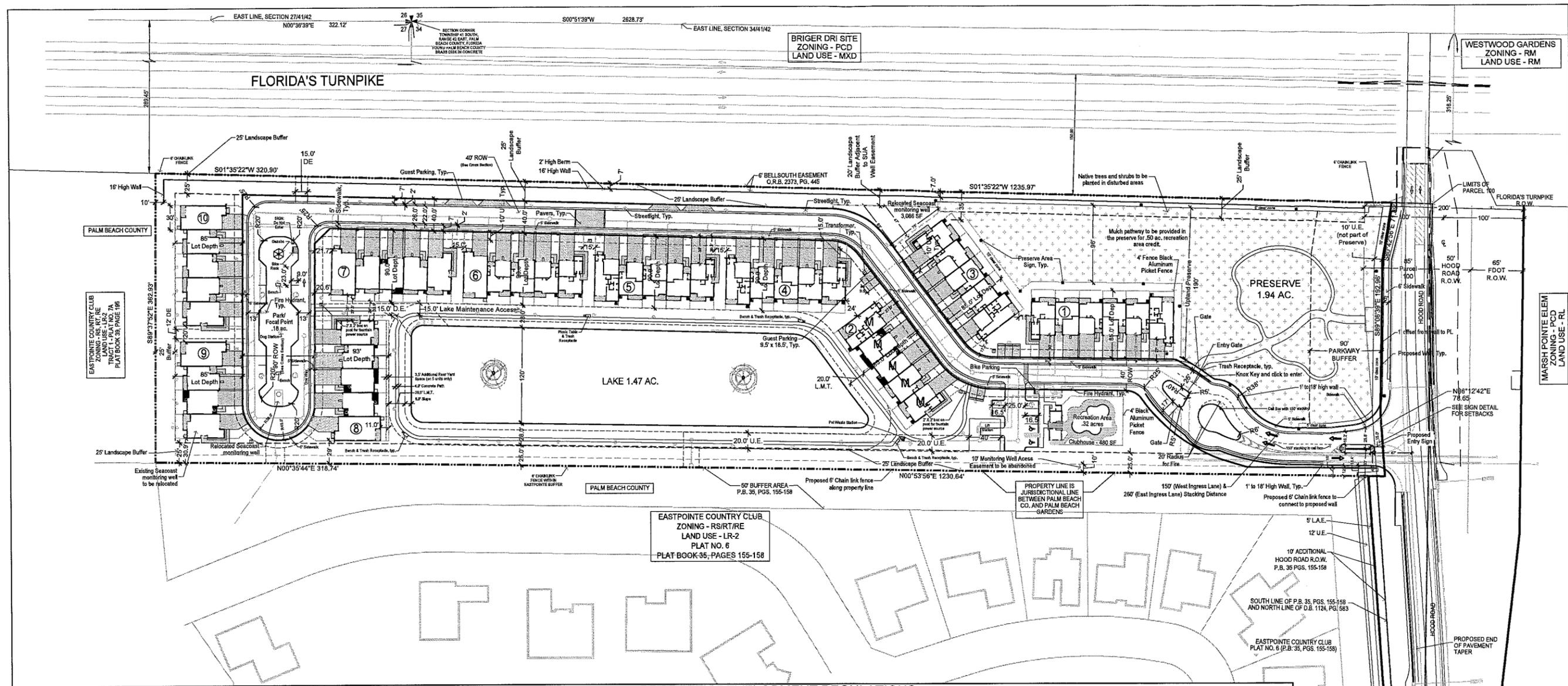
The system is designed so it will not connect to NPBCID and Eastpointe's existing lake network. Thus it will have no adverse effect to adjacent properties.

This project is within the South Florida Water Management District (SFWMD), the Northern Palm Beach County Improvement District (NPBCID), and the City of Palm Beach Gardens. The site will meet the criteria of each of these jurisdictions. In particular, the discharge from the bleeder will be less than the 0.81cfs as required by the SFWMD C-18 Canal.

Wantman Group, Inc.
Respectfully submitted,



Adam Schildmeier, P.E.
Florida License #69218
Wantman Group, Inc. Cert. No. 6091



Urban design kilday STUDIOS
 Urban Planning & Design
 Landscape Architecture
 Communication Graphics

610 Clematis Street, Suite CU02
 West Palm Beach, FL 33401
 561.366.1100 FAX 561.366.1111
 www.udkstudios.com
 #LCC000035

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Trevi Isle
 Palm Beach Gardens, FL
 Site Plan

SITE DATA:

PETITION NUMBERS:	PPUD-14-07-000037 CONC-14-07-000026 CPMA-14-07-000018 TREVISLE
PROJECT NAME:	TREVISLE
EXISTING LAND USE DESIGNATION:	RM
PROPOSED LAND USE DESIGNATION:	RL-2
EXISTING ZONING DISTRICT:	RM
PROPOSED ZONING DISTRICT:	34/41/42 & 27/41/42
SECTION/TOWNSHIP/RANGE:	52-42-41-34-00-000-1030
PCN (S):	52-42-41-27-00-000-5010
GROSS SITE AREA:	12.50 AC.
RESIDENTIAL HOUSING TYPE:	MULTI-FAMILY
(FEE SIMPLE, 2 STORES, LOT SIZE=30' X 80')	
RESIDENTIAL HOUSING CLASSIFICATION:	ATTACHED
TOTAL DWELLING UNITS:	50 D.U.
PROPOSED GROSS DENSITY (50D.U. / 12.50 AC.):	4.0 D.U./AC.
BUILDING HEIGHT	23'-7"
TOTAL BEDROOMS: 39 UNITS @ 3 BRDMS & 11 UNITS @ 4 BRDMS =	161 BR.
LOT COVERAGE ALLOWED (MAX. 35%):	MAX. 4.40 AC.
PROVIDED:	1.50 AC. (11.94%)
OPEN SPACE REQUIRED	ACREAGE %
	5.02 AC. 40%
OPEN SPACE PROPOSED	ACREAGE %
Landscape / Sod areas / LMT*	4.34 ac. / 189,948 SF
Retention Water Surface Area	1.47 ac. / 64,078 SF
Preserve Area	1.94 ac. / 84,459 SF
Recreation Area	0.50 ac. / 21,780 SF
Total:	8.25 ac. / 359,265 SF 66%
*LMT is planted with sod and does not include the sidewalk; the corresponding acreage is included in the landscape/sod areas.	
UPLAND PRESERVE RETENTION AREA:	1.94 AC.
RECREATION AREA:	1.47 AC.
BUILDING COVERAGE:	0.50 AC.
ROW:	1.45 AC.
DRIVEWAYS/GUEST PARKING/SIDEWALK:	2.11 AC.
LANDSCAPE AREA (DOES NOT INCLUDE LA IN ROW):	0.69 AC.
TOTAL AREA:	4.34 AC.
	12.50 AC.

REQUIRED RECREATION AREA:	1.00 AC.
PROPOSED RECREATION AREA:	0.32 AC.
PROPOSED PARK:	0.18 AC.
PRESERVE CREDIT:	0.50 AC.
TOTAL:	1.00 AC.

VEHICULAR PARKING	
PARKING SPACES REQUIRED	171 SPACES
SPACES PER UNIT (1 sp. per bedroom)	161 SP.
GUEST SPACES (161 sp X 5%)	8 GUEST SP.
CLUBHOUSE SPACES (1 sp. / 300 SF @ 480 SF)	2 SP.
PARKING SPACES PROPOSED	226 SPACES
GARAGE SPACES	100 SP.
DRIVEWAY SPACES	100 SP.
GUEST SPACES	24 SP.
(6 GUEST SPACES LOCATED @ CLUBHOUSE)	
CLUBHOUSE SPACES	2 SP.
TOTAL	226 SP.
PARKING SPACE SIZE	200 @ 9' X 18.5' - (100 in Driveway, 100 in Garage)
	12 @ 9.5' X 18.5' - (@ Clubhouse & onstreet)
	12 @ 9.0' X 23' - (Parallel)
	2 @ 12.0' X 19.5' - (ADA @ Clubhouse)

REQUIRED RECREATION AREA:	1.00 AC.
PROPOSED RECREATION AREA:	0.32 AC.
PROPOSED PARK:	0.18 AC.
PRESERVE CREDIT:	0.50 AC.
TOTAL:	1.00 AC.

REQUIRED RECREATION AREA:	1.00 AC.
PROPOSED RECREATION AREA:	0.32 AC.
PROPOSED PARK:	0.18 AC.
PRESERVE CREDIT:	0.50 AC.
TOTAL:	1.00 AC.

CONSULTANTS:

LAND PLANNER: Urban Design Kilday Studios
 610 Clematis Street, Suite CU02
 West Palm Beach, FL 33401
 (561) 366-1100

SURVEYOR: Lidberg Land Surveying
 675 West Indantown Road, Suite 200
 Jupiter, FL 33458
 (561) 746-8454

CIVIL ENGINEER: Wantman Group
 2035 Vista Parkway
 West Palm Beach, FL 33411
 (561) 687-2220

PROPERTY DEVELOPMENT REGULATIONS

RM DISTRICT (12.50 AC.)	REQUIRED	PROPOSED
LOT COVERAGE	MAX. 35%	12% (1.50 AC.)
BUILDING HEIGHT	MAX. 36' / 2-STORY	26' / 2-STORY
MINIMUM SITE AREA	254,700 SF / 5.84 AC.	547,114 SF / 12.56 AC.
LOT WIDTH	90'	30'

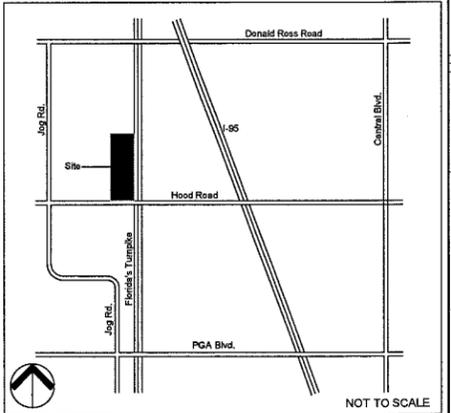
SETBACKS	REQUIRED	PROPOSED
FRONT	30'	20' to Garage/15' Structure
SIDE	10'	0'
SIDE STREET	20'	NA
REAR	20'	7'
MIN. BUILDING SEPARATION	-	15'
POOLS	-	Not Allowed

BUFFERS	REQUIRED	PROVIDED
SOUTH PROPERTY LINE	90'	90'
EAST PROPERTY LINE	25'	25'
NORTH PROPERTY LINE	25'	25'
WEST PROPERTY LINE	25'	25'

NOTES:

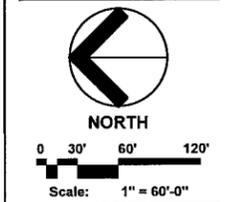
- BASE INFORMATION BASED ON BOUNDARY PROVIDED BY WANTMAN GROUP, INC UPDATED 06-26-15.
- LANDSCAPING SHALL BE FIELD ADJUSTED TO AVOID CONFLICTS WITH UTILITIES AND LIGHT POLES.
- A MINIMUM 15' BUILDING SETBACK WILL BE MAINTAINED FROM SEACOAST LINES.
- ALL STOP BARS SHALL BE SETBACK 4' IN ADVANCE OF PEDESTRIAN CROSSWALKS.
- ALL ACCESSIBLE PAVED ROUTES SHALL NOT EXCEED A 2.0:1 SLOPE.
- FINAL LOCATIONS OF ALL PROPOSED TRAFFIC SIGNAGE SHALL BE ESTABLISHED BY THE ENGINEER OF RECORD.
- ALL PAVEMENT MARKING AND STRIPING, EXCLUDING PARKING STALL STRIPING, SHALL BE INSTALLED WITH THERMOPLASTIC MATERIALS. PAVER BRICKS OF APPROPRIATE COLOR SHALL BE USED ON PAVER BRICK AREAS IN LIEU OF PAINT OR THERMOPLASTIC MATERIAL.
- CURBING DETAILS TO BE SHOWN ON ENGINEERING CONSTRUCTION PLANS.
- SEE ENGINEERING PLANS FOR ROADWAY CROSS SECTIONS.
- SURROUNDING INFORMATION AND PLANS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
- PATHWAYS WITHIN PARKWAYS AND IN THE PRESERVE ARE CONCEPTUAL IN NATURE AND ARE SUBJECT TO FIELD ADJUSTMENTS.
- HANDICAP PARKING SIGNS SHALL BE PLACED BEHIND THE SIDEWALK IN AREAS WHERE SIDEWALK ABUTS THE STALL AND OUTSIDE THE TWO AND A HALF (2 1/2) FOOT OVERHANG AREA WHERE WHEEL STOPS ARE NOT PROVIDED.
- LIGHT POLES & TREES WILL BE FIELD LOCATED TO AVOID CONFLICTS
- LIGHT POLES WILL BE SETBACK A MINIMUM OF 10' FROM WATER & SEWER FACILITIES UNLESS A DIRECT BURIAL POLE IS USED, THEN A 4' SETBACK WILL BE MAINTAINED.

LOCATION MAP



WAIVER REQUESTS:

- Sec. 78-141, Table 10: Lot width - A waiver to allow a reduction of the minimum lot width of 100 feet for a multifamily dwelling to allow 30 foot wide lots.
- Sec. 78-141, Table 10: Lot Coverage - A waiver to allow for an increase in the maximum 35% lot coverage to allow for a maximum of 67% lot coverage.
- Sec. 78-141, Table 10: Front Setback - A waiver to allow for a reduction of the front 30 foot setback to allow for a front setback of 15 feet.
- Sec. 78-141, Table 10: Rear Setback - A waiver to allow for a reduction of the rear 20 foot setback to allow for a rear setback of 7 feet.
- Sec. 78-141, Table 10: Side Setback - A waiver to allow for a reduction of the side 10 foot setback to allow for a side setback of 0 feet.
- Sec. 78-154, Table 14: Minimum PUD Development Size - A waiver to allow a reduction in the size of a PUD Development from 250 acres to 12.5 acres.
- Sec. 78-166 (7)(a): Yards - A waiver to allow for an increase in the height of the perimeter wall from 8 feet to a height of 16 feet.
- Section 78-345(d)(3): Number of Parking Spaces Required - A waiver to allow an increase in the parking spaces provided in excess of 120% of the required parking. The waiver will allow for 55 parking spaces to be provided, an increase of 20 parking spaces.
- Section 78-441(c), Plat - A waiver to allow the issuance of vertical building permits for model homes prior to approval of the plat.



Date:	09-09-13
Project No.:	06-038.005
Designed By:	SCM
Drawn By:	SCM
Checked By:	KT
Revision Dates:	
06-11-14 Pre-app	SCM
06-27-14 Submittal	SCM
08-15-14 Resubmittal	SCM
04-02-15 Resubmittal	TLH
06-22-15 Revise Plan	SCM
11-18-15 Revise Plan	SCM
06-17-16 Resubmittal	SCM
08-15-16 Resubmittal	KWK
10-25-16 Resubmittal	KWK

SP-1
 of 5

TYP. 30' x 80' TOWNHOME LOTS

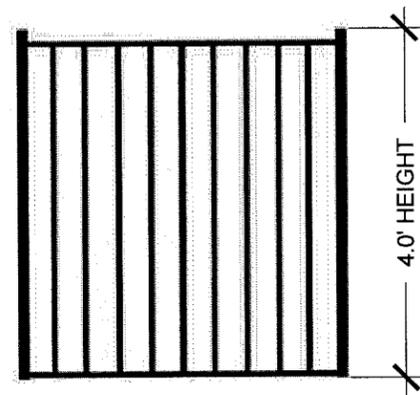
	BUILDING	POOL/SPA	DECK/SCREEN ENCLOSURE	FENCE
FRONT BUILDING SETBACK	15'			
FRONT GARAGE SETBACK	20'	N/A	N/A	N/A
SIDE SETBACK	0'	N/A	0'	0'
SIDE STREET SETBACKS	N/A	N/A	N/A	N/A
REAR SETBACK	7'	0'	7'*	0'
BUILDING SEPARATION	0/ 15'	-	-	-

N/A = NOT APPLICABLE

*SCREEN ENCLOSURE ONLY UNDER COVERED ROOF/LANIA

*POOLS ARE NOT ALLOWED

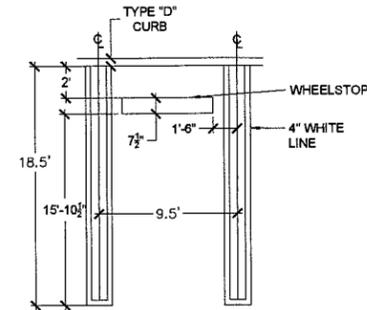
TYPICAL FENCE DETAIL



SCALE: N.T.S.
*BLACK ALUMINUM PICKET FENCE, 4' HEIGHT, TO BE USED IN REAR OF LOTS AND SURROUNDING POOL AND CLUBHOUSE AREA.

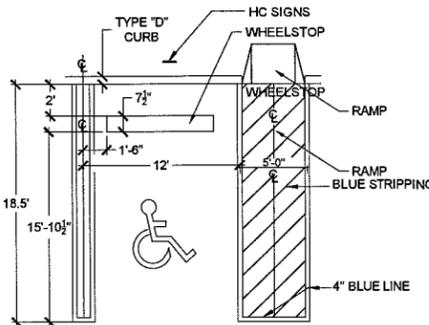
9.5' X 18.5' PARKING SPACE DETAIL

NOT TO SCALE



HANDICAP PARKING SPACE DETAIL

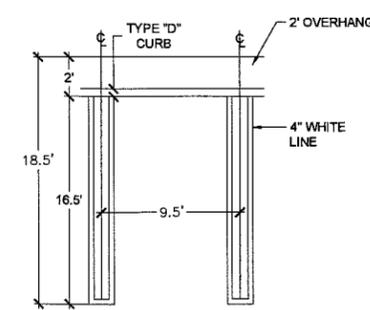
NOT TO SCALE



NOTE: ALL HC PARKING STALLS SHALL MEET THE FLORIDA ACCESSIBILITY CODE FOR BLDG.

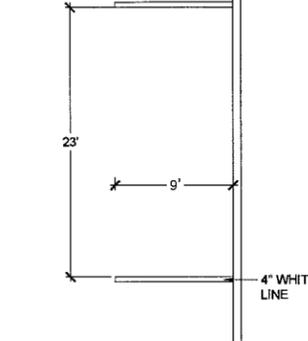
9.5' X 18.5' PARKING WITH OVERHANG DETAIL

NOT TO SCALE



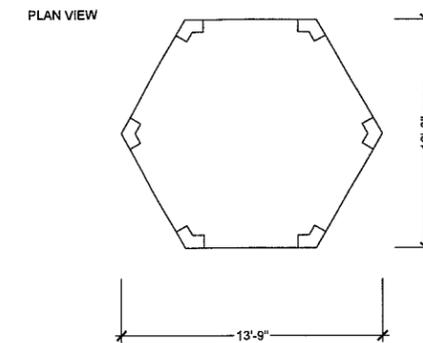
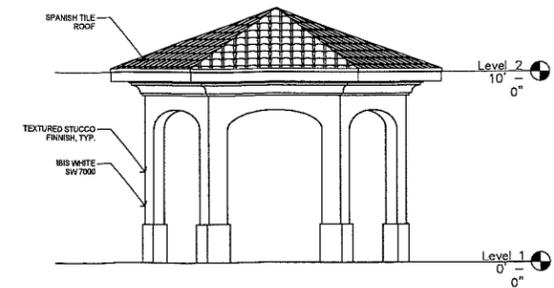
PARALLEL PARKING SPACE DETAIL

NOT TO SCALE

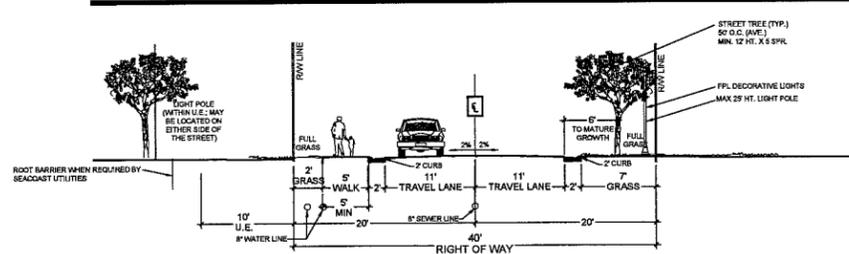


GAZEBO DETAIL

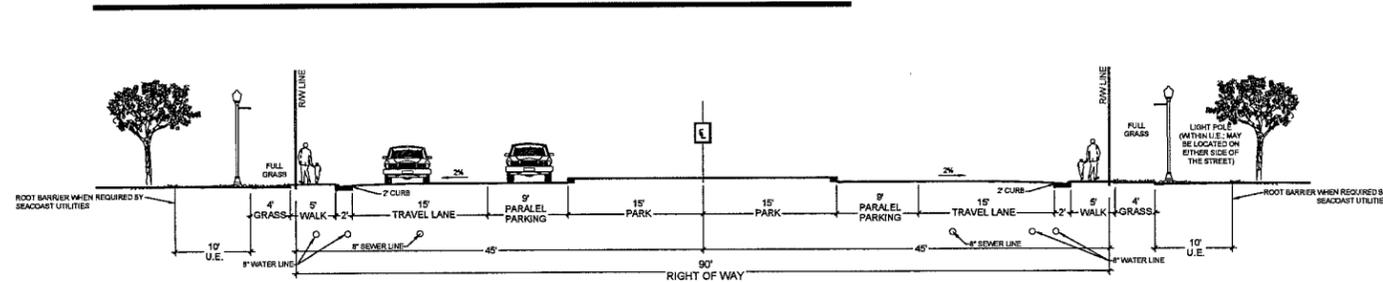
NOT TO SCALE



40' RIGHT OF WAY CROSS SECTION

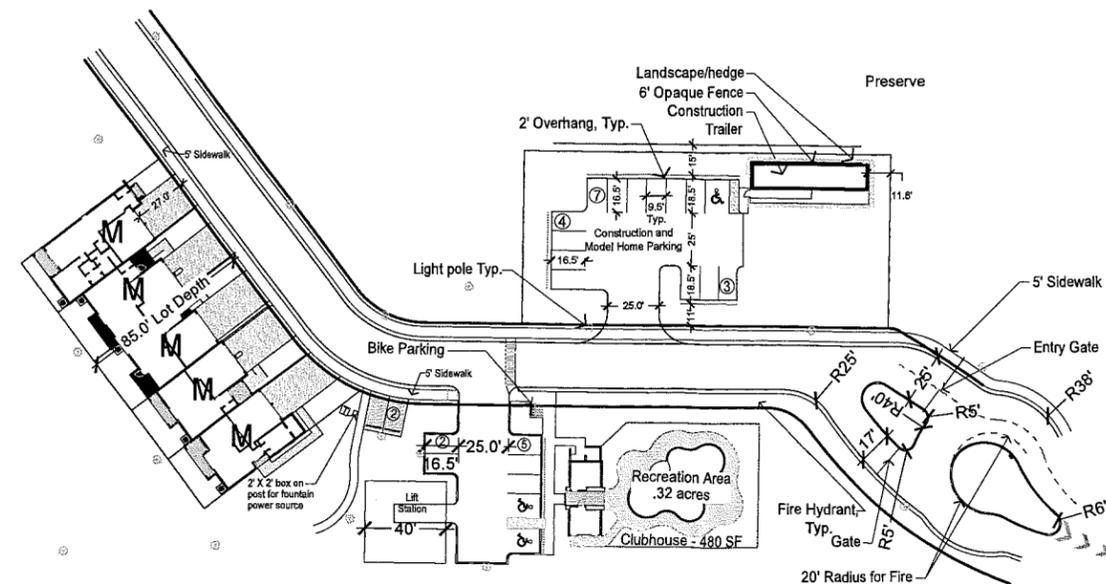


90' RIGHT OF WAY CROSS SECTION



CONSTRUCTION TRAILER DETAIL

To be located at Building 1 Pad
Landscape/hedge and Temporary Parking Lot improvements to be submitted with permit application.



Trevi Isle
Palm Beach Gardens, FL
Details



Scale: 1" = 60'-0"

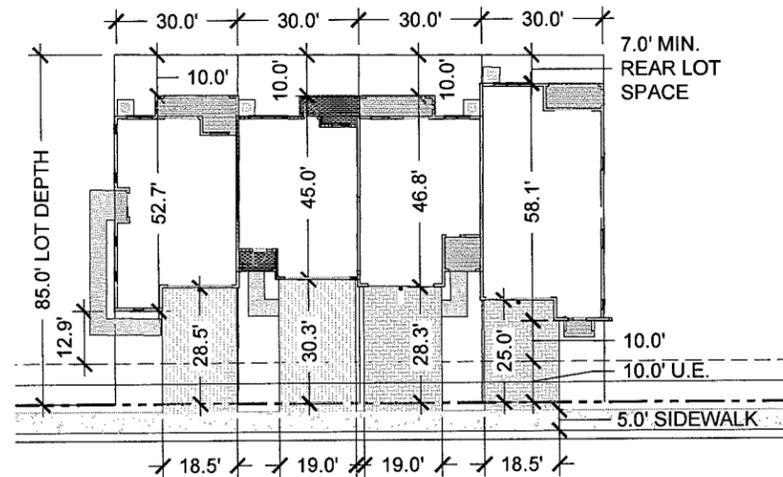
Date: 09-09-13
Project No.: 06-039.005
Designed By: SCM
Drawn By: SCM
Checked By: KT

Revision Dates:	
06-11-14 Pre-App Meeting	SCM
06-27-14 Submittal	SCM
08-19-14 Resubmittal	SCM
04-02-15 Resubmittal	TJM
07-22-15 Resubmittal	SCM
03-18-16 Review Plans	SCM
06-17-16 Review Plans	SCM
08-15-16 Resubmittal	KWK
10-25-16 Resubmittal	KWK

SP-2
of 5

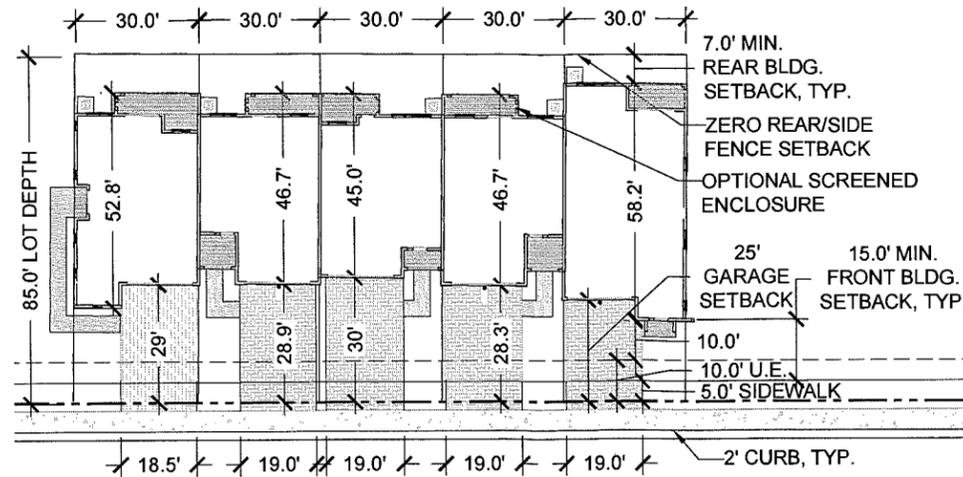
85' LOT DEPTH TYPICAL - 4 UNIT BUILDING

SCALE: 1" = 20'



85' LOT DEPTH TYPICAL - 5 UNIT BUILDING

SCALE: 1" = 20'



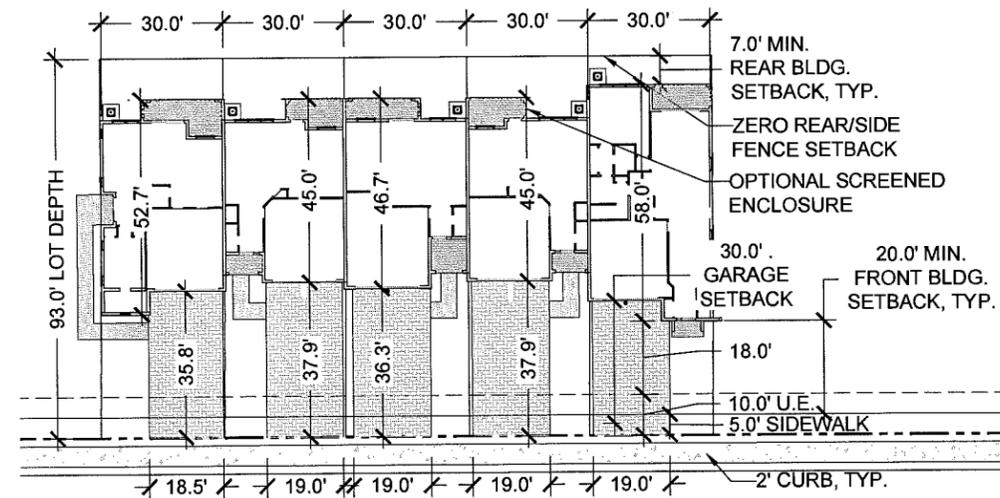
TYPICAL BENCH DETAIL

SCALE: N.T.S.



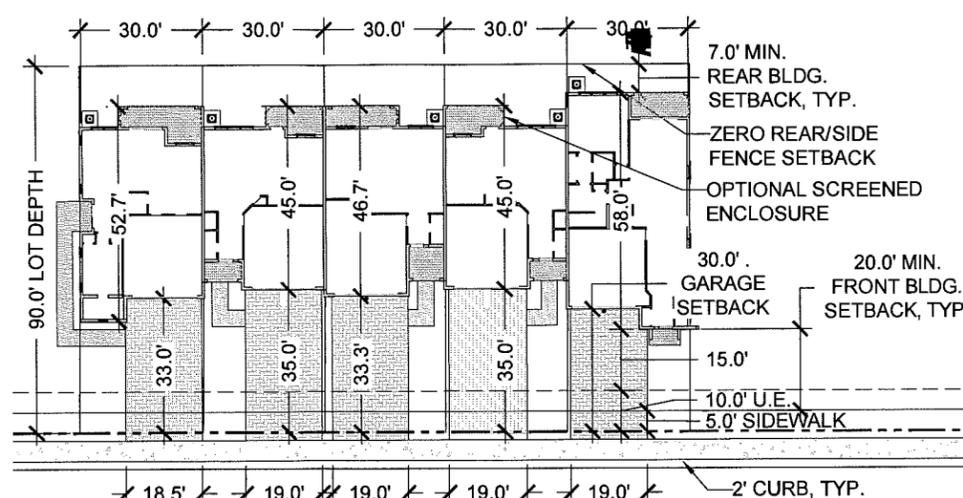
93' LOT DEPTH TYPICAL - 5 UNIT BUILDING

SCALE: 1" = 20'



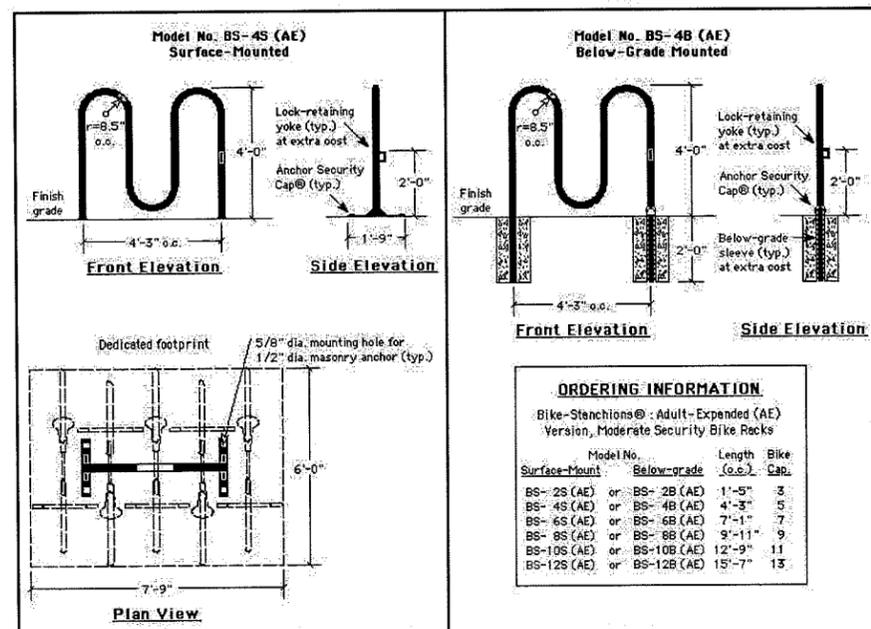
90' LOT DEPTH TYPICAL - 5 UNIT BUILDING

SCALE: 1" = 20'

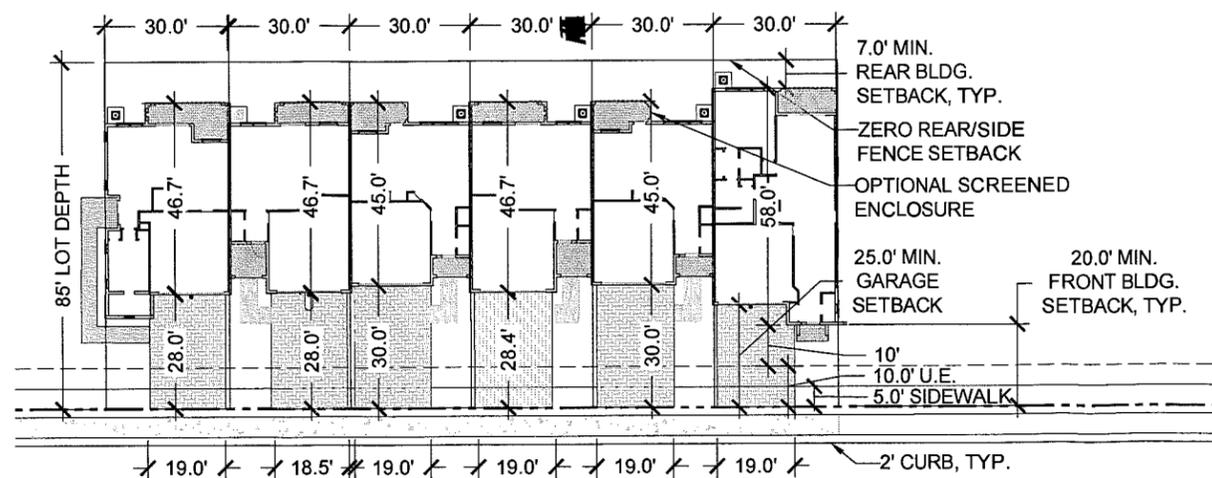


BIKE RACK DETAIL

SCALE: N.T.S.



85' LOT DEPTH TYPICAL - 6 UNIT BUILDING



urban design kilday STUDIOS

Urban Planning & Design
Landscape Architecture
Communication Graphics

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561.366.1100 FAX 561.366.1111
www.udkstudios.com
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Trevi Isle
Palm Beach Gardens, FL
Conceptual Site Plan



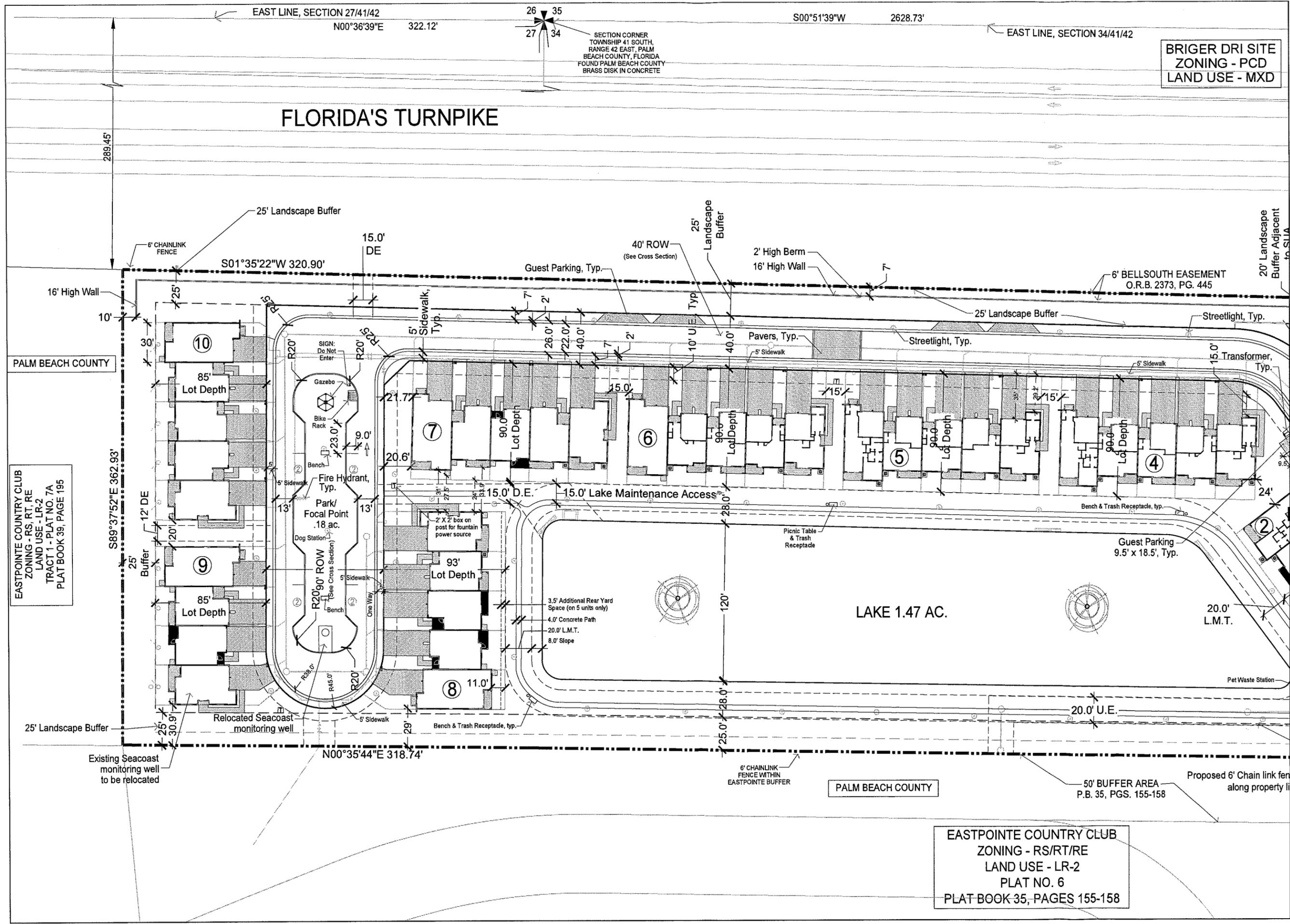
0 30' 60' 120'
Scale: 1" = 60'-0"

Date: 08-09-13
Project No.: 06-039.005
Designed By: SCM
Drawn By: SCM
Checked By: KT

Revision Dates:

06-11-14	Pre-App Meeting	SCM
06-27-14	Submittal	SCM
08-18-14	Resubmittal	SCM
07-02-15	Resubmittal	SCM
03-18-16	Revised Plans	SCM
05-17-16	Resubmittal	SCM
08-15-16	Resubmittal	KWK
10-25-16	Resubmittal	KWK

SP-3
of 5



BRIGER DRI SITE
ZONING - PCD
LAND USE - MXD

FLORIDA'S TURNPIKE

PALM BEACH COUNTY

EASTPOINTE COUNTRY CLUB
ZONING - RS, RT, RE
LAND USE - LR-2
TRACT 1 - PLAT NO. 7A
PLAT BOOK 39, PAGE 195

PALM BEACH COUNTY

EASTPOINTE COUNTRY CLUB
ZONING - RS/RT/RE
LAND USE - LR-2
PLAT NO. 6
PLAT BOOK 35, PAGES 155-158

**Urban
design
kilday
STUDIOS**

Urban Planning & Design
Landscape Architecture
Communication Graphics

610 Clematis Street, Suite CU02
West Palm Beach, FL 33401
561.366.1100 FAX 561.366.1111
www.udkstudios.com
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permission of the designer.

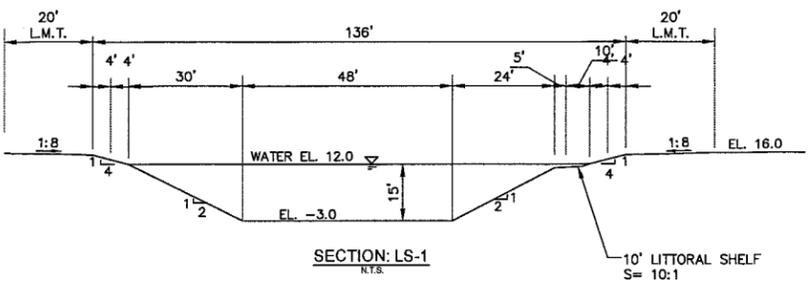
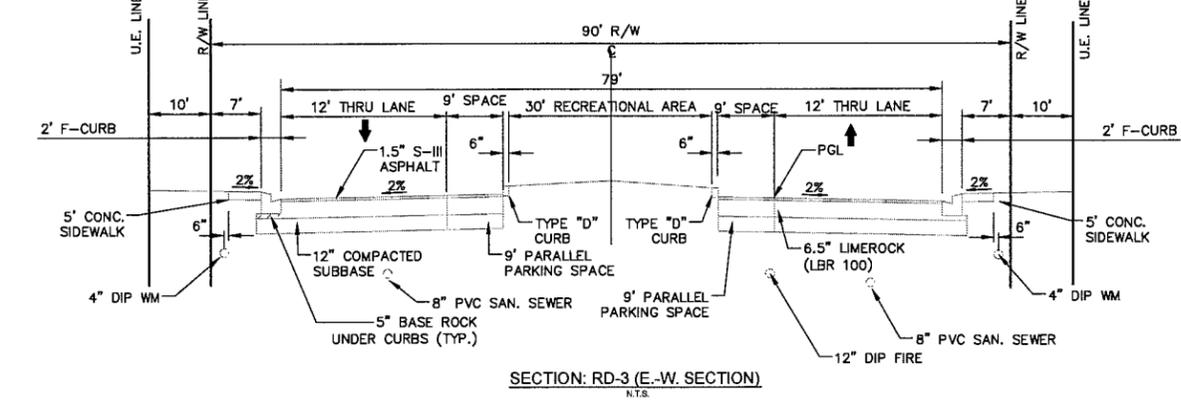
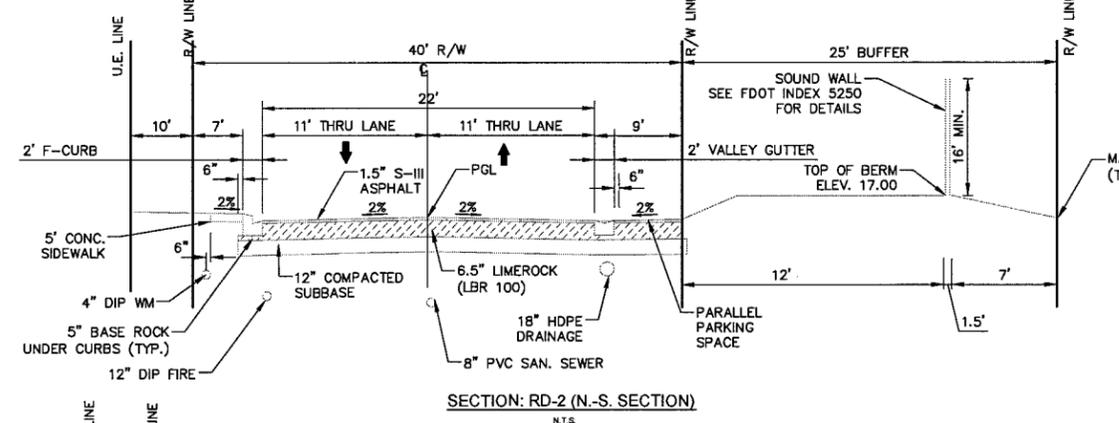
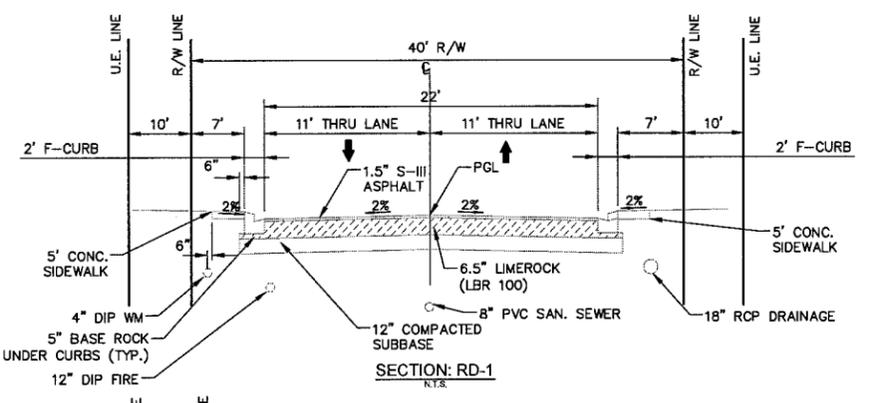
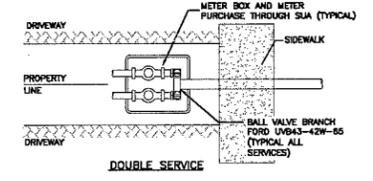
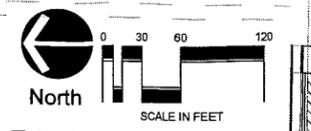
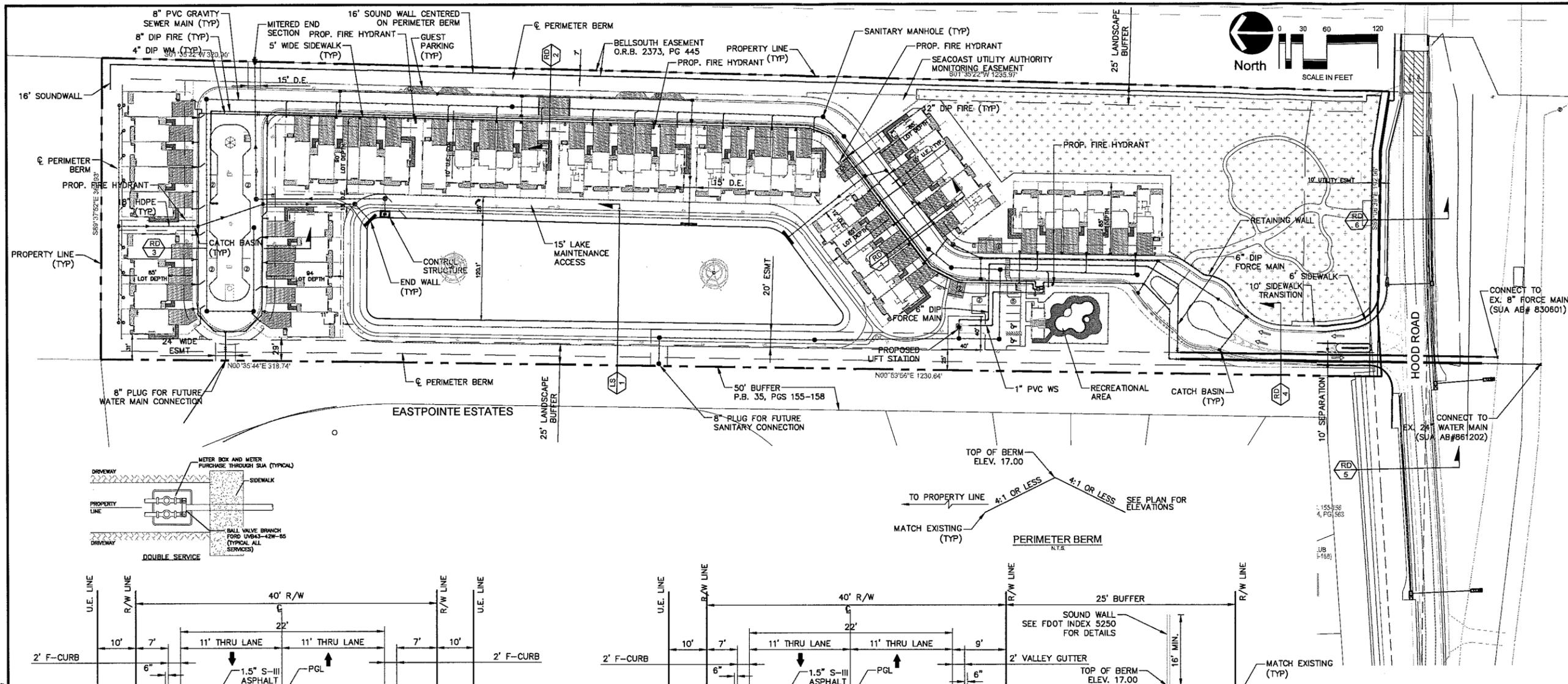
Trevi Isle
Palm Beach Gardens, FL
Site Plan



0 15' 30' 60'
Scale: 1" = 30'-0"

Date:	08-09-13
Project No.:	06-038.005
Designed By:	SCM
Drawn By:	SCM
Checked By:	KT
Revision Dates:	
06-11-14	Pre-app SCM
06-27-14	Submittal SCM
06-15-14	Resubmittal SCM
04-02-15	Resubmittal TLM
06-22-15	Revise Plan SCM
11-04-15	Revise Plan SCM
03-18-16	Revise Plan SCM
06-17-16	Resubmittal SCM
06-15-16	Resubmittal KWK
10-25-16	Resubmittal KWK

SP-4
of 5



LEGEND:

AC	ASBESTOS CEMENT
CONC	CONCRETE
DIP	DUCTILE IRON PIPE
ELEV. EL	ELEVATION
ESMT	EASEMENT
EX	EXISTING
INV	INVERT
LMT	LAKE MAINTENANCE TRACT
MIN	MINIMUM
PGL	POINT GRADE LINE
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
S	SLOPE
SUA	SANITARY SEACOAST UTILITY AUTHORITY
TYP	TYPICAL
UE	UTILITY EASEMENT
WM	WATER MAIN

EXISTING WATER MAIN	—————
PROPOSED DRAINAGE	—————
PROPOSED SEWER MAIN	—————
PROPOSED WATER MAIN	—————
PROPOSED MANHOLE	○
PROPOSED CATCH BASIN	□
PROPOSED VALVE	⊗
PROPOSED FIRE HYDRANT	⊕

FIRE CIVIL REVIEW NOTES:
 LARGEST STRUCTURE = 6-UNIT BUILDING = 14,545 SF
 BUILDING CONSTRUCTION MATERIAL = CBS

2006 Viera Parkway
 West Palm Beach, FL 33411
 Phone No. 661.667.2220
 Fax No. 661.667.1110
 Cert No. 6091 - LB No. 7066

ENGINEERING // SURVEYING // ENVIRONMENTAL // PLANNING

NO.	DATE	DESCRIPTION
1	6/7/16	REVISED SITE PLANS/UTILITIES

PROJECT:

CAD 1543.00 CIVIL PLANS/DWG	DRAWN	SCC
JOB NO. 1543.00	DESIGNED	SCC
TOTAL SHEETS 3	CHECKED	AS
DATE 12/31/15	QC	BUL
SCALE 1" = 60'		

ENGINEER OF RECORD:

ADAM SCHILDMEDER, P.E.
 PEF 66218

PROJECT:

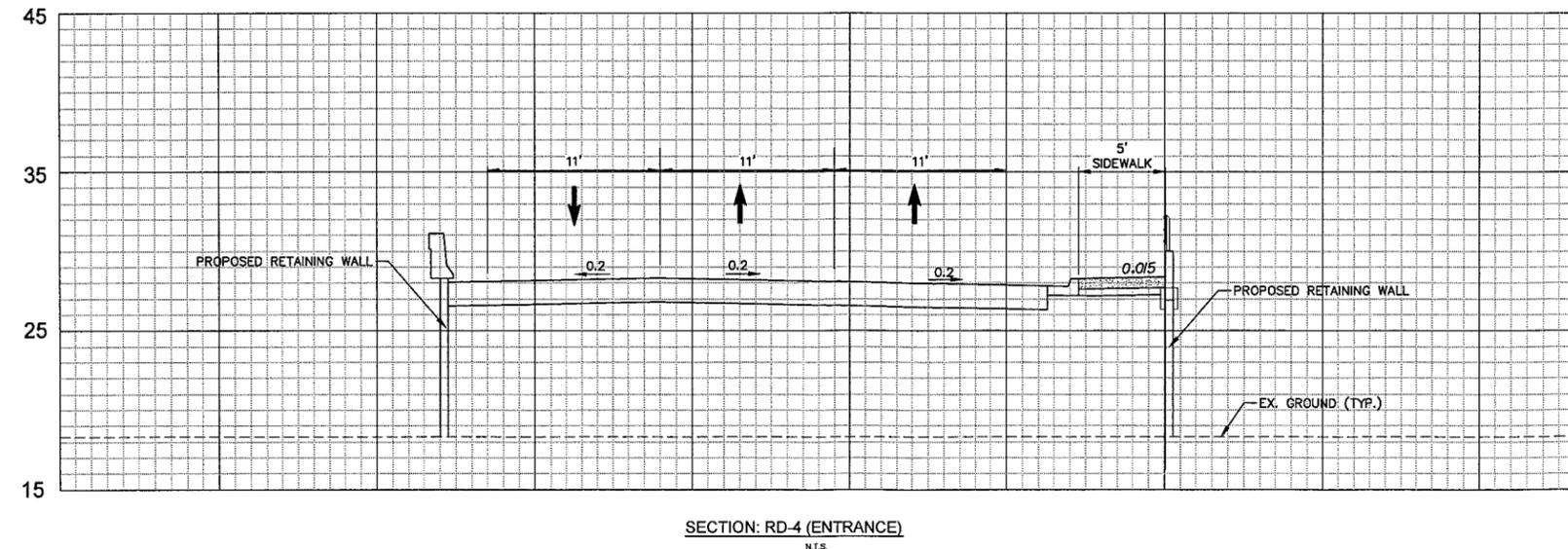
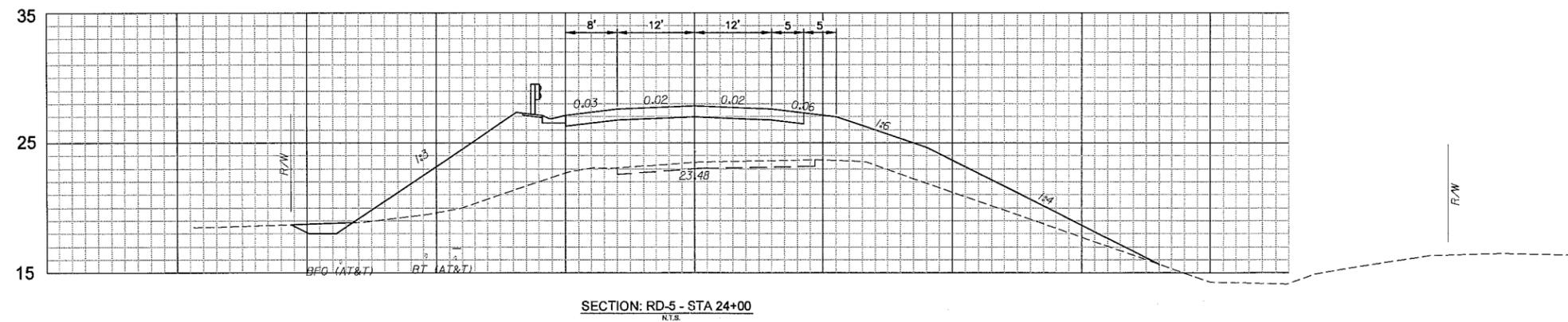
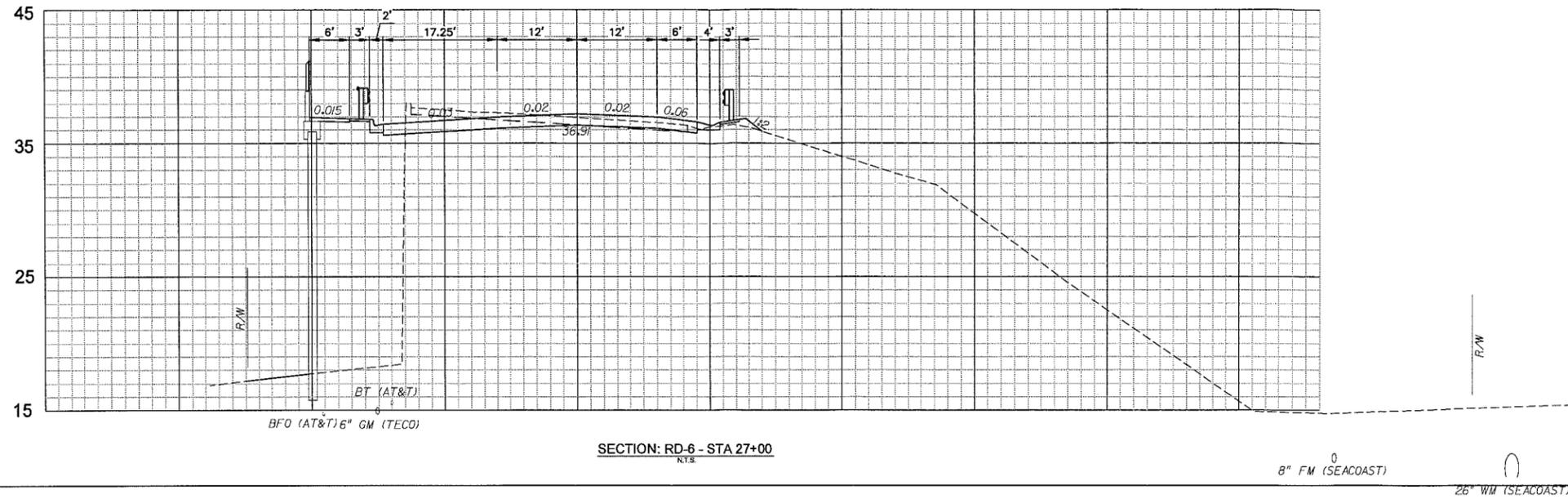
TREVILLES
 PRELIMINARY
 ENGINEERING PLAN

SHEET:

C-1

Adam Schildmeder at 1543.00 (Rev. 16/07/2016 8:31:54 AM) Saved 10/27/2016 11:36:48 AM

Adam Schildmeier - 11/14/15 10:14:00 From Adam Schildmeier (1543.00) Civil Plans.dwg - Plotfile: 5/15/2016 10:15:37 AM Scale: 5/15/2016 6:03:12 PM



2006 Vicra Parkway
West Palm Beach, FL 33411
Phone No. 561.867.2300
Fax No. 561.867.1110
Cert. No. 6091 - LB No. 7066

IWGI

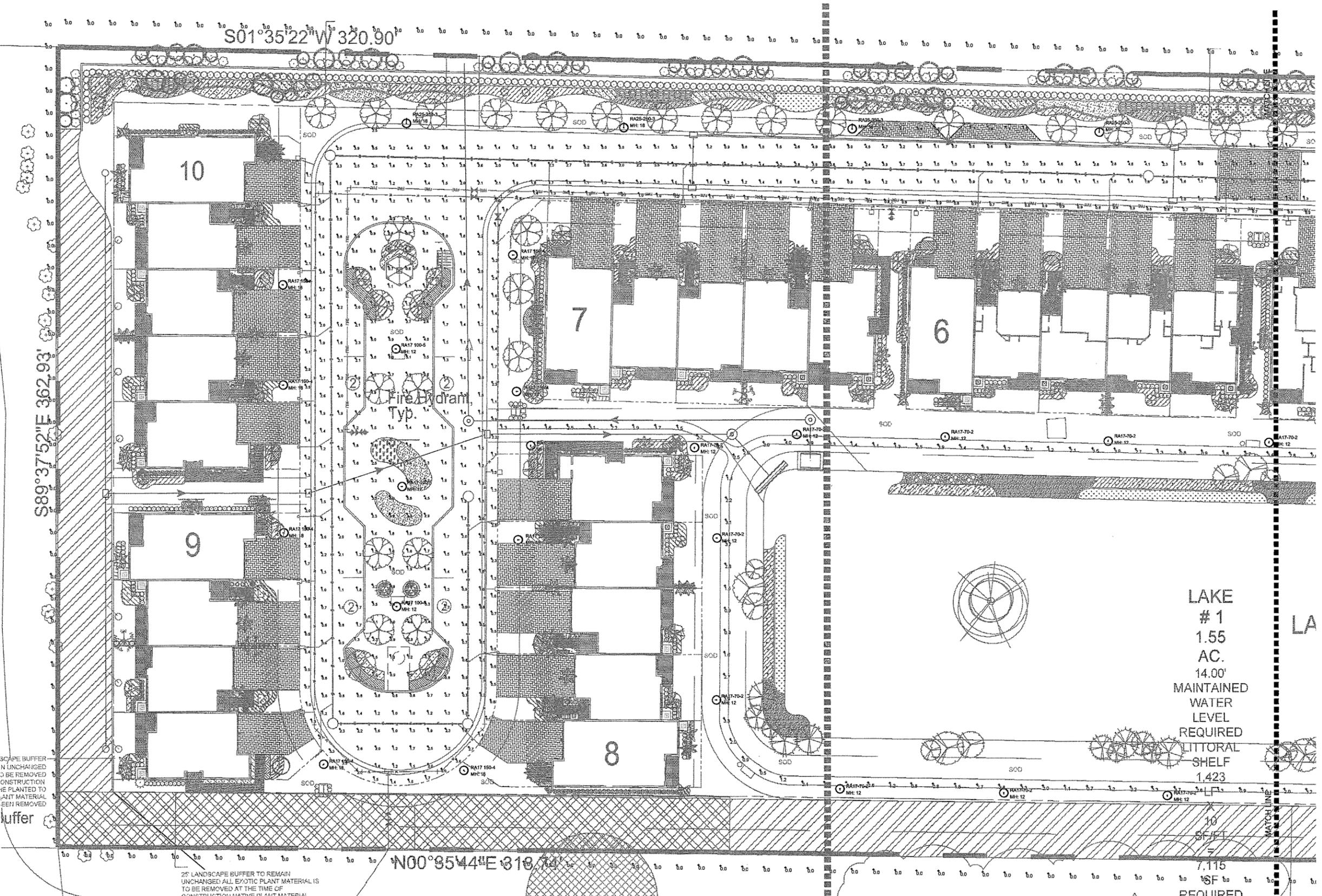
ENGINEERING // SURVEYING // ENVIRONMENTAL // PLANNING

NO.	DATE	DESCRIPTION	BY
1	6/17/16	REVISED SITE PLANS/UTILITIES	AS

CAD 1543.00 CIVIL PLANS.DWG	NO.	DATE	DESCRIPTION	BY
JOB NO. 1543.00	1	6/17/16	REVISED SITE PLANS/UTILITIES	AS
TOTAL SHEETS 3	3	03/06/15	CHECKED AS	BJL
DATE 03/06/15	3	03/06/15	CHECKED AS	BJL
SCALE N/A	N/A			

ENGINEER OF RECORD ADAM SCHILDMIEER, P.E. PE# 68216	PROJECT: TREVI ISLES
	TASK: PRELIMINARY SECTIONS

SHEET:
C-2



SCAPE BUFFER
N UNCHANGED
BE REMOVED
ONSTRUCTION
IE PLANTED TO
ANT MATERIAL
SEN REMOVED

25' LANDSCAPE BUFFER TO REMAIN
UNCHANGED ALL EXOTIC PLANT MATERIAL IS
TO BE REMOVED AT THE TIME OF
CONSTRUCTION NATIVE PLANT MATERIAL

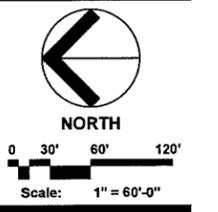
PHOTOMETRIC PLAN (PARTIAL VIEW)
SCALE 1" = 20'-0"

NOTE:
ALL POLES MUST BE 5FT
MINIMUM FROM ANY
WATER OR SEWER LINES

**E&C
Engineers**
Cor. of Auth # 26358
2725 Vista Parkway Suite 1-3
West Palm Beach, FL 33411
Tel (561) 732-1149
email: eandcengineers.com
JOB # 14-2327

Eduardo (Ed) Samour, P.E.
Registered Electrical Engineer
P.E. # 41166
10.19.2016

Trevi Isle
Palm Beach Gardens, FL
Site Plan

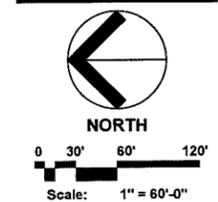


Date: 08-09-13
Project No.: 06-039.005
Designed By: SCM
Drawn By: SCM
Checked By: KT

Revision Dates:

06-11-14	Pre-app	SCM
06-27-14	Submittal	SCM
08-15-14	Resubmittal	SCM
04-02-15	Resubmittal	TLM
06-22-15	Revise Plan	SCM
11-18-15	Revise Plan	SCM
06-17-16	Resubmittal	SCM
07-15-16	Revise SP	SCM
08-15-16	Resubmittal	KWK

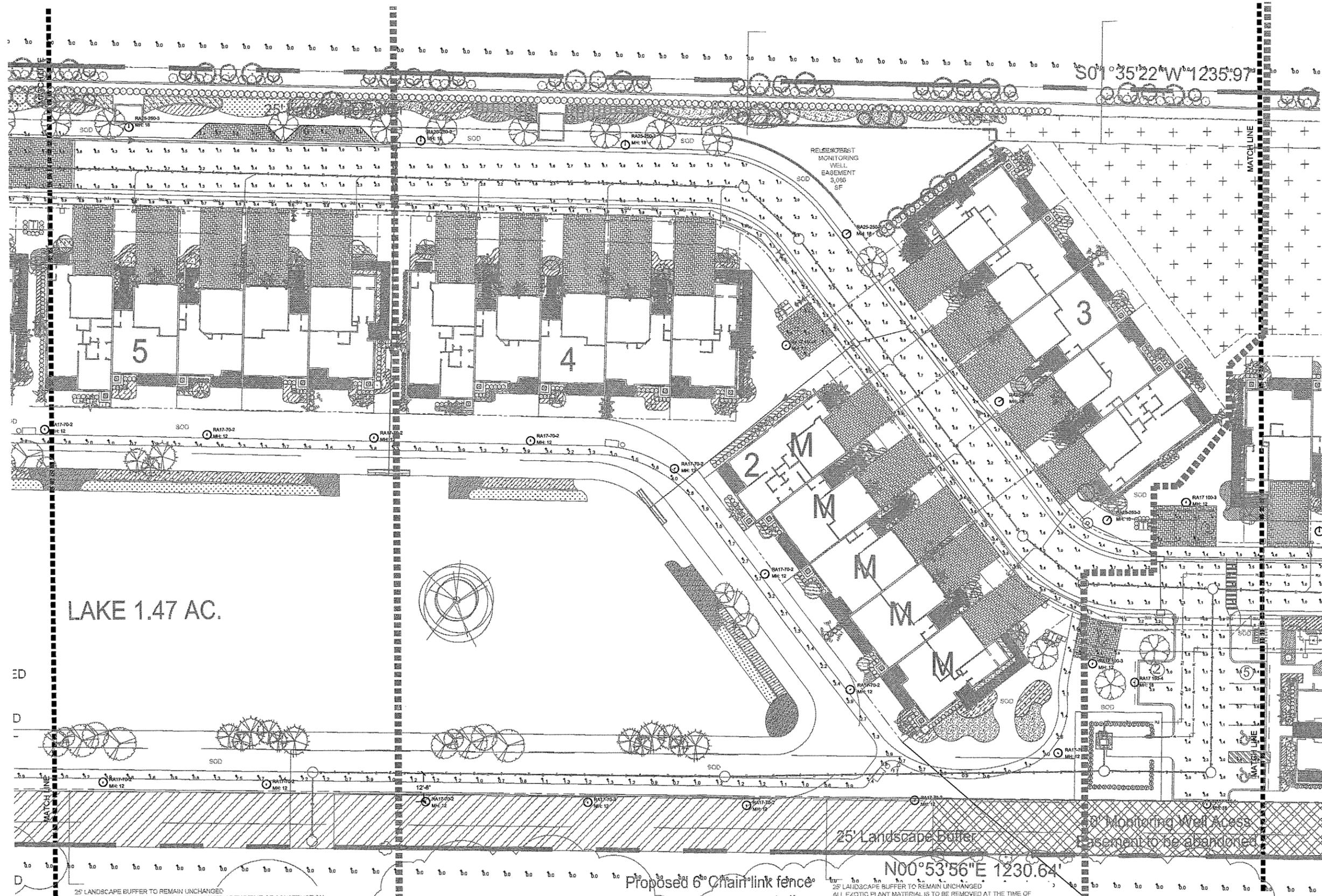
Trevi Isle
Palm Beach Gardens, FL
Site Plan



Date: 09-09-13
Project No.: 06-039.005
Designed By: SCM
Drawn By: SCM
Checked By: KT

Revision Dates:

06-11-14	Pre-app	SCM
06-27-14	Submittal	SCM
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06-17-16	Resubmittal	SCM
07-15-16	Revise SP	SCM
08-15-16	Resubmittal	KWK



LAKE 1.47 AC.

25' Landscape Buffer

25' Monitoring Well Access Easement to be abandoned

Proposed 6' Chain-link fence along property line

N00°53'56"E 1230.64'

25' LANDSCAPE BUFFER TO REMAIN UNCHANGED
ALL EXOTIC PLANT MATERIAL IS TO BE REMOVED AT THE TIME OF CONSTRUCTION.
METHODS AND MATERIAL SHALL BE PLANTED TO MATCH ADJACENT EXISTING.

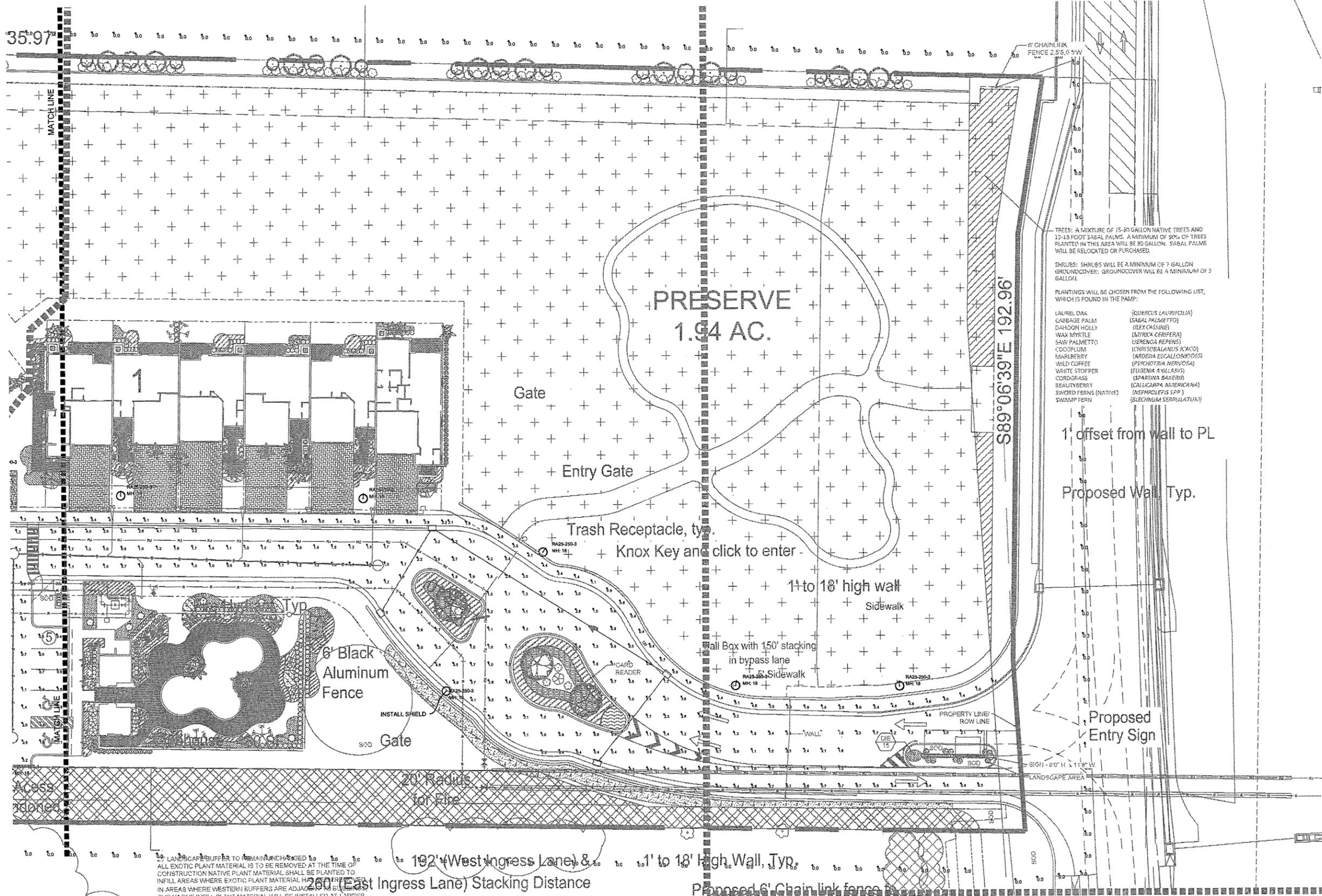
25' LANDSCAPE BUFFER TO REMAIN UNCHANGED AT THE TIME OF CONSTRUCTION. HAVING PLANT MATERIAL SHALL BE PLANTED TO MATCH.

PHOTOMETRIC PLAN (PARTIAL VIEW)
SCALE 1" = 20'-0"

NOTE:
ALL POLES MUST BE 5FT
MINIMUM FROM ANY
WATER OR SEWER LINES

**E&C
Engineers**
Cert. # Auth # 26558
2755 Vista Parkway Suite 1-3
West Palm Beach, FL 33411
Tel (561) 712 1149
email: ed@ecengineers.com
JOB # 14-2327

Eduardo (Ed) Samour, P.E.
Registered Electrical Engineer
P.E. # 41186
Date: 10.19.2016



TREES: A MIXTURE OF 15-30 GALLON NATIVE TREES AND 12-18 FOOT SABAL PALMS. A MINIMUM OF 90% OF TREES PLANTED IN THIS AREA WILL BE 30 GALLON. SABAL PALMS WILL BE RELOCATED OR PURCHASED.

SHRUBS: SHRUBS WILL BE A MINIMUM OF 7 GALLON GROUND COVER. GROUND COVER WILL BE A MINIMUM OF 3 GALLON.

PLANTINGS WILL BE CHOSEN FROM THE FOLLOWING LIST, WHICH IS FOUND IN THE PAMP:

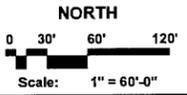
LAUREL OAK (QUERCUS LAURIFOLIA)	(SABAL PALMETTO)
CABBAGE PALM (ELEOCHARIS)	(WAX MYRTLE)
DARLINGTON HOLLY (AYRICA CERIFERA)	(SAND PALMETTO)
SAW PALMETTO (SERENOA REPENS)	(CROTON)
COODPLUM (CHRYSOBALANUS ICACO)	(LARDERIA ESCALLONIA)
MARLBERRY (LARDERIA ESCALLONIA)	(WILD COFFEE)
WILD COFFEE (PSYCHOTRIA NERVOOSA)	(WHITE STOPPER)
(ELIENNA VILLARSI)	(CORDON ROSS)
(SPARTANUM BAKERI)	(BEAUTYBERRY)
(CALICARPA AMERICANA)	(SWORD FERNS (NATIVE))
(NEPHROLEPIS SPP.)	(SWAMP FERN)
(BLECHNUM SERRULATUM)	

PHOTOMETRIC PLAN (PARTIAL VIEW)
SCALE 1" = 20'-0"

NOTE:
ALL POLES MUST BE 5FT
MINIMUM FROM ANY
WATER OR SEWER LINES

**E&C
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Cert. of Auth # 26558
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West Palm Beach, FL 33411
Tel (561) 712-1149
email: ee@ecengineers.com
JOB # 14-2327

Eduardo (Ed) Samour, P.E.
Registered Electrical Engineer
P.E. # 41186
Date: 10.19.2016



Date: 09-09-13
Project No.: 06-036.005
Designed By: SCM
Drawn By: SCM
Checked By: KT

Revision Dates:

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06-17-14	Submittal	SCM
06-18-14	Resubmittal	SCM
04-02-15	Resubmittal	TLM
06-22-15	Revise Plan	SCM
11-18-15	Revise Plan	SCM
08-17-16	Resubmittal	SCM
07-15-16	Revise SP	SCM
06-15-16	Resubmittal	KWK

PHM-4
of 4

KIM LIGHTING
Type: RA 25" Era™ Series International Design Luminaire
Job: revision 11/23/10 • r23.pdf
Catalog number: Approvals: Date: Page: 1 of 8

Specifications

RA25
25" Diameter
150 to 400 Watt

RA25
with optional
Glow Ring and
Convex Lens

Housing: The Ballast Housing is a one-piece die-cast, low copper (0.05% Cu) aluminum alloy component with integral cooling fins. The Reflector Housing is one-piece die-cast, low copper (0.05% Cu) aluminum alloy. The Ballast Housing attaches to the Reflector Housing with stainless steel fasteners and is sealed with a silicone gasket.

Lens Frame: One-piece die-cast, low copper (0.05% Cu) aluminum alloy. Stainless steel hinges provided for attachment to the Reflector Housing. Stainless steel hinges provide easy access, concealed from normal view. The 1/2" thick clear flat or convex tempered glass lens seals against the reflector flange by a one-piece contoured silicone gasket with fused seam, to produce a fully sealed optical chamber.

Mounting: Stainless steel bolts are provided to attach the luminaire to the crook arm or sweep arm mounting.

Reflector Module: Specular Alzak® optical segments are rigidly mounted within a die-cast, low copper (0.05% Cu) aluminum enclosure which attaches to the Reflector Housing as a one-piece module. Reflectors are field rotatable in 90° increments. All sockets are factory provided with a quick-disconnect plug for the ballast module. With wires passing through a silicone sealed optical chamber integrity. The optical segments are positioned so that reflected light does not pass through the lamp arc tube. All vertical reflectors (HPS) horizontal reflectors and Pulse-Start reflectors are equipped with a mogul base socket rated 4Kv. All optical systems are interchangeable within the housing.

Electrical Module: All electrical components are UL and CSA recognized, mounted on a single plate and factory provided with quick-disconnect plug for attachment to the incoming wires and the socket wires. The module attaches inside the housing using keyhole slots. All ballasts are high power factor with starting temperatures of -40°F for HPS and -20°F for PMH lamp modes.

Finish: Super TGIC thermoset polyester powder coat paint, 2.5 mil nominal thickness, applied over a standard zirconium conversion coating. A.S.T.M. 2300 level anti-scratch performance rating. Standard colors are Black, Dark Bronze, Light Gray, Stealth Gray®, Platinum Silver, or White. Custom colors are available.

CAUTION: Fixtures must be grounded in accordance with local codes or the National Electrical Code. Failure to do so may result in serious personal injury.

Listings and Ratings

UL CLS 1398	IP66 Rated
UL Full Cut Off	UL Full Cut Off

U.S. Patent 6,430,887

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KIM LIGHTING
Type: RA 17" Era™ Series International Design Luminaire
Job: revision 11/23/10 • r17.pdf
Catalog number: Approvals: Date: Page: 1 of 6

Specifications

RA17
17" Diameter
70 to 150 Watt

RA17
with optional
Glow Ring and
Convex Lens

Housing: The Ballast Housing is a one-piece die-cast, low copper (0.05% Cu) aluminum alloy component with integral cooling fins. The Reflector Housing is one-piece die-cast, low copper (0.05% Cu) aluminum alloy. The Ballast Housing attaches to the Reflector Housing with stainless steel fasteners and is sealed with a silicone gasket.

Lens Frame: One-piece die-cast, low copper (0.05% Cu) aluminum alloy. Stainless steel hinges provided for attachment to the Reflector Housing. Stainless steel hinges provide easy access, concealed from normal view. The 1/2" thick clear flat or convex tempered glass lens seals against the reflector flange by a one-piece contoured silicone gasket with fused seam, to produce a fully sealed optical chamber.

Mounting: Stainless steel bolts are provided to attach the luminaire to the crook arm or sweep arm mounting.

Reflector Module: Specular Alzak® optical segments are rigidly mounted within a die-cast, low copper (0.05% Cu) aluminum enclosure which attaches to the Reflector Housing as a one-piece module. Reflectors are field rotatable in 90° increments. All sockets are factory provided with a quick-disconnect plug for the ballast module. With wires passing through a silicone sealed optical chamber integrity. The optical segments are positioned so that reflected light does not pass through the lamp arc tube. The reflector module is equipped with medium base sockets rated 4K. All optical systems are interchangeable within the housing.

Electrical Module: All electrical components are UL and CSA recognized, mounted on a single plate and factory provided with quick-disconnect plug for attachment to the incoming wires and the socket wires. The module attaches inside the housing using keyhole slots. All ballasts are high power factor with starting temperatures of -40°F for HPS and -20°F for PMH lamp modes.

Finish: Super TGIC thermoset polyester powder coat paint, 2.5 mil nominal thickness, applied over a standard zirconium conversion coating. A.S.T.M. 2300 level anti-scratch performance rating. Standard colors are Black, Dark Bronze, Light Gray, Stealth Gray®, Platinum Silver, or White. Custom colors are available.

CAUTION: Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious injury.

Listings and Ratings

UL CLS 1398	IP66 Rated
UL Full Cut Off	UL Full Cut Off

U.S. Patent 6,430,887

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KIM LIGHTING
Type: RA 25" Era™ Series International Design Luminaire
Job: revision 11/23/10 • r23.pdf
Catalog number: Approvals: Date: Page: 6 of 6

Arm Options

Note: Refer to Kim Lighting's Arms and Poles Selection Guide for complete details.

Post Top Crook Arm ARM Tenon Mount Wall Mt	Side Pole Crook Arm ARM Tenon Mount Wall Mt	Post Top Sweep Cast Arm ARM Tenon Mount Wall Mt
HA01L HA01L-TM1	HA02L HA02L-TM1 HA02L-W HA02L-TM4	HA03L HA03L-TM1 HA03L-TM2 HA03L-TM3 HA03L-TM4
Side Pole Sweep Cast Arm ARM Tenon Mount Wall Mt	Side Pole S-Shaped Up Cast Arm ARM Tenon Mount Wall Mt	Side Pole S-Shaped Down Cast Arm ARM Tenon Mount Wall Mt
HA11L HA11L-TM1 HA11L-TM2 HA11L-TM3 HA11L-TM4	HA12L HA12L-TM1 HA12L-TM2 HA12L-TM3 HA12L-TM4	HA13L HA13L-TM1 HA13L-TM2 HA13L-TM3 HA13L-TM4
Side Pole Neo-Classic Arm ARM Tenon Mount Wall Mt	Side Pole Ribbon Arm w/Top Scroll ARM Tenon Mount Wall Mt	Side Pole Ribbon Arm w/Top Cusset ARM Tenon Mount Wall Mt
HA14L HA14L-TM1 HA14L-TM2 HA14L-TM3 HA14L-TM4	HA31L HA31L-TM1 HA31L-TM2 HA31L-TM3 HA31L-TM4	HA32L HA32L-TM1 HA32L-TM2 HA32L-TM3 HA32L-TM4
Side Pole Ribbon Arm w/Top Brace ARM Tenon Mount Wall Mt	Side Pole Ribbon Arm w/Top Brace & Bottom Scroll ARM Tenon Mount Wall Mt	Side Pole Ribbon Arm w/Top Brace & Bottom Cusset ARM Tenon Mount Wall Mt
HA35L HA35L-TM1 HA35L-TM2 HA35L-TM3 HA35L-TM4	HA37L HA37L-TM1 HA37L-TM2 HA37L-TM3 HA37L-TM4	HA38L HA38L-TM1 HA38L-TM2 HA38L-TM3 HA38L-TM4

Mounting Orientation: 1A, 2B, 3Y, 4C

TYPICAL POLE DETAIL
NOT TO SCALE

NOTE: POLE SUPPLIER SHALL CERTIFY THAT POLE, BASE, & FIXTURE MEETS 150 MPH WIND LOAD CRITERIA AND SHALL PROVIDE SIGNED & SEALED CALCULATIONS BY A REGISTERED FLORIDA ENGINEER.

18" and 12" A.F.F.
24" min
FINISH GRADE
HANDHOLE
UL LISTED PULL BOX
TO NEXT POLE
AS PER MANUFACTURER RECOMMENDATIONS

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KIM LIGHTING
Type: RA 25" Era™ Series International Design Luminaire
Job: revision 11/23/10 • r23.pdf
Catalog number: Approvals: Date: Page: 3 of 6

Standard Features

Electrical Module
HPS = High Pressure Sodium
PMH = Pulse Start Metal Halide

Lamp Lamp Line
Watts Type Volts
400 HPS 277

ANSI Ballast Type

Color: Black, Dark Bronze, Light Gray, Stealth Gray®, Platinum Silver, White, Custom Color®
Cat. No.: BL, DB, LG, SB, CS, WH, CC

NOTE: For lamp/ballast information outside of the U.S. and Canada, please consult your local Kim representative.

NOTE: Due to the Energy Independence and Security Act (EISA) of 2005, Kim Lighting can no longer supply products that meet ballast ballasts with the luminaires. Kim Lighting is available to replace ballasts for existing luminaires. Visit www.kimlighting.com for more details.

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LIGHTING FIXTURES RA25

KIM LIGHTING
Type: RA 17" Era™ Series International Design Luminaire
Job: revision 11/23/10 • r17.pdf
Catalog number: Approvals: Date: Page: 3 of 6

Standard Features

Electrical Module
HPS = High Pressure Sodium
PMH = Pulse Start Metal Halide

Lamp Lamp Line
Watts Type Volts
400 HPS 277

ANSI Ballast Type

Color: Black, Dark Bronze, Light Gray, Stealth Gray®, Platinum Silver, White, Custom Color®
Cat. No.: BL, DB, LG, SB, CS, WH, CC

NOTE: For lamp/ballast information outside of the U.S. and Canada, please consult your local Kim representative.

NOTE: Due to the Energy Independence and Security Act (EISA) of 2005, Kim Lighting can no longer supply products that meet ballast ballasts with the luminaires. Kim Lighting is available to replace ballasts for existing luminaires. Visit www.kimlighting.com for more details.

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LIGHTING FIXTURES RA17-100W
RA17-150W
RA17-70W

DECORATIVE ARMS TO BE SELECTED

Luminaire Schedule

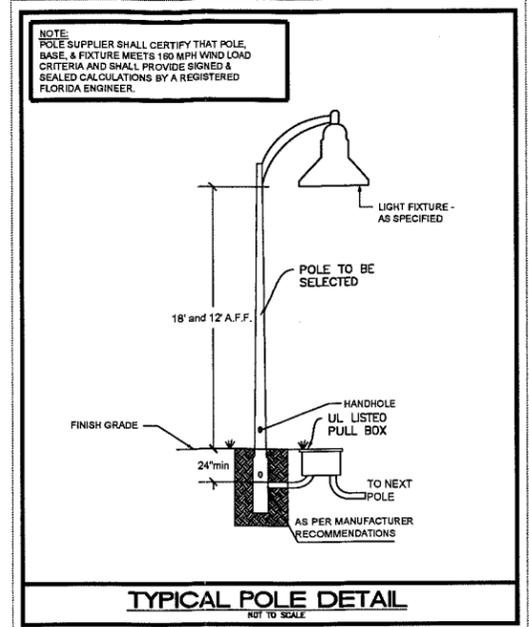
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	Lum. Watts
○	16	RA25-250-3	SINGLE	22000	0.850	RA25_250PMH-ED28_HS	250
○	3	RA17 100-5	SINGLE	8600	0.850	RA175_100MH-ED17_CGL	100
○	11	RA17 150-4	SINGLE	12600	0.850	RA174_150MH-ED17_CGL_HS	150
○	2	RA17 100-3	SINGLE	8600	0.850	RA175_100MH-ED17	100
○	24	RA17-70-2	SINGLE	5900	0.850	RA172_70MH-ED17_HS	70

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CLUB HOUSE PARKING	Illuminance	Fc	1.52	4.1	0.4	3.80	10.25
EAST SIDEWALK	Illuminance	Fc	3.02	5.7	0.6	5.03	9.50
ENTRANCE	Illuminance	Fc	1.69	5.5	0.3	5.63	18.33
ENTRANCE SIDEWALK	Illuminance	Fc	2.59	5.4	0.4	8.46	13.50
GUEST PARKING #1	Illuminance	Fc	4.70	6.6	3.3	1.42	2.00
GUEST PARKING #2	Illuminance	Fc	3.02	4.8	1.5	2.01	3.20
GUEST PARKING #3	Illuminance	Fc	2.94	4.5	1.6	1.84	2.81
PARK	Illuminance	Fc	2.35	6.1	0.6	3.92	10.17
PEDESTRIAN PATH AROUND LAKE	Illuminance	Fc	1.79	4.1	0.5	3.58	8.20
PEDESTRIAN PATH AROUND LAKE_1	Illuminance	Fc	2.23	4.0	0.7	3.19	5.71
PROPERTY LINE	Illuminance	Fc	0.00	0.1	0.0	N/A	N/A
SIDEWALK	Illuminance	Fc	1.26	3.6	0.3	4.20	12.00
STREET	Illuminance	Fc	1.78	5.6	0.3	5.93	18.67

THIS PROJECT WILL HAVE 2 DIFFERENT SIZES OF FIXTURES A RA 25 AND A RA 17 . ALL METAL HALIDE AND THE SAME STYLE, BUT DIFFERENT WATTS.

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NOTE: POLE SUPPLIER SHALL CERTIFY THAT POLE, BASE, & FIXTURE MEETS 150 MPH WIND LOAD CRITERIA AND SHALL PROVIDE SIGNED & SEALED CALCULATIONS BY A REGISTERED FLORIDA ENGINEER.

18" and 12" A.F.F.
24" min
FINISH GRADE
HANDHOLE
UL LISTED PULL BOX
TO NEXT POLE
AS PER MANUFACTURER RECOMMENDATIONS

TYPICAL POLE DETAIL
NOT TO SCALE

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email: ed@ecengineers.com
JOB # 14-2327

Eduardo (Ed) Samour, P.E.
Registered Electrical Engineer
P.E. # 41186
Date: 10.19.2016

NOTE: ALL POLES MUST BE 5FT MINIMUM FROM ANY WATER OR SEWER LINES

Trevi Isle Landscape Plans

Palm Beach Gardens, Florida

INDEX OF SHEETS

Cover: Project Plant Schedule & Landscape Calculations

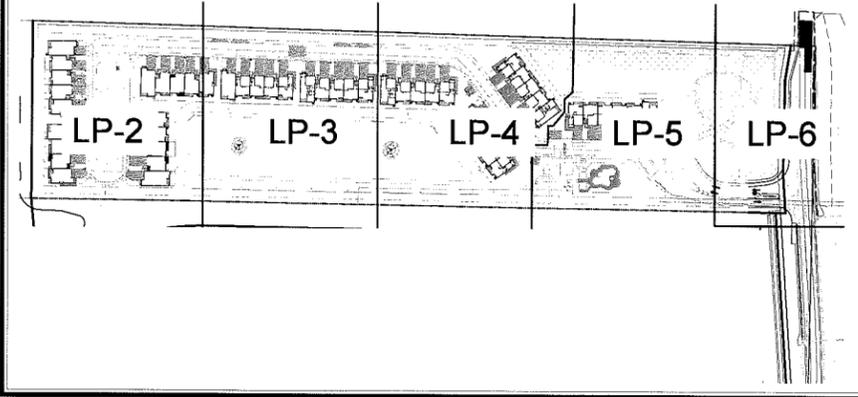
LP-1: Overall Landscape Plan

LP-2 - 6: Landscape Plans

LP-7: Landscape Planting Details

LP-8: Tree Preservation & Littoral Planting Details

LP-9: Landscape Planting Specifications



SITE & LANDSCAPE CALCULATIONS

Total Site Area	12.50 AC.	544,340 SF
Impervious Area:	4.43 AC.	192,910 SF (35%)
Pervious Area:	8.07 AC.	351,430 SF (65%)

OPEN SPACE REQUIRED	ACREAGE	%
	5.02 AC.	40%

OPEN SPACE PROPOSED	ACREAGE	%
Landscape / Sod areas / LMT*	4.34 ac. / 186,948 SF	
Retention Water Surface Area	1.47 ac. / 64,078 SF	
Preserve Area	1.94 ac. / 84,459 SF	
Recreation Area	0.50 ac. / 21,780 SF	
Total:	8.25 ac. / 359,265 SF	66%

*LMT is planted with sod and does not include the sidewalk; the corresponding acreage is included in the landscape/sod areas.

UPLAND PRESERVE RETENTION AREA:	1.94 AC.
RECREATION AREA:	1.47 AC.
BUILDING COVERAGE ROW	1.45 AC.
DRIVEWAYS/GUEST PARKING/SIDEWALK	2.11 AC.
LANDSCAPE AREA (DOES NOT INCLUDE LA IN ROW)	0.69 AC.
TOTAL AREA	4.34 AC.
TOTAL AREA	12.50 AC.

LANDSCAPE POINTS

Required
7 points per 100 SF

166,014 SF of Landscape/Sod Areas (less LMT) x 7.0 / 100 = 11,620.98 points

Provided	
Trees	1,451.00
Palms	1,607.00
Shrubs	7,526.50
Sod	2,218.75
Native Tree Preservation	3,298.10
Total	16,103.35

LOCATION MAP



Urban design kilday STUDIOS

Urban Planning & Design
Landscape Architecture
Communication Graphics

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PROJECT PLANT SCHEDULE

TREES	ARI	QTY	BOTANICAL NAME / COMMON NAME	REMARKS	PREFERRED PLANT	POINTS PER PLANT	COMMON AREA QUANTITIES	TOTAL POINTS
	AR1	8	Acer rubrum / Red Maple	Container Grown, 12" HT x 5" SPR, 3" CAL, Straight Trunk, Full Canopy	Y	15	8	120
	AR2	8	Acer rubrum / Red Maple	Container Grown, 9" HT x 4" SPR, 2" CAL, Straight Trunk, Full Canopy	Y	5	8	40
	AR3	8	Acer rubrum / Red Maple	Container Grown, 6" HT x 3" SPR, 1.5" CAL, Straight Trunk, Full Canopy	Y	5	6	30
	CD	8	Coccoloba diversifolia / Pigeon Plum	Container Grown, 12" HT x 5" SPR, 2.5" CAL, Single straight trunk, Full dense canopy	Y	15	0	0
	CS	8	Cordia sebestena / Orange Design Tree	Container Grown, 6" HT x 3.5" SPR, 2" CAL, Single, straight trunk, Full even canopy	N	5	0	0
	IC	10	Ilex cassine / Dahoon Holly	Container Grown, 12" HT x 6" SPR, 2.5" CAL, Straight Trunk, Full Canopy	Y	15	0	0
	LI	22	Lagerstroemia x "Tussock" / Tussock Crape Myrtle Multi-Trunk	Container Grown, 12" HT x 8" SPR, Multi-Trunk with 5 Trunks per tree, 1.5" CAL, Full Canopy	Y	15	4	60
	PD2	8	Pinus ellioti 'Densa' / Slash Pine	FG, Immediately placed in wire basket upon extraction, planted in wire basket with upper portion of wire basket removed at time of planting, 5" HT x 4" SPR, 2" CAL, Straight Trunk, Even Canopy	Y	5	8	40
	PD1	8	Pinus ellioti 'Densa' / Slash Pine	FG, Immediately placed in wire basket upon extraction, planted in wire basket with upper portion of wire basket removed at time of planting, 12" HT x 5" SPR, 2.5" CAL, Straight Trunk, Even Canopy	Y	15	8	120
	PD3	11	Pinus ellioti 'Densa' / Slash Pine	FG, Immediately placed in wire basket upon extraction, planted in wire basket with upper portion of wire basket removed at time of planting, 8" HT x 3" SPR, 1.5" CAL, Straight Trunk, Even Canopy	Y	5	11	55
	QV	3	Quercus virginiana / Southern Live Oak	Container Grown, 14" HT x 7" SPR, 3.5" CAL, 5" CT, Straight Trunk, Full Canopy	Y	17	3	51
	QV2	42	Quercus virginiana / Southern Live Oak	Container Grown, 12" HT x 5" SPR, 2.5" CAL	Y	15	42	630
	TH	16	Tabebuia heterophylla / Pink Tabebuia	Container Grown, 12" HT x 6" SPR, 2.5" CAL, Straight Trunk, Full Canopy	Y	15	5	75
	TD1	10	Taxodium distichum / Bald Cypress	Container Grown, 12" HT x 6" SPR, 3" CAL, Straight Trunk, Even Canopy	Y	15	10	150
	TD2	8	Taxodium distichum / Bald Cypress	Container Grown, 9" HT x 4" SPR, 2" CAL, Straight Trunk, Even Canopy	Y	5	8	40
	TD3	5	Taxodium distichum / Bald Cypress	Container Grown, 6" HT x 3" SPR, 1.5" CAL, Straight Trunk, Even Canopy	Y	5	8	40
PALM TREES	CODE	QTY	BOTANICAL NAME / COMMON NAME	REMARKS				
	PE2	12	Psychotria elegans / Alexander Palm Double	FG, 12" GW, 18" OA HT, Double, 8" CAL per trunk, Full Crown	Y	7.3	4	29.2
	PE1	48	Psychotria elegans / Alexander Palm	FG, 12" GW, 18" OA HT, 8" CAL, Straight Trunk, Full Crown	Y	7.3	7	51.1
	PE3	8	Psychotria elegans / Alexander Palm/Trip	FG, 12" GW, 18" OA HT, Trip, 8" CAL per trunk, Full Crown	Y	7.3	2	14.6
	SP1	48	Sabal palmetto / Cabbage Palmetto	FG, 12" CT, 18" OA HT, Slick Straight Trunk, Humane Cut	Y	7.3	48	350.4
	SP2	29	Sabal palmetto / Cabbage Palmetto	FG, 15" CT, 21" OA HT, Slick Straight Trunk, Humane Cut	Y	10.3	29	298.7
	SP3	48	Sabal palmetto / Cabbage Palmetto	FG, 16" CT, 24" OA HT, Slick Straight Trunk, Humane Cut	Y	13.3	48	638.4
	VE3	9	Veitchia menziesii / Triple Christmas Palm	FG, 6" GW, 12" OA HT, 8" CAL per trunk, Full Crown	N	1	0	0
	VM1	23	Veitchia montgomeryana / Montgomery Palm	FG, 9" GW, 15" OA HT, Single Straight Trunk 10" CAL, Full Crown	Y	4.3	10	43

SHRUBS	CODE	QTY	BOTANICAL NAME / COMMON NAME	REMARKS	Y	7.3	7	51.1
	VM3	12	Veitchia montgomeryana / Montgomery Palm	FG, 15" GW, 21" OA HT, Single Straight Trunk 10" CAL, Full Crown	Y	10.3	11	113.3
	WB	15	Wodyetia bifurcata / Foxtail Palm	FG, 9" GW, 15" OA HT, Straight trunk, Full Crown, No scum on trunk	Y	4.3	4	17.2
	BOU2	2	Bougainvillea x 'Barbara Kant' / Barbara Kant Bougainvillea	7 Gal, 60" Trellis, Red	Y	1	2	2
	CA1	4	Chamaecrista cataractum / Cat Palm	7 gal, 36" ht x 30" spr	Y	1	4	4
	CHA	54	Chamaecrista elegans / Patio Palm	3 gal, 18" ht, 30" ht x 12" 14" spr	N	1	0	0
	CHR1	561	Chrysothamnus nanceus / Red Tip / Red Tip Coccoloba	3 GAL, 18" HT x 18" SPR, 24" O.C., Full to base, Dense Shrub	Y	1	300	300
	CHR2	17	Chrysothamnus nanceus / Red Tip / Red Tip Coccoloba	7 GAL, 30" HT x 30" SPR, 30" O.C., Full to base, Dense Shrub	Y	1	17	17
	CLU	147	Clusia guttata / Small-Leaf Clusia	7 GAL, 30" HT x 24" SPR, 24" O.C., Full to base, Dense Shrub	Y	1	95	95
	COG	383	Coccoloba verticillata / Sea Grape	7 GAL, 48" HT x 36" SPR, 48" O.C., Full to base, Dense Shrub	Y	1	383	383
	CON	128	Conocarpus erectus serotinus / Silver Button Wood	7 GAL, 36" HT x 24" SPR, 24" O.C., Full to base, Dense Shrub	Y	1	0	0
	HIB	33	Hibiscus x 'Kaiser Pink' / Kaiser Pink Hibiscus	7 GAL, 36" HT, 30" SPR, 30" O.C., Full to base, Dense, Matched	N	1	0	0
	POD	260	Podocarpus macrophyllus / Podocarpus	7 GAL, 36" HT x 24" SPR, 24" O.C., Full to base, Dense	Y	1	211	211
	VB	341	Viburnum odoratissimum / Awabuki / Awabuki Viburnum	7 GAL, 30" HT x 30" SPR, 30" O.C., Full to base, Dense	Y	1	341	341
SPECIMEN PLANTS	CODE	QTY	BOTANICAL NAME / COMMON NAME	REMARKS				
	CDR	31	Cordyline alliodora 'Aurita' / Gold Mound Ti Plant	3 GAL, 30" HT x 20" SPR, 3 plants per pot only, Specimen (Purchase from Exotica Gardens)	Y	15	15	225
	CDR2	14	Cordyline alliodora 'Pink Diamond' / Pink Diamond Ti	3 GAL, 30" HT x 20" SPR, 3 plants per pot only, Specimen (Purchase from Exotica Gardens)	Y	15	6	90
	CR	25	Citrus aurantium 'Queen Emma' / Queen Emma Citrus	7 GAL, 1 Plant Per Pot, Specimen, Disease Free	Y	15	25	375
	HIB STD	17	Hibiscus spp. Standard / Standard Hibiscus	25 GAL STD, 8" HT x 4" SPR, 1.5" CAL, 4" Clear Trunk, Pink Variety, Specimen, Matched	N	15	8	90
	JAT STD	30	Jatropha integrifolia 'Compacta' / Compact Grey Jatropha	15 GAL STD, 6" HT x 3" SPR, 1.5" CAL, 4" Clear Trunk, Specimen, Matched	Y	15	20	300
	SYZ	7	Syzygium paniculatum 'Gibbula' / Bush Cherry Topary	7 Gal Spiral Topary, 4" HT, Trimmed Disease Free, Specimen, Matched	N	15	2	30
SHRUB AREAS	CODE	QTY	BOTANICAL NAME / COMMON NAME	REMARKS				
	ALL	196	Alternanthera versicolor / Bush Alternanthera	3 GAL, 15" HT x 15" SPR, 24" O.C., Fully rooted and dense	Y	1	186	186
	ANN	133	Annalis / Annalis	4" Pots, 10" O.C. (Variety to be determined by Owner at time of planting)	N/A	N/A	N/A	N/A
	ASP	279	Asparagus densiflorus 'Moensii' / Foxtail Fern	3 GAL, 14" HT x 14" SPR, 24" O.C., Full and dense	Y	1	127	127
	BOU1	407	Bougainvillea x 'Miss Alice' / White Troness Bougainvillea	3 GAL, 18" HT x 18" SPR, 24" O.C., Full and Dense	Y	1	101	101
	BOU2	191	Bougainvillea x 'Silhouette' / Lila Troness Bougainvillea	3 GAL, 18" HT x 18" SPR, 24" O.C., Full and Dense	Y	1	167	167
	CHR3	197	Chrysothamnus nanceus / Red Tip / Red Tip Coccoloba	3 GAL, 18" HT x 18" SPR, 24" O.C., Full to base and dense, Disease free	Y	1	197	197
	COG	413	Coccoloba verticillata / Sea Grape	3 GAL, 18" HT x 18" SPR, 24" O.C., Full to base, Dense	Y	1	299	299
	CLP	342	Cyphosiphocarpus / Mexican Heather	3 GAL, 12" HT x 10" SPR, 18" O.C., Full and dense	N	1	206	206
	DA	102	Dianella isanensis 'Varegata' / Flix Lily	3 GAL, 15" HT x 18" SPR, 30" O.C., Fully rooted, Dense	N	1	34	34
	DE	165	Dioscorea alata / White African Iris	3 gal, 30" HT x 24" SPR, 30" O.C., Fully rooted, Dense	N	1	134	134
	DUR	253	Duranta erecta 'Gold Mound' / Gold Mound Duranta	3 GAL, 15" HT x 15" SPR, 24" O.C., Full to base and dense	Y	1	122	122

LITTORAL PLANTINGS	CODE	QTY	BOTANICAL NAME / COMMON NAME	REMARKS	Y	1	19	19	
	SPR	24	Spartina bakeri / Sand Cord Grass	1 gal, 14" ht x 14" spr, 30" o.c., full dense turf, fully rooted	Y	1	24	24	
	SRI	200	Sporobolus diander / Dwarf Fakahashsee Grass	3 GAL, 18" HT x 15" SPR, 30" O.C., Fully rooted and dense	Y	1	200	200	
	BR	45	Brauneria angustifolia / Blue Flag	Base Root, 3-4 sprigs per pot, Min. 18" - 24" HT, 2" O.C., Install at Elevation 0.5' - 1.0'	N	1	397	397	
	POC	443	Potamogeton nodosus / Blue Pockeed Weed	Base Root, 3-4 sprigs per pot, Min. 16" - 24" HT, 2" O.C., Install at Elevation 0.5' - 1.0'	N	1	443	443	
	SAG	61	Sagittaria arifolia / Duck Potato	Base Root, 3-4 sprigs per pot, Min. 15" - 18" HT, 2" O.C., Install at Elevation 0.5' - 1.0'	N	1	61	61	
	SCH	457	Scheuchzeria palustris / Scythian Bulrush	Base Root, 6-12 sprigs per pot, Min. 22" - 30" HT, 2" O.C., Install at Elevation -0.5' - 1.0'	N	1	457	457	
GROUND COVERS	CODE	QTY	BOTANICAL NAME / COMMON NAME	REMARKS					
	PEP	131	Peperomia obtusifolia 'Varegata' / Variegated Peperomia	1 Gal, Min 10" HT x 10" Spr, 18" O.C., Fully rooted, Dense	Y	5	0	0	
	TR	247	Triturus spathulatus 'Tricolor' / Rainbow Oyster Plant	1 GAL, 10" HT x 10" SPR, 15" O.C., Fully rooted, Dense	Y	5	13	6.5	
NO SYMBOL	SOD	100,500 sf	Stenochloa secundatum 'Floritam' / St. Augustine Sod	Disease free, laid tightly, rolled and sandbed to level lawn. Sod quantity to be verified in field.	Y	0.25/10 S.F.	80,750 SF	2,018.75	
NO SYMBOL	BAHA	8,000 sf	Paspalum notatum / Bahia Grass	Disease free, laid tightly, rolled and sandbed to level lawn. Quantity to be verified in field. (Located on Eastern side of well along Florida's Turnpike.)	Y	0.25/10 S.F.	8,000 SF	200.00	
								TOTAL POINTS FOR COMMON AREA PLANT MATERIAL	12,805.25
								TOTAL POINTS FOR EXISTING TREES TO BE PRESERVED	3,298.10
								TOTAL POINTS PROVIDED	16,103.35
								TOTAL POINTS REQUIRED	11,620.98
								SURPLUS	4,482.37

Trevi Isle
Hood Rd. & Florida's Turnpike
Palm Beach Gardens, FL
Project Plant Schedule & Landscape Calculations

Date: 06-27-2014
Project No.: 06-039-005
Designed By: TLM
Drawn By: TLM
Checked By: SM/AB

Revision Dates:
04-02-15 Resubmittal TLM
07-02-15 Resubmittal TLM
03-16-16 Resubmittal TLM
06-15-16 Resubmittal HLC
06-15-16 Resubmittal TLM/KWK
10-25-16 Resubmittal KWK

COVER

PLANT LEGEND

TREES	CODE	BOTANICAL NAME / COMMON NAME
	AR1	Acer rubrum / Red Maple
	AR2	Acer rubrum / Red Maple
	AR3	Acer rubrum / Red Maple
	CD	Coccoloba diversifolia / Pigeon Plum
	CR	Cordia alliodora / Orange Gelgel Tree
	C	Cecropia obtusifolia / Delonix Holly
	L	Lagerströmia x. 'Sudagee' / 'Sudagee' Orange Myrtle Muirb. Trunk
	P02	Pinus strobus / Short Pine
	P01	Pinus strobus / Short Pine
	P03	Pinus strobus / Short Pine
	OV	Oversea virginiana / Southern Live Oak
	OV2	Oversea virginiana / Southern Live Oak
	TH	Tabebuia heterophylla / Pink Tabebuia
	TD1	Taxodium distichum / Bald Cypress
	TD2	Taxodium distichum / Bald Cypress
	TD	Taxodium distichum / Bald Cypress

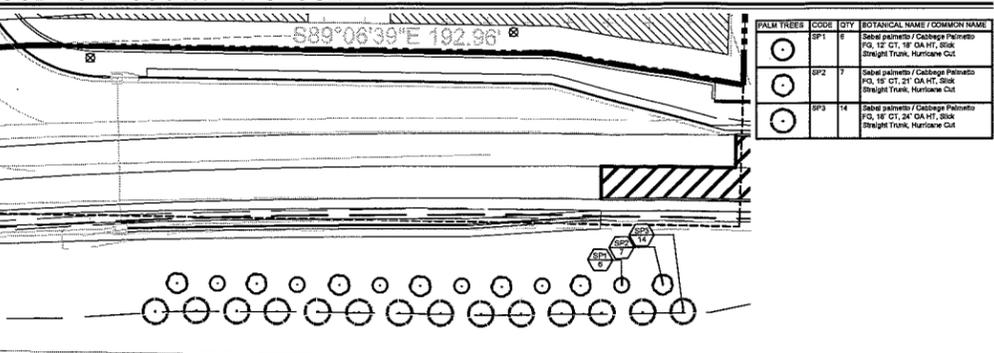
PALM TREES	CODE	BOTANICAL NAME / COMMON NAME
	FE2	Phycosperma elegans / Alexander Palm Double
	FE1	Phycosperma elegans / Alexander Palm
	FE3	Phycosperma elegans / Alexander Palm Triple
	SP1	Sabal palmetto / Cabbage Palmetto
	SP2	Sabal palmetto / Cabbage Palmetto
	SP3	Sabal palmetto / Cabbage Palmetto
	VE3	Walteria martinii / Triple Christmas Palm
	VM1	Walteria montgomeryana / Montgomery Palm
	VM2	Walteria montgomeryana / Montgomery Palm
	VM3	Walteria montgomeryana / Montgomery Palm
	WB	Wodyetia bifurcata / Foxtail Palm

SHRUBS	CODE	BOTANICAL NAME / COMMON NAME
	BOU	Bougainvillea x. 'Barbara Korte' / Barbara Korte Bougainvillea
	CAT	Chamaedorea cataractarum / Cat Palm
	CHA	Chamaedorea elegans / Parlor Palm
	CHR	Chrysothamnus lacinia / Red Tip / Red Tip Coccoloba
	CHR2	Chrysothamnus lacinia / Red Tip / Red Tip Coccoloba
	DLU	Clusia guilfordii / Small-Leaf Clusia
	GGC	Coccoloba urifera / Sea Grape
	GGN	Conocarpus erectus var. caesus / Silver Button Wood
	HB	Hibiscus x. 'Water Pink' / Kaiser Pink Hibiscus
	POD	Podocarpus macrophyllus / Podocarpus
	VB	Viburnum odoratissimum / Awaokali / Awaokali Viburnum

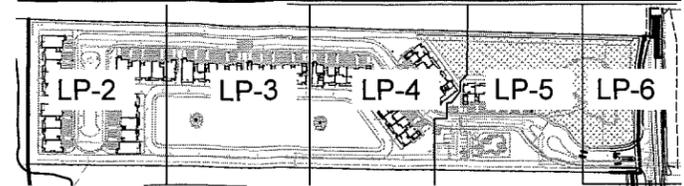
SHRUB AREAS	CODE	BOTANICAL NAME / COMMON NAME
	ALL	Allamanda schottii / Bush Allamanda
	ANN	Annona / Annona
	ASP	Asparagus densiflorus 'Meyers' / Foxtail Fern
	BOU1	Bougainvillea x. 'Miss Alice' / White Throated Bougainvillea
	BOU2	Bougainvillea x. 'Siboulette' / Lilac Throated Bougainvillea
	CHR3	Chrysothamnus lacinia / Red Tip / Red Tip Coccoloba
	COD	Codiaeum variegatum 'Peters' / Peter's Croton
	CUP	Cuphea hyssopifolia / Mexican Heather
	GA	Gardenia isemurii 'Vanguard' / Pink Lily
	DE	Desmodium illinoense / White African Iris
	DUR	Duranta erecta 'Gold Mound' / Gold Mound Duranta
	FO	Ficus microcarpa 'Green Island' / Green Island Ficus
	GAL	Galphimia gracilis / Rain of Gold
	HAM	Hamelia patens / Fire Bush
	JAS	Jasminum volatile / Wax Jasmine
	JLN	Jurupora chinensis 'Parsonii' / Parson's Juniper
	PI	Pithecolobium tobac 'Vanguard' / Vanguard Pithecolobium
	PH42	Philodendron bicolor / Indian Hawthorn
	SC1	Scaevola taccada 'Tropic' / Scaevola
	SPA	Spartina tatarica / Sand Cord Grass
	TR	Triplicarpon conduplicatum / Dwarf Pigeonwing Grass

LITTORAL PLANTINGS	CODE	BOTANICAL NAME / COMMON NAME
	CFL	Cetrum bicolor 'Dwarf' / Dwarf Yellow Canna
	IRI	Iris versicolor / Blue Flag
	FOG	Forsydia coriata 'Blue' / Blue Pickers Weed
	SAG	Sagittaria terrestris / Duck Potato
	SC42	Scheuchzeria palustris / Softstem Bulrush

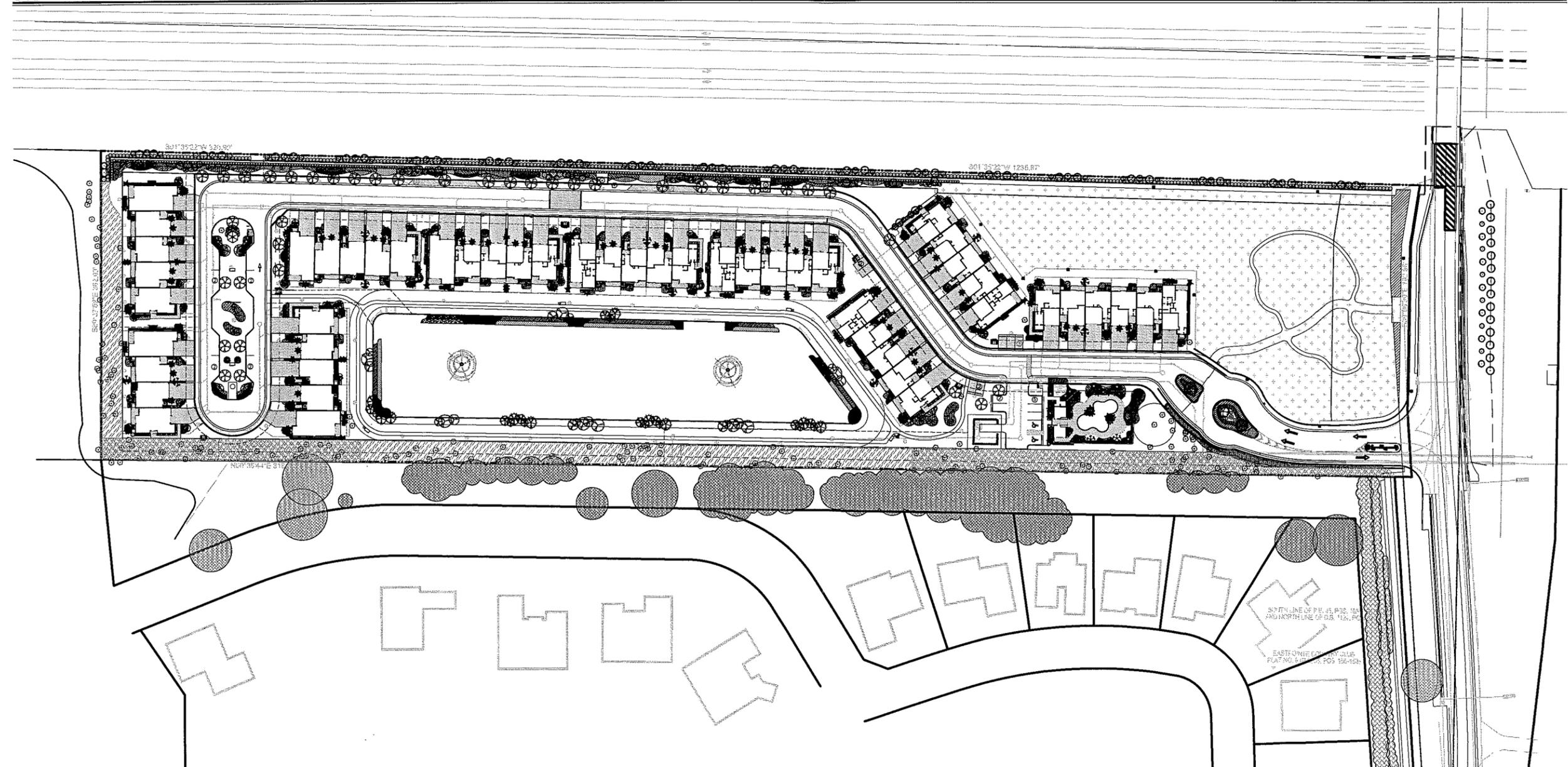
HOOD ROAD SOUTHERN SHOULDER



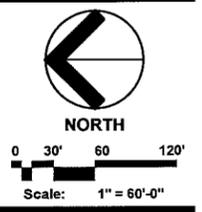
SHEET KEY



OVERALL LANDSCAPE PLAN



Trevi Isle
Hood Rd. & Florida's Turnpike
 Palm Beach Gardens, FL
 Landscape Plan



Date: 06-27-2014
 Project No.: 06-039.005
 Designed By: TLM
 Drawn By: TLM
 Checked By: SM/AB

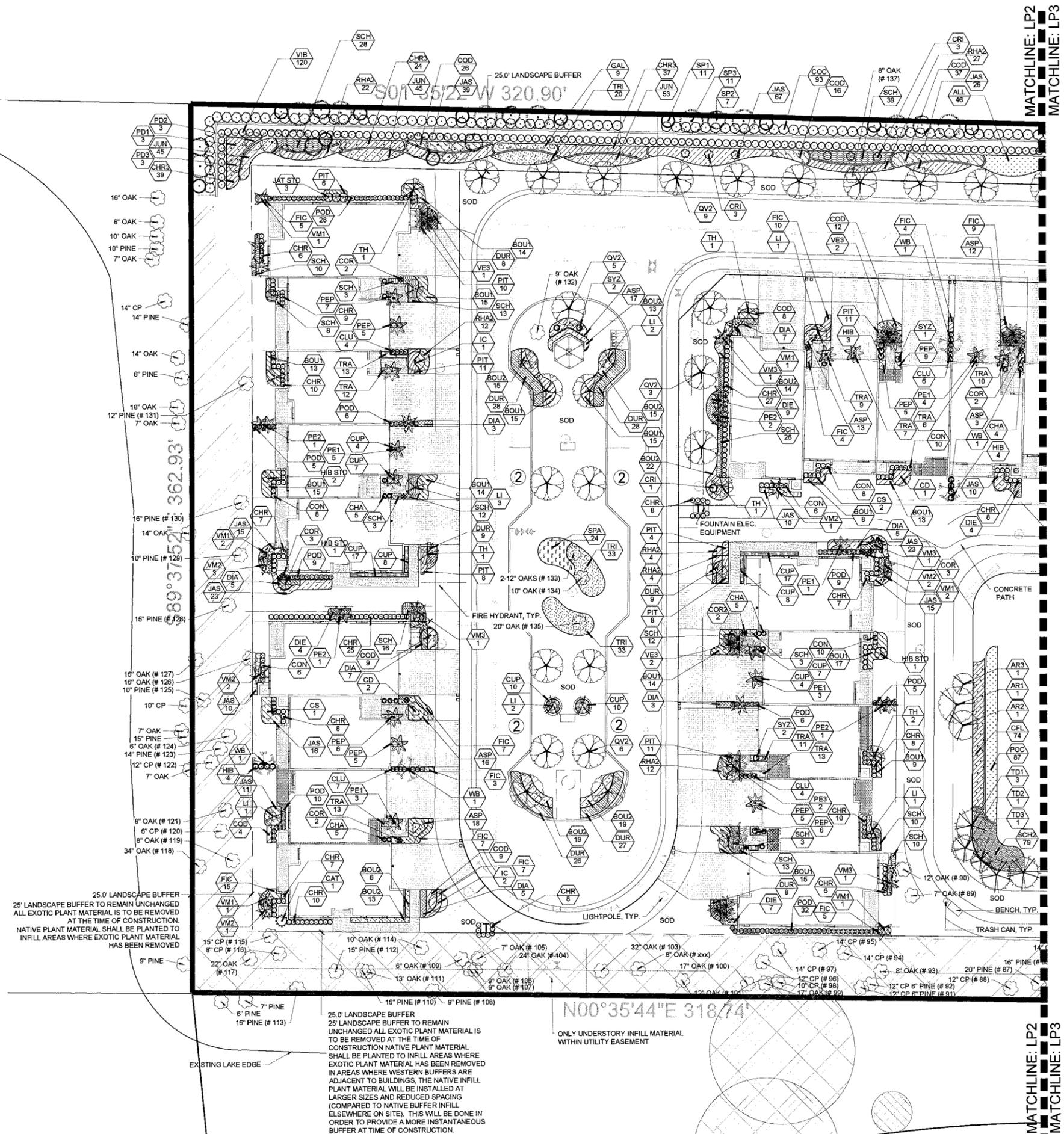
Revision Dates:

04-02-15	Resubmittal	TLM
07-02-15	Resubmittal	TLM
03-16-16	Resubmittal	TLM
06-15-16	Resubmittal	HLC
08-15-16	Resubmittal	TLM/KWK
10-25-16	Resubmittal	KWK

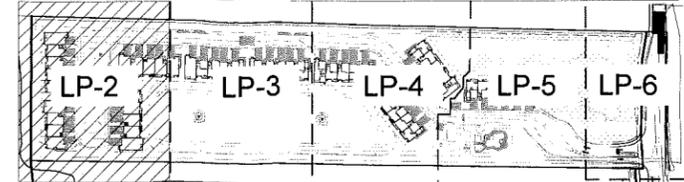
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SHEET KEY



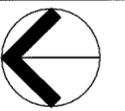
PLANT LEGEND

SYMBOL	CODE	BOTANICAL NAME / COMMON NAME	SYMBOL	CODE	BOTANICAL NAME / COMMON NAME
	AR1	Acer rubrum / Red Maple		COB	Cordyline alliodora 'Aurea' / Cordyline
	AR2	Acer rubrum / Red Maple		COR2	Cordyline alliodora 'Pink Diamond' / Pink Diamond
	AR3	Acer rubrum / Red Maple		CRI	Croton glaberrimus 'Queen Emma' / Queen Emma Croton
	CD	Coccoloba diversifolia / Pigeon Plum		HIB STD	Hibiscus ssp. Standard / Standard Hibiscus
	CS	Cordia sebestena / Orange Ginger Tree		JAT STD	Jatropha gossypifolia 'Compacta' / Compact Spicy Jatropha
	DI	Dioscorea escholtzii / Calladium		SYZ	Syzygium paniculatum 'Okubo' / Blush Cherry Tangelo
	LI	Lagerströmia speciosa / Tuckermeyer / Tuckermeyer Cape Myrtle Multi-Trunk		TR	Tradescantia virginiana / Spider Plant
	PE1	Pinus elliotii 'Densa' / Slash Pine		VM1	Veitchia merrilliana / Montgomery Palm
	PE2	Pinus elliotii 'Densa' / Slash Pine		VM2	Veitchia merrilliana / Montgomery Palm
	PE3	Pinus elliotii 'Densa' / Slash Pine		VM3	Veitchia merrilliana / Montgomery Palm
	QV	Quercus virginiana / Southern Live Oak		WV	Wodyetia bifurcata / Foxtail Palm
	QV2	Quercus virginiana / Southern Live Oak		WV2	Wodyetia bifurcata / Foxtail Palm
	TH	Tabebuia heterophylla / Pink Tabebuia		WV3	Wodyetia bifurcata / Foxtail Palm
	TD1	Taxodium distichum / Bald Cypress		WV4	Wodyetia bifurcata / Foxtail Palm
	TD2	Taxodium distichum / Bald Cypress		WV5	Wodyetia bifurcata / Foxtail Palm
	TD3	Taxodium distichum / Bald Cypress		WV6	Wodyetia bifurcata / Foxtail Palm
	PE1	Psychoparus elegans / Alexander Palm		WV7	Wodyetia bifurcata / Foxtail Palm
	PE2	Psychoparus elegans / Alexander Palm		WV8	Wodyetia bifurcata / Foxtail Palm
	PE3	Psychoparus elegans / Alexander Palm		WV9	Wodyetia bifurcata / Foxtail Palm
	SP1	Sabal palmetto / Cabbage Palmetto		WV10	Wodyetia bifurcata / Foxtail Palm
	SP2	Sabal palmetto / Cabbage Palmetto		WV11	Wodyetia bifurcata / Foxtail Palm
	SP3	Sabal palmetto / Cabbage Palmetto		WV12	Wodyetia bifurcata / Foxtail Palm
	VE3	Veitchia merrilliana / Montgomery Palm		WV13	Wodyetia bifurcata / Foxtail Palm
	VM1	Veitchia merrilliana / Montgomery Palm		WV14	Wodyetia bifurcata / Foxtail Palm
	VM2	Veitchia merrilliana / Montgomery Palm		WV15	Wodyetia bifurcata / Foxtail Palm
	VM3	Veitchia merrilliana / Montgomery Palm		WV16	Wodyetia bifurcata / Foxtail Palm
	WV	Wodyetia bifurcata / Foxtail Palm		WV17	Wodyetia bifurcata / Foxtail Palm
	COB	Cordyline alliodora 'Aurea' / Cordyline		WV18	Wodyetia bifurcata / Foxtail Palm
	COR2	Cordyline alliodora 'Pink Diamond' / Pink Diamond		WV19	Wodyetia bifurcata / Foxtail Palm
	CRI	Croton glaberrimus 'Queen Emma' / Queen Emma Croton		WV20	Wodyetia bifurcata / Foxtail Palm
	HIB STD	Hibiscus ssp. Standard / Standard Hibiscus		WV21	Wodyetia bifurcata / Foxtail Palm
	JAT STD	Jatropha gossypifolia 'Compacta' / Compact Spicy Jatropha		WV22	Wodyetia bifurcata / Foxtail Palm
	SYZ	Syzygium paniculatum 'Okubo' / Blush Cherry Tangelo		WV23	Wodyetia bifurcata / Foxtail Palm
	TR	Tradescantia virginiana / Spider Plant		WV24	Wodyetia bifurcata / Foxtail Palm
	VM1	Veitchia merrilliana / Montgomery Palm		WV25	Wodyetia bifurcata / Foxtail Palm
	VM2	Veitchia merrilliana / Montgomery Palm		WV26	Wodyetia bifurcata / Foxtail Palm
	VM3	Veitchia merrilliana / Montgomery Palm		WV27	Wodyetia bifurcata / Foxtail Palm
	WV	Wodyetia bifurcata / Foxtail Palm		WV28	Wodyetia bifurcata / Foxtail Palm
	WV2	Wodyetia bifurcata / Foxtail Palm		WV29	Wodyetia bifurcata / Foxtail Palm
	WV3	Wodyetia bifurcata / Foxtail Palm		WV30	Wodyetia bifurcata / Foxtail Palm
	WV4	Wodyetia bifurcata / Foxtail Palm		WV31	Wodyetia bifurcata / Foxtail Palm
	WV5	Wodyetia bifurcata / Foxtail Palm		WV32	Wodyetia bifurcata / Foxtail Palm
	WV6	Wodyetia bifurcata / Foxtail Palm		WV33	Wodyetia bifurcata / Foxtail Palm
	WV7	Wodyetia bifurcata / Foxtail Palm		WV34	Wodyetia bifurcata / Foxtail Palm
	WV8	Wodyetia bifurcata / Foxtail Palm		WV35	Wodyetia bifurcata / Foxtail Palm
	WV9	Wodyetia bifurcata / Foxtail Palm		WV36	Wodyetia bifurcata / Foxtail Palm
	WV10	Wodyetia bifurcata / Foxtail Palm		WV37	Wodyetia bifurcata / Foxtail Palm
	WV11	Wodyetia bifurcata / Foxtail Palm		WV38	Wodyetia bifurcata / Foxtail Palm
	WV12	Wodyetia bifurcata / Foxtail Palm		WV39	Wodyetia bifurcata / Foxtail Palm
	WV13	Wodyetia bifurcata / Foxtail Palm		WV40	Wodyetia bifurcata / Foxtail Palm
	WV14	Wodyetia bifurcata / Foxtail Palm		WV41	Wodyetia bifurcata / Foxtail Palm
	WV15	Wodyetia bifurcata / Foxtail Palm		WV42	Wodyetia bifurcata / Foxtail Palm
	WV16	Wodyetia bifurcata / Foxtail Palm		WV43	Wodyetia bifurcata / Foxtail Palm
	WV17	Wodyetia bifurcata / Foxtail Palm		WV44	Wodyetia bifurcata / Foxtail Palm
	WV18	Wodyetia bifurcata / Foxtail Palm		WV45	Wodyetia bifurcata / Foxtail Palm
	WV19	Wodyetia bifurcata / Foxtail Palm		WV46	Wodyetia bifurcata / Foxtail Palm
	WV20	Wodyetia bifurcata / Foxtail Palm		WV47	Wodyetia bifurcata / Foxtail Palm
	WV21	Wodyetia bifurcata / Foxtail Palm		WV48	Wodyetia bifurcata / Foxtail Palm
	WV22	Wodyetia bifurcata / Foxtail Palm		WV49	Wodyetia bifurcata / Foxtail Palm
	WV23	Wodyetia bifurcata / Foxtail Palm		WV50	Wodyetia bifurcata / Foxtail Palm
	WV24	Wodyetia bifurcata / Foxtail Palm		WV51	Wodyetia bifurcata / Foxtail Palm
	WV25	Wodyetia bifurcata / Foxtail Palm		WV52	Wodyetia bifurcata / Foxtail Palm
	WV26	Wodyetia bifurcata / Foxtail Palm		WV53	Wodyetia bifurcata / Foxtail Palm
	WV27	Wodyetia bifurcata / Foxtail Palm		WV54	Wodyetia bifurcata / Foxtail Palm
	WV28	Wodyetia bifurcata / Foxtail Palm		WV55	Wodyetia bifurcata / Foxtail Palm
	WV29	Wodyetia bifurcata / Foxtail Palm		WV56	Wodyetia bifurcata / Foxtail Palm
	WV30	Wodyetia bifurcata / Foxtail Palm		WV57	Wodyetia bifurcata / Foxtail Palm
	WV31	Wodyetia bifurcata / Foxtail Palm		WV58	Wodyetia bifurcata / Foxtail Palm
	WV32	Wodyetia bifurcata / Foxtail Palm		WV59	Wodyetia bifurcata / Foxtail Palm
	WV33	Wodyetia bifurcata / Foxtail Palm		WV60	Wodyetia bifurcata / Foxtail Palm
	WV34	Wodyetia bifurcata / Foxtail Palm		WV61	Wodyetia bifurcata / Foxtail Palm
	WV35	Wodyetia bifurcata / Foxtail Palm		WV62	Wodyetia bifurcata / Foxtail Palm
	WV36	Wodyetia bifurcata / Foxtail Palm		WV63	Wodyetia bifurcata / Foxtail Palm
	WV37	Wodyetia bifurcata / Foxtail Palm		WV64	Wodyetia bifurcata / Foxtail Palm
	WV38	Wodyetia bifurcata / Foxtail Palm		WV65	Wodyetia bifurcata / Foxtail Palm
	WV39	Wodyetia bifurcata / Foxtail Palm		WV66	Wodyetia bifurcata / Foxtail Palm
	WV40	Wodyetia bifurcata / Foxtail Palm		WV67	Wodyetia bifurcata / Foxtail Palm
	WV41	Wodyetia bifurcata / Foxtail Palm		WV68	Wodyetia bifurcata / Foxtail Palm
	WV42	Wodyetia bifurcata / Foxtail Palm		WV69	Wodyetia bifurcata / Foxtail Palm
	WV43	Wodyetia bifurcata / Foxtail Palm		WV70	Wodyetia bifurcata / Foxtail Palm
	WV44	Wodyetia bifurcata / Foxtail Palm		WV71	Wodyetia bifurcata / Foxtail Palm
	WV45	Wodyetia bifurcata / Foxtail Palm		WV72	Wodyetia bifurcata / Foxtail Palm
	WV46	Wodyetia bifurcata / Foxtail Palm		WV73	Wodyetia bifurcata / Foxtail Palm
	WV47	Wodyetia bifurcata / Foxtail Palm		WV74	Wodyetia bifurcata / Foxtail Palm
	WV48	Wodyetia bifurcata / Foxtail Palm		WV75	Wodyetia bifurcata / Foxtail Palm
	WV49	Wodyetia bifurcata / Foxtail Palm		WV76	Wodyetia bifurcata / Foxtail Palm
	WV50	Wodyetia bifurcata / Foxtail Palm		WV77	Wodyetia bifurcata / Foxtail Palm
	WV51	Wodyetia bifurcata / Foxtail Palm		WV78	Wodyetia bifurcata / Foxtail Palm
	WV52	Wodyetia bifurcata / Foxtail Palm		WV79	Wodyetia bifurcata / Foxtail Palm
	WV53	Wodyetia bifurcata / Foxtail Palm		WV80	Wodyetia bifurcata / Foxtail Palm
	WV54	Wodyetia bifurcata / Foxtail Palm		WV81	Wodyetia bifurcata / Foxtail Palm
	WV55	Wodyetia bifurcata / Foxtail Palm		WV82	Wodyetia bifurcata / Foxtail Palm
	WV56	Wodyetia bifurcata / Foxtail Palm		WV83	Wodyetia bifurcata / Foxtail Palm
	WV57	Wodyetia bifurcata / Foxtail Palm		WV84	Wodyetia bifurcata / Foxtail Palm
	WV58	Wodyetia bifurcata / Foxtail Palm		WV85	Wodyetia bifurcata / Foxtail Palm
	WV59	Wodyetia bifurcata / Foxtail Palm		WV86	Wodyetia bifurcata / Foxtail Palm
	WV60	Wodyetia bifurcata / Foxtail Palm		WV87	Wodyetia bifurcata / Foxtail Palm
	WV61	Wodyetia bifurcata / Foxtail Palm		WV88	Wodyetia bifurcata / Foxtail Palm
	WV62	Wodyetia bifurcata / Foxtail Palm		WV89	Wodyetia bifurcata / Foxtail Palm
	WV63	Wodyetia bifurcata / Foxtail Palm		WV90	Wodyetia bifurcata / Foxtail Palm
	WV64	Wodyetia bifurcata / Foxtail Palm		WV91	Wodyetia bifurcata / Foxtail Palm
	WV65	Wodyetia bifurcata / Foxtail Palm		WV92	Wodyetia bifurcata / Foxtail Palm
	WV66	Wodyetia bifurcata / Foxtail Palm		WV93	Wodyetia bifurcata / Foxtail Palm
	WV67	Wodyetia bifurcata / Foxtail Palm		WV94	Wodyetia bifurcata / Foxtail Palm
	WV68	Wodyetia bifurcata / Foxtail Palm		WV95	Wodyetia bifurcata / Foxtail Palm
	WV69	Wodyetia bifurcata / Foxtail Palm		WV96	Wodyetia bifurcata / Foxtail Palm
	WV70	Wodyetia bifurcata / Foxtail Palm		WV97	Wodyetia bifurcata / Foxtail Palm
	WV71	Wodyetia bifurcata / Foxtail Palm		WV98	Wodyetia bifurcata / Foxtail Palm
	WV72	Wodyetia bifurcata / Foxtail Palm		WV99	Wodyetia bifurcata / Foxtail Palm
	WV73	Wodyetia bifurcata / Foxtail Palm		WV100	Wodyetia bifurcata / Foxtail Palm

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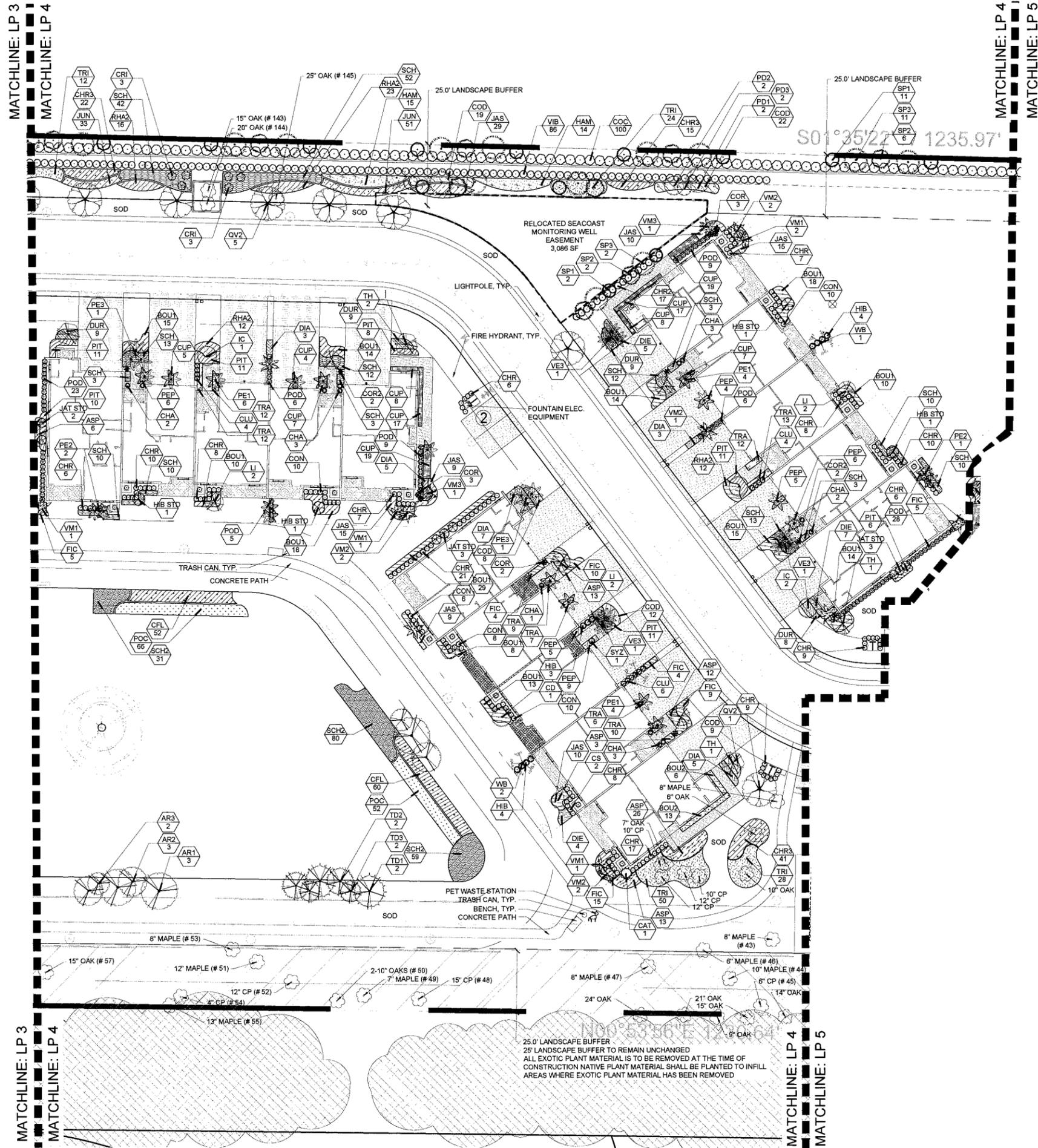
**Trevi Isle
 Hood Rd. & Florida's Turnpike
 Palm Beach Gardens, FL
 Landscape Plan**



Scale: 1" = 20'-0"

Date:	06-27-2014
Project No.:	06-039.005
Designed By:	TLM
Drawn By:	TLM
Checked By:	SM/AB
Revision Dates:	
04-02-15 Resubmittal	TLM
07-02-15 Resubmittal	TLM
05-15-16 Resubmittal	TLM
05-15-16 Resubmittal	HLC
06-15-16 Resubmittal	TLM/KWK
10-25-16 Resubmittal	KWK

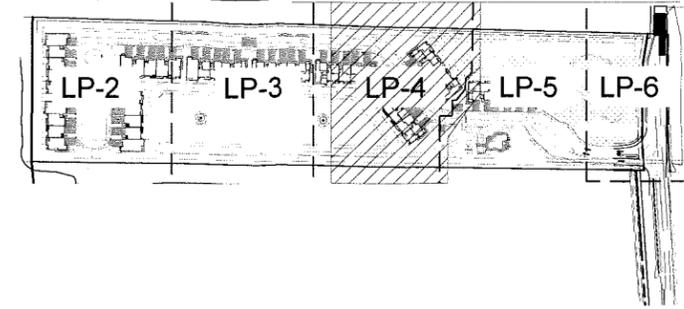
MATCHLINE: LP 3
MATCHLINE: LP 4



MATCHLINE: LP 3
MATCHLINE: LP 4

MATCHLINE: LP 4
MATCHLINE: LP 5

SHEET KEY



PLANT LEGEND

TREES	CODE	BOTANICAL NAME / COMMON NAME
	AR1	Acer rubrum / Red Maple
	AR2	Acer rubrum / Red Maple
	AR3	Acer rubrum / Red Maple
	CD	Coccoloba diversifolia / Pigeon Plum
	CS	Cordia sebestena / Orange Geiger Tree
	IC	Sex cassine / Dahoon Holly
	LI	Ligustrum x 'Taskage' / Taskage Crape Myrtle Multi-Trunk
	PO2	Pinus ellioti 'Densa' / Slash Pine
	PO1	Pinus ellioti 'Densa' / Slash Pine
	PO3	Pinus ellioti 'Densa' / Slash Pine
	OV	Quercus virginiana / Southern Live Oak
	QV2	Quercus virginiana / Southern Live Oak
	TH	Tabeouia bahamensis / Pink Tabeouia
	TD1	Taxodium distichum / Bald Cypress
	TD2	Taxodium distichum / Bald Cypress
	TD3	Taxodium distichum / Bald Cypress
	TR1	Trichocereus sp.
	TR2	Trichocereus sp.
	TR3	Trichocereus sp.
	TR4	Trichocereus sp.
	TR5	Trichocereus sp.
	TR6	Trichocereus sp.
	TR7	Trichocereus sp.
	TR8	Trichocereus sp.
	TR9	Trichocereus sp.
	TR10	Trichocereus sp.
	TR11	Trichocereus sp.
	TR12	Trichocereus sp.
	TR13	Trichocereus sp.
	TR14	Trichocereus sp.
	TR15	Trichocereus sp.
	TR16	Trichocereus sp.
	TR17	Trichocereus sp.
	TR18	Trichocereus sp.
	TR19	Trichocereus sp.
	TR20	Trichocereus sp.
	TR21	Trichocereus sp.
	TR22	Trichocereus sp.
	TR23	Trichocereus sp.
	TR24	Trichocereus sp.
	TR25	Trichocereus sp.
	TR26	Trichocereus sp.
	TR27	Trichocereus sp.
	TR28	Trichocereus sp.
	TR29	Trichocereus sp.
	TR30	Trichocereus sp.
	TR31	Trichocereus sp.
	TR32	Trichocereus sp.
	TR33	Trichocereus sp.
	TR34	Trichocereus sp.
	TR35	Trichocereus sp.
	TR36	Trichocereus sp.
	TR37	Trichocereus sp.
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	TR39	Trichocereus sp.
	TR40	Trichocereus sp.
	TR41	Trichocereus sp.
	TR42	Trichocereus sp.
	TR43	Trichocereus sp.
	TR44	Trichocereus sp.
	TR45	Trichocereus sp.
	TR46	Trichocereus sp.
	TR47	Trichocereus sp.
	TR48	Trichocereus sp.
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	TR51	Trichocereus sp.
	TR52	Trichocereus sp.
	TR53	Trichocereus sp.
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	TR61	Trichocereus sp.
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	TR63	Trichocereus sp.
	TR64	Trichocereus sp.
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	TR66	Trichocereus sp.
	TR67	Trichocereus sp.
	TR68	Trichocereus sp.
	TR69	Trichocereus sp.
	TR70	Trichocereus sp.
	TR71	Trichocereus sp.
	TR72	Trichocereus sp.
	TR73	Trichocereus sp.
	TR74	Trichocereus sp.
	TR75	Trichocereus sp.
	TR76	Trichocereus sp.
	TR77	Trichocereus sp.
	TR78	Trichocereus sp.
	TR79	Trichocereus sp.
	TR80	Trichocereus sp.
	TR81	Trichocereus sp.
	TR82	Trichocereus sp.
	TR83	Trichocereus sp.
	TR84	Trichocereus sp.
	TR85	Trichocereus sp.
	TR86	Trichocereus sp.
	TR87	Trichocereus sp.
	TR88	Trichocereus sp.
	TR89	Trichocereus sp.
	TR90	Trichocereus sp.
	TR91	Trichocereus sp.
	TR92	Trichocereus sp.
	TR93	Trichocereus sp.
	TR94	Trichocereus sp.
	TR95	Trichocereus sp.
	TR96	Trichocereus sp.
	TR97	Trichocereus sp.
	TR98	Trichocereus sp.
	TR99	Trichocereus sp.
	TR100	Trichocereus sp.

SHRUB AREAS	CODE	BOTANICAL NAME / COMMON NAME
	ALL	Alternanthera versicolor / Bush Alternanthera
	ANN	Annals / Annals
	ASP	Asparagus densiflorus 'Meyerii' / Foxtail Fern
	BOU1	Bougainvillea x 'Miss Alice' / White Throness Bougainvillea
	BOU2	Bougainvillea x 'Sirovets' / Lilac Throness Bougainvillea
	CHR3	Chrysobalanus cacao 'Red Tip' / Red Tip Cocoplum
	COD	Cordia alliodora / Alligator Tree
	CUP	Cuphea hyssopifolia / Mexican Heather
	DIA	Dianella caerulea 'Vasegata' / Blue Flax
	DIE	Dioscorea alata / White Alocasia
	DUR	Duranta erecta 'Gold Mound' / Gold Mound Duranta
	FIG	Ficus microcarpa 'Green Island' / Green Island Ficus
	GAL	Gaillardia x 'Rain of Gold' / Rain of Gold
	HAM	Hamelia patens / Fire Bush
	JAS	Jasminum volubile / Waa Jasmine
	SCH	Schefflera arborescens 'Tineke' / Schefflera
	SPA	Spartina bakeri / Sand Cord Grass
	TRI	Tripsacum dactyloides nana / Dwarf Fakahatchee Grass
	VE3	Veltheimia cordata 'Blue' / Blue Pickered Weed
	VM1	Veitchia montgomeryana / Montgomery Palm
	VM2	Veitchia montgomeryana / Montgomery Palm
	VM3	Veitchia montgomeryana / Montgomery Palm
	WB	Wedelia bicolorata / Fossil Palm

LITTORAL PLANTINGS	CODE	BOTANICAL NAME / COMMON NAME
	CFL	Canva bacatta 'Dwarf' / Dwarf Yellow Canva
	RI	Riviera coccinea / Blue Flag
	POC	Portulaca oleraceae 'Blue' / Blue Pickered Weed
	SAG	Sagittaria latifolia / Duck Potato
	SCH2	Sciosoplectus salernitanus / Southern Banush

GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME
	PEP	Peperomia obtusifolia 'Vasegata' / Vasegated Peperomia
	TRA	Tradescantia spathulata 'Tricolor' / Rainbow Oyster Plant



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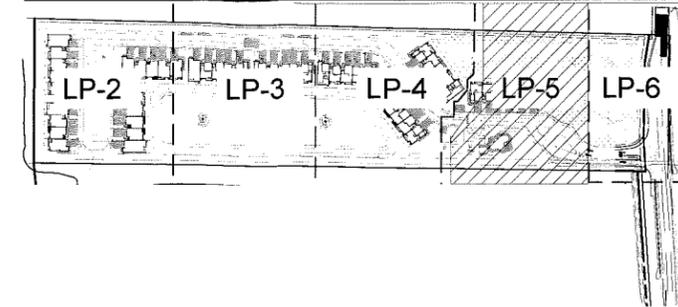
Trevi Isle
Hood Rd. & Florida's Turnpike
Palm Beach Gardens, FL
Conceptual Landscape Plan



Scale: 1" = 20'-0"

Date:	06-27-2014
Project No.:	06-039.005
Designed By:	TLM
Drawn By:	TLM
Checked By:	SM/AB
Revision Dates:	
04-02-15 Resubmittal	TLM
07-02-15 Resubmittal	TLM
03-18-16 Resubmittal	TLM
06-15-16 Resubmittal	HLG
06-15-16 Resubmittal	TLM/KWK
10-25-16 Resubmittal	KWK

SHEET KEY



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Trevi Isle Hood Rd. & Florida's Turnpike Palm Beach Gardens, FL Landscape Plan



NORTH
0 10' 20' 40'
Scale: 1" = 20'-0"

Date: 06-27-2014
Project No.: 06-039.005
Designed By: TLM
Drawn By: TLM
Checked By: SM/AB

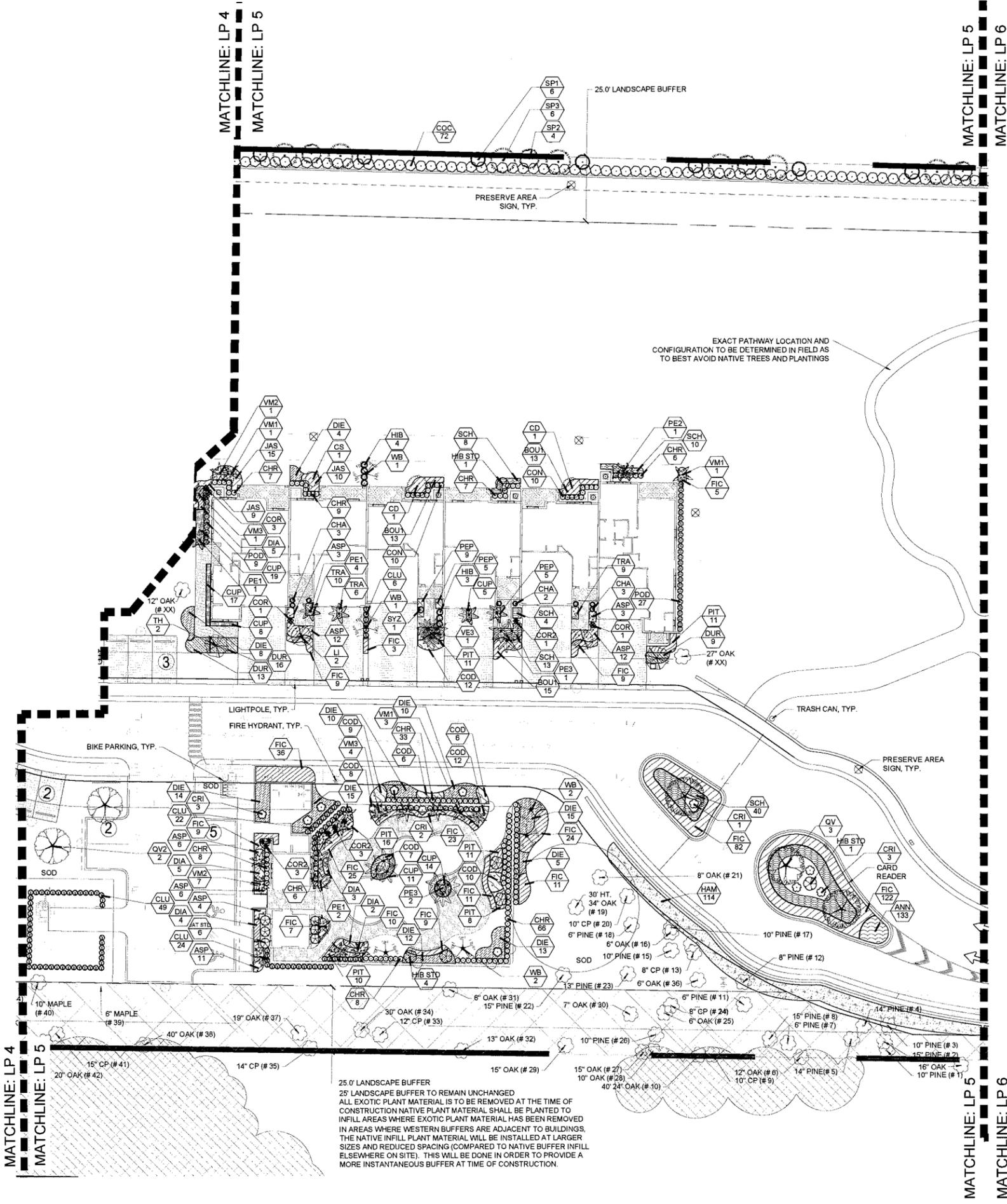
Revision Dates:

04-02-15	Resubmittal	TLM
07-02-15	Resubmittal	TLM
03-18-16	Resubmittal	TLM
06-15-16	Resubmittal	HLC
06-15-16	Resubmittal	TLM/KWK
10-25-16	Resubmittal	KWK

LP-5
of 9

PLANT LEGEND

TREES	CODE	BOTANICAL NAME / COMMON NAME
	AR1	Acer rubrum / Red Maple
	AR2	Acer rubrum / Red Maple
	AR3	Acer rubrum / Red Maple
	CD	Coccoloba diversifolia / Pigeon Palm
	CS	Conita saboterana / Orange Ginger Tree
	IC	Ilex cassine / Dahoon Holly
	LI	Lagotis indica / Tutakage / Tutakage Grape Myrtle Multi-Trunk
	PO2	Pinus elliottii / Slash Pine
	PO1	Pinus elliottii / Slash Pine
	PO3	Pinus elliottii / Slash Pine
	QV	Quercus virginiana / Southern Live Oak
	QV2	Quercus virginiana / Southern Live Oak
	TH	Tabebuia heterophylla / Pink Tabebuia
	TD1	Taxodium distichum / Bald Cypress
	TD2	Taxodium distichum / Bald Cypress
	TD3	Taxodium distichum / Bald Cypress
	PE2	Psychospora elegans / Alexander Palm Double
	PE1	Psychospora elegans / Alexander Palm
	PE3	Psychospora elegans / Alexander Palm Triple
	SP1	Sabal palmetto / Cabbage Palmetto
	SP2	Sabal palmetto / Cabbage Palmetto
	SP3	Sabal palmetto / Cabbage Palmetto
	VE3	Veitchia merrillii / Triple Christmas Palm
	VM1	Veitchia montgomeryana / Montgomery Palm
	VM2	Veitchia montgomeryana / Montgomery Palm
	VM3	Veitchia montgomeryana / Montgomery Palm
	WB	Wodyetia bifurcata / Foxtail Palm
	BOU	Bougainvillea x Barbara Kanti / Barbara Kanti Bougainvillea
	CAT	Chamaecorea catapactum / Cat Palm
	CHA	Chamaecorea elegans / Parrot Palm
	CHR	Chrysalidanea kaco / Red Tip / Red Tip Coccoloba
	CHR2	Chrysalidanea kaco / Red Tip / Red Tip Coccoloba
	CLU	Clusia guineana / Small-Leaf Clusia
	COG	Coccoloba vitifera / Sea Grape
	CON	Conocarpus erectus sericeus / Silver Button Wood
	HIB	Hibiscus x Kaiser Pink / Kaiser Pink Hibiscus
	POD	Podocarpus macrophyllus / Podocarpus
	VB	Viburnum coccineum / Avocado / Avocado Viburnum
	SHRUBS	
	BOU	Bougainvillea x Barbara Kanti / Barbara Kanti Bougainvillea
	CAT	Chamaecorea catapactum / Cat Palm
	CHA	Chamaecorea elegans / Parrot Palm
	CHR	Chrysalidanea kaco / Red Tip / Red Tip Coccoloba
	CHR2	Chrysalidanea kaco / Red Tip / Red Tip Coccoloba
	CLU	Clusia guineana / Small-Leaf Clusia
	COG	Coccoloba vitifera / Sea Grape
	CON	Conocarpus erectus sericeus / Silver Button Wood
	HIB	Hibiscus x Kaiser Pink / Kaiser Pink Hibiscus
	POD	Podocarpus macrophyllus / Podocarpus
	VB	Viburnum coccineum / Avocado / Avocado Viburnum
	ALL	Allamanda schottii / Bush Allamanda
	ANN	Annalis / Annalis
	ASP	Asparagus densiflorus 'Meyersii' / Foxtail Fern
	BOU1	Bougainvillea x 'Mass Alice' / White Throated Bougainvillea
	BOU2	Bougainvillea x 'Silhouette' / Liliac Throated Bougainvillea
	CHR3	Chrysalidanea kaco 'Red Tip' / Red Tip Coccoloba
	COG	Coccoloba vitifera / Sea Grape
	CUP	Cuphea hyssopifolia / Mexican Heather
	DIA	Dialia bracteata 'Vasegata' / Flax Lily
	DIE	Dieris indicoides / White African Iris
	DUR	Duranta erecta 'Gold Mound' / Gold Mound Duranta
	FIC	Ficus microcarpa 'Green Island' / Green Island Ficus
	GAL	Galiphrusa gracilis / Flax of Gold
	HAM	Hamelia patens / Fire Bush
	JAS	Jasminum volubile / Wax Jasmine
	JUN	Juniperus chinensis 'Parsoni' / Parsoni Juniper
	PIT	Pithecolobium birtia 'Vasegata' / Vasegated Pithecolobium
	RHA2	Rhaphelesia indica / Indian Hawthorn
	SCH	Schefflera arboricola 'Trinette' / Schefflera
	SPA	Spartina bakeri / Sand Cord Grass
	TNU	Tylosurus dactyloides nana / Dwarf Falahutake Grass
	CPFL	Carina fasciata 'Dwarf' / Dwarf Yellow Carina
	IRI	Iris versicolor / Blue Flag
	POC	Portulaca cordata 'Blue' / Blue Pickover Weed
	SAG	Sagittaria arifolia / Duck Potato
	SCH2	Schefflera tabernaemontana / Southern Bougainvillea
	PEP	Peperomia obtusifolia 'Vasegata' / Vasegated Peperomia
	TRA	Tradescantia spathacea 'Tricolor' / Rainbow Oyster Plant
	GROUND COVERS	
	PEP	Peperomia obtusifolia 'Vasegata' / Vasegated Peperomia
	TRA	Tradescantia spathacea 'Tricolor' / Rainbow Oyster Plant

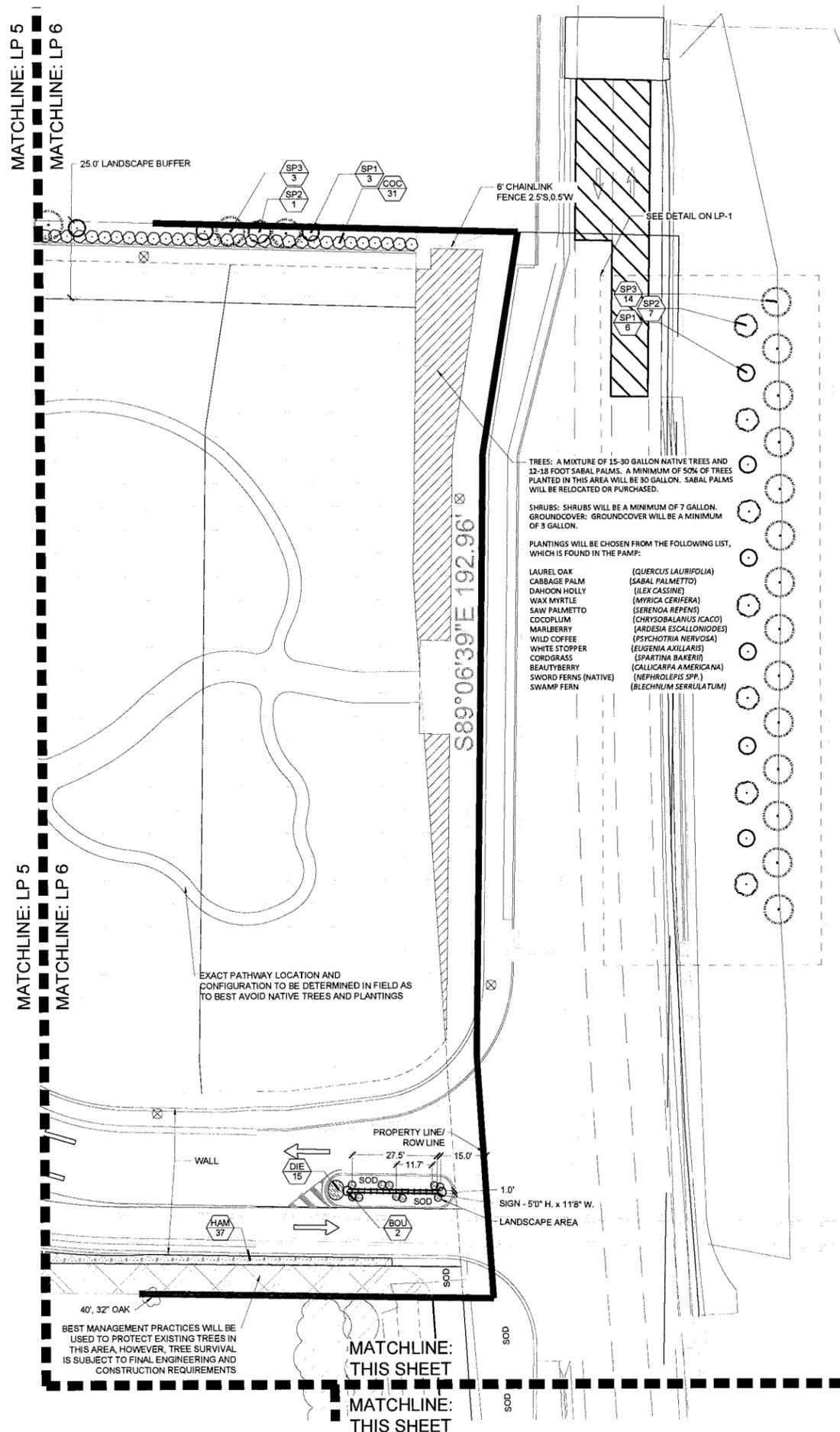


25' LANDSCAPE BUFFER
25' LANDSCAPE BUFFER TO REMAIN UNCHANGED
ALL EXOTIC PLANT MATERIAL IS TO BE REMOVED AT THE TIME OF
CONSTRUCTION. NATIVE PLANT MATERIAL SHALL BE PLANTED TO
INFILL AREAS WHERE EXOTIC PLANT MATERIAL HAS BEEN REMOVED
IN AREAS WHERE WESTERN BUFFERS ARE ADJACENT TO BUILDINGS.
THE NATIVE INFILL PLANT MATERIAL WILL BE INSTALLED AT LARGER
SIZES AND REDUCED SPACING (COMPARED TO NATIVE BUFFER INFILL
ELSEWHERE ON SITE). THIS WILL BE DONE IN ORDER TO PROVIDE A
MORE INSTANTANEOUS BUFFER AT TIME OF CONSTRUCTION.

EXACT PATHWAY LOCATION AND
CONFIGURATION TO BE DETERMINED IN FIELD AS
TO BEST AVOID NATIVE TREES AND PLANTINGS

MATCHLINE: LP 5
MATCHLINE: LP 6

MATCHLINE: LP 5
MATCHLINE: LP 6



TREES: A MIXTURE OF 15-30 GALLON NATIVE TREES AND 12-18 FOOT SABAL PALMS. A MINIMUM OF 50% OF TREES PLANTED IN THIS AREA WILL BE 30 GALLON. SABAL PALMS WILL BE RELOCATED OR PURCHASED.

SHRUBS: SHRUBS WILL BE A MINIMUM OF 7 GALLON. GROUND COVER: GROUND COVER WILL BE A MINIMUM OF 3 GALLON.

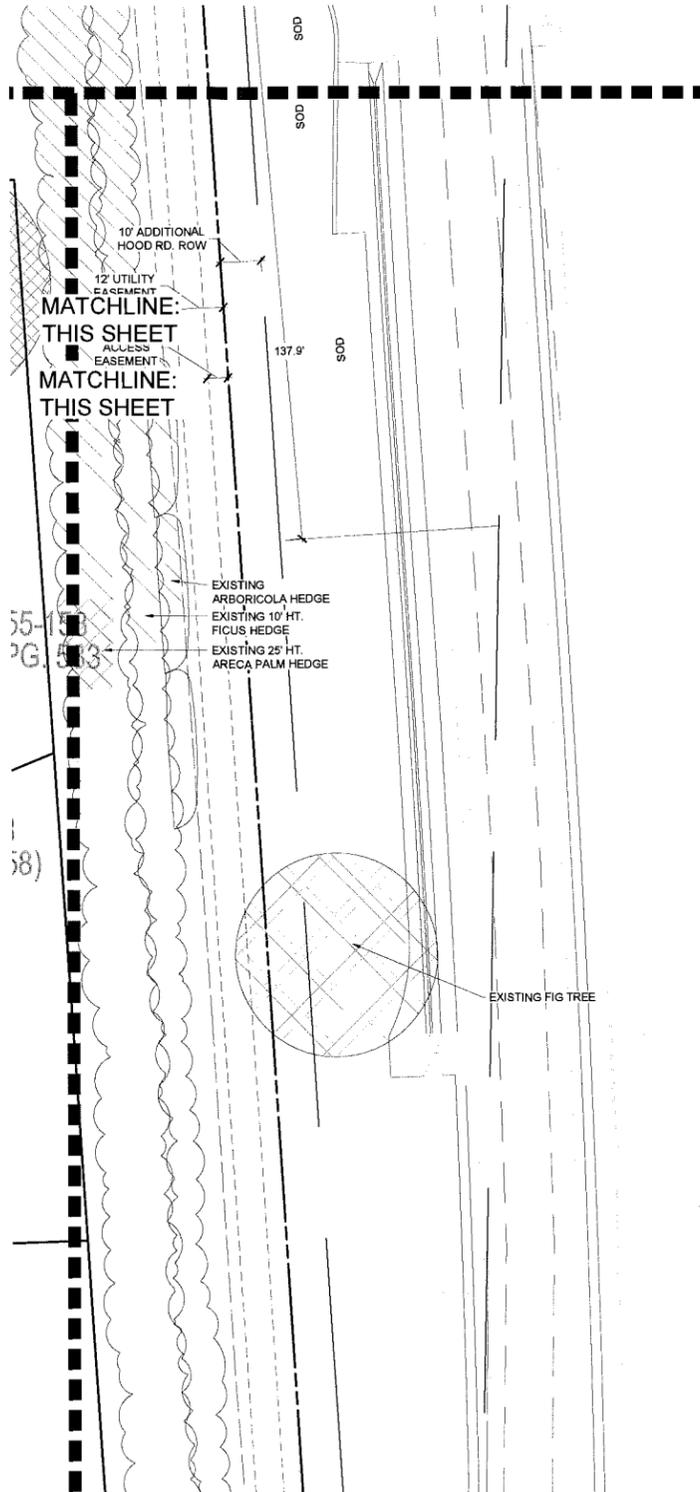
PLANTINGS WILL BE CHOSEN FROM THE FOLLOWING LIST, WHICH IS FOUND IN THE PAMP:

LAUREL OAK	(QUERCUS LAURIFOLIA)
CABBAGE PALM	(SABAL PALMETTO)
DAHOON HOLLY	(ILEX CASSINE)
WAX MYRTLE	(MYRTICA CERIFERA)
SAW PALMETTO	(SERENIA REPENS)
COCOLIM	(CHRYSOBALANUS ICACO)
MARLBERRY	(ARDESIA ESCALLONIOIDES)
WILD COFFEE	(PSYCHOTRIA NERVOUSA)
WHITE STOPPER	(EUGENIA AXILLARIS)
CORDGRASS	(SPARTINA BAKERI)
BEAUTYBERRY	(CALLICARPA AMERICANA)
SWORD FERNS (NATIVE)	(NEPHROLEPIS SPP.)
SWAMP FERN	(BLECHNUM SERRULATUM)

EXACT PATHWAY LOCATION AND CONFIGURATION TO BE DETERMINED IN FIELD AS TO BEST AVOID NATIVE TREES AND PLANTINGS

BEST MANAGEMENT PRACTICES WILL BE USED TO PROTECT EXISTING TREES IN THIS AREA, HOWEVER, TREE SURVIVAL IS SUBJECT TO FINAL ENGINEERING AND CONSTRUCTION REQUIREMENTS

MATCHLINE: THIS SHEET
MATCHLINE: THIS SHEET

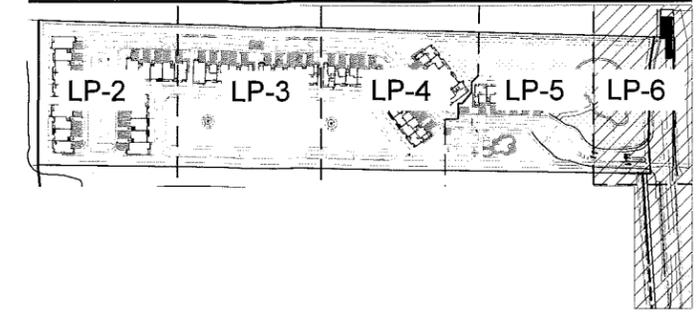


MATCHLINE: THIS SHEET
MATCHLINE: THIS SHEET

EXISTING ARBORICOLA HEDGE
EXISTING 10' HT. FICUS HEDGE
EXISTING 25' HT. ARECA PALM HEDGE

EXISTING FIG TREE

SHEET KEY



PLANT LEGEND

TREES	CODE	BOTANICAL NAME / COMMON NAME	SPECIMEN PLANTS	CODE	BOTANICAL NAME / COMMON NAME
AR1	AR1	Acer rubrum / Red Maple	CDR	CDR	Codyline rubrosa / Avanti Low / Avanti Lou T1 Plant
AR2	AR2	Acer rubrum / Red Maple	CDR2	CDR2	Codyline rubrosa / Pink Diamond / Pink Diamond T1
AR3	AR3	Acer rubrum / Red Maple	CR1	CR1	Citrus aurantium / Queen Emma / Queen Emma / Citrus
CD	CD	Coccoloba diversifolia / Pigeon Plum	HB STD	HB STD	Hibiscus spp. / Standard / Standard Hibiscus
CS	CS	Cordia alliodora / Orange Grape Tree	JAT STD	JAT STD	Jatropha integrinosa / Compact / Compact Spicy Jatropha
C	C	Ilex cassine / Dahoon Holly	SYZ	SYZ	Syzygium paniculatum / Globe / Bush Cherry Topiary
LI	LI	Lagerstroemia x Tuskegee / Tuskegee Crape Myrtle Multi-Trunk	SHRUBS AND ANNUALS	ALL	Alamanda schottii / Bush Alamanda
PD2	PD2	Pinus ellioti / Densa / Slash Pine	ANN	ANN	Annals / Annals
PD1	PD1	Pinus ellioti / Densa / Slash Pine	ASP	ASP	Asparagus densiflorus / Meyers / Fossil Fern
PD3	PD3	Pinus ellioti / Densa / Slash Pine	BOU1	BOU1	Bougainvillea x Miss Alor / White Thicket Bougainvillea
QV	QV	Quercus virginiana / Southern Live Oak	BOU2	BOU2	Bougainvillea x Sibouette / Lic. Thicket Bougainvillea
QV2	QV2	Quercus virginiana / Southern Live Oak	CHR3	CHR3	Chrysobalanus icaco / Red Tip / Red Tip Cocoplum
TA	TA	Taxodium heterophyllum / Pink Tabebuia	COO	COO	Codiaeum variegatum / Pea / Pea Croton
T01	T01	Taxodium distichum / Bald Cypress	CUP	CUP	Cuphea hyssopifolia / Mexican Heather
T02	T02	Taxodium distichum / Bald Cypress	DA	DA	Dianella bartramica / Variegata / Pink Lily
T03	T03	Taxodium distichum / Bald Cypress	DIE	DIE	Dieris indicus / White African Iris
PE2	PE2	Rhychospenna elegans / Alexander Palm Double	DUR	DUR	Duranta erecta / Gold Mound / Gold Mound Duranta
PE1	PE1	Rhychospenna elegans / Alexander Palm	F-C	F-C	Ficus microcarpa / Green Island / Green Island Ficus
PE3	PE3	Rhychospenna elegans / Alexander Palm Triple	GAL	GAL	Galpalmia gracilis / Rain of Gold
SP1	SP1	Sabal palmetto / Cabbage Palmetto	HAM	HAM	Halteria palmis / Palm Bush
SP2	SP2	Sabal palmetto / Cabbage Palmetto	JAS	JAS	Jasminum volatile / Wax Jasmine
SP3	SP3	Sabal palmetto / Cabbage Palmetto	JUN	JUN	Jurupura chinensis / Parasol / Parasol Juniper
VE3	VE3	Vecthia merillii / Triple Chainis Palm	PT	PT	Pithecolobium lobata / Variegata / Variegated Pithecolobium
VM1	VM1	Vecthia montgomeryana / Montgomery Palm	RHA2	RHA2	Rhaphtophis indica / Indian Hawthorn
VM2	VM2	Vecthia montgomeryana / Montgomery Palm	SCH	SCH	Schefflera arboricola / Umbrella / Schefflera
VM3	VM3	Vecthia montgomeryana / Montgomery Palm	SPA	SPA	Sparganium angustifolium / Sand Cord Grass
WB	WB	Wodyetia bifurcata / Foxtail Palm	TRI	TRI	Tripsacum dactyloides rava / Dwarf Fakahatchee Grass
SHRUBS	CODE	BOTANICAL NAME / COMMON NAME	LITTORAL PLANTINGS	CODE	BOTANICAL NAME / COMMON NAME
BOU	BOU	Bougainvillea x Barbara Kent / Barbara Kent Bougainvillea	CP1	CP1	Canna flaccida / Dwarf / Dwarf Yellow Canna
CAT	CAT	Chamaedorea catractanum / Cat Palm	IR	IR	Iris versicolor / Blue Flag
CHA	CHA	Chamaedorea elegans / Parlor Palm	POC	POC	Pontederica cordata / Blue / Blue Picket Weed
CHR	CHR	Chrysobalanus icaco / Red Tip / Red Tip Cocoplum	SAG	SAG	Sagittaria latifolia / Duck Potato
CHR2	CHR2	Chrysobalanus icaco / Red Tip / Red Tip Cocoplum	SCH2	SCH2	Schoenoplectus tabernaemontani / Sulfur Palm
CLU	CLU	Clusia guttata / Small-Leaf Clusia	GROUND COVERS	CODE	BOTANICAL NAME / COMMON NAME
COC	COC	Coccoloba wrightii / Sea Grape	PEP	PEP	Peperomia obtusifolia / Variegata / Variegated Peperomia
CON	CON	Conocarpus erectus senecoides / Silver Button Wood	TRA	TRA	Tradescantia spathulata / Tricolor / Rainbow Oyster Plant
HB	HB	Hibiscus x Kaiser Pink / Kaiser Pink Hibiscus			
POD	POD	Panicum macrophyllum / Podocarpus			
VB	VB	Viburnum odoratissimum / Awaiki / Awaiki Viburnum			



Urban Planning & Design
Landscape Architecture
Communication Graphics

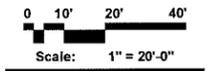
610 Clematis Street, Suite CU02
West Palm Beach, FL 33401
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www.udkstudios.com
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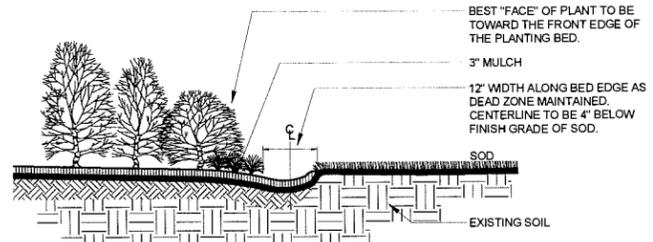
Trevi Isle
Hood Rd. & Florida's Turnpike
Palm Beach Gardens, FL
Landscape Plan



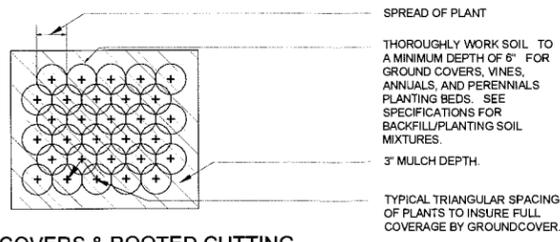
NORTH



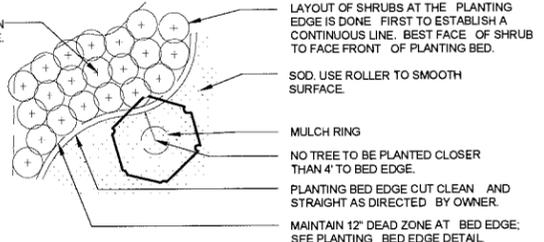
Date: 06-27-2014
Project No.: 06-039.005
Designed By: TLM
Drawn By: TLM
Checked By: SM/AB
Revision Dates:
04-02-15 Resubmittal TLM
07-02-15 Resubmittal TLM
03-18-16 Resubmittal TLM
06-15-16 Resubmittal H.C.
08-15-16 Resubmittal TLM/KWK
10-25-16 Resubmittal KWK



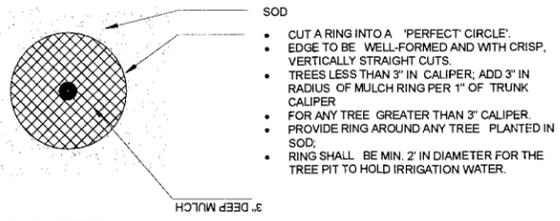
PLANTING BED EDGE
NOT TO SCALE



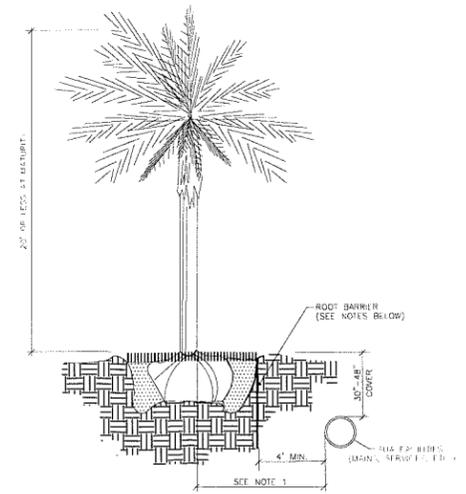
GROUND COVERS & ROOTED CUTTING
NOT TO SCALE



SHRUB & GROUND COVER LAYOUT
NOT TO SCALE

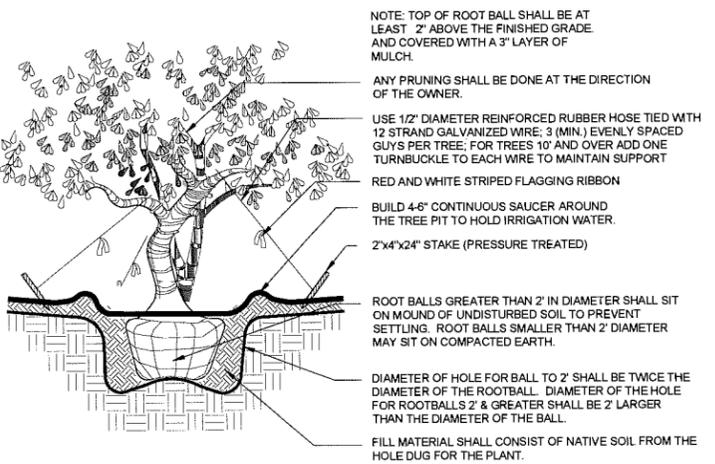


MULCH RING IN SOD DETAIL
NOT TO SCALE

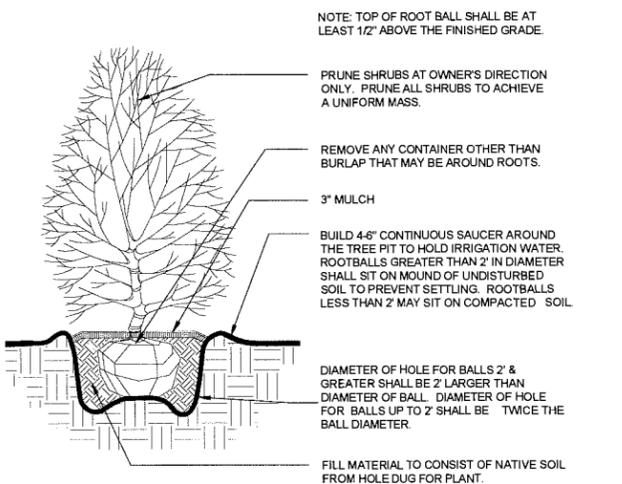


- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 7" MINIMUM WITH ROOT BARRIER AND 10" MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEACOAST FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS" FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.

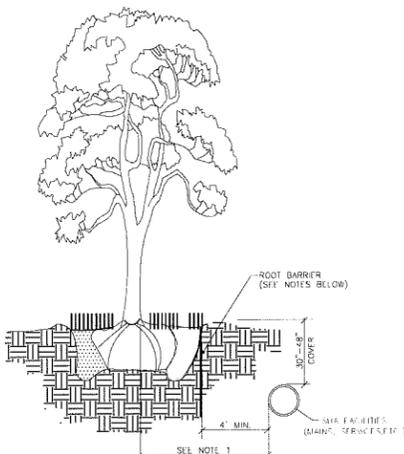
Typical Small Tree or Palm Tree with Root Barrier
June 24, 2015 (Rev A-15)



IRREGULAR & MULTI-STEM TREE PLANTING
NOT TO SCALE

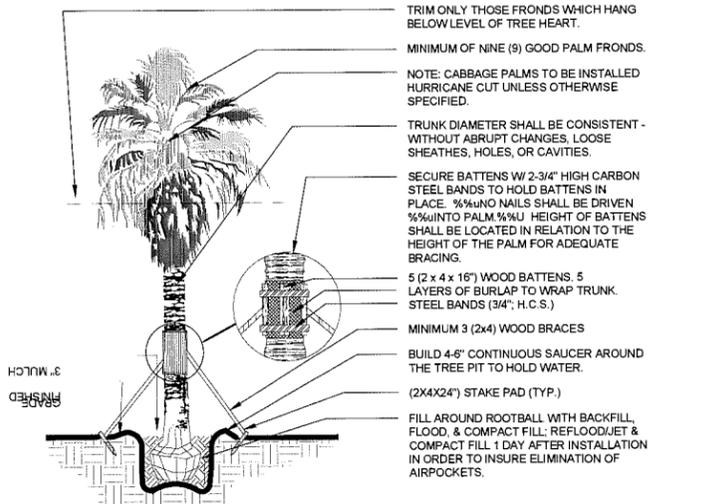


LARGE SHRUB PLANTING
NOT TO SCALE

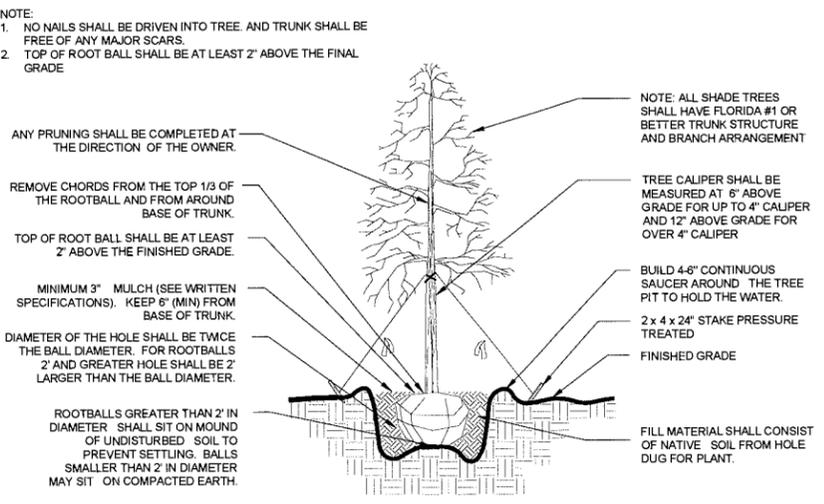


- NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)
1. THIS DISTANCE SHALL BE 10" MINIMUM WITH ROOT BARRIER AND 15" MINIMUM IF NO ROOT BARRIER IS USED.
 2. ALL ROOT BARRIERS SHALL BE 4" MINIMUM FROM ALL SEACOAST FACILITIES.
 3. THE INSTALLATION OF ROOT BARRIERS SHALL BE COORDINATED WITH SEACOAST AND INSPECTED BY SEACOAST PRIOR TO BACKFILLING. ALL ROOT BARRIERS SHALL EXTEND UP TO FINISHED GRADE.
 4. ROOT BARRIERS SHALL BE MINIMUM 36" DEEP. APPROVED PRODUCTS INCLUDE "DEEP ROOT" AND "ROOT SOLUTIONS" FLEXIBLE BARRIERS SHALL BE 36" PANELS MANUFACTURED BY BIOBARRIER.
 5. ALL ROOT BARRIERS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS.
 6. LARGE PALM TREES INCLUDE ROYAL, WASHINGTONIAN, BISMARCK AND SIMILAR SIZED SPECIES.

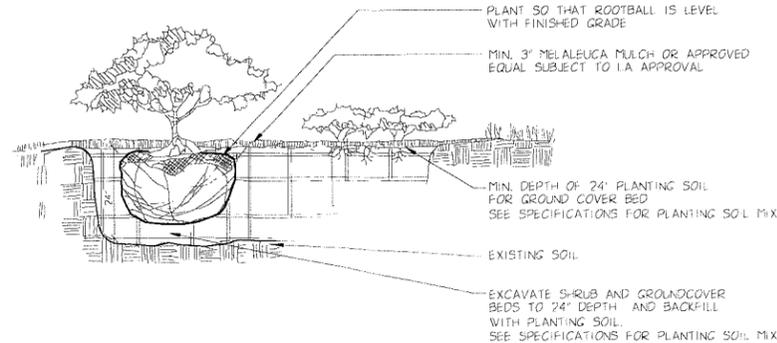
Typical Canopy Tree, Large or Exotic Palm Tree with Root Barrier
June 24, 2015 (Rev A-15)



TYPICAL PALM PLANTING
NOT TO SCALE



TREE PLANTING (2"-4" CALIPER)
NOT TO SCALE



SHRUB AND GROUND COVER DETAIL
NOT TO SCALE

Date:	06-27-2014
Project No.:	06-039.005
Designed By:	TLM
Drawn By:	TLM
Checked By:	SM/AB

Revision Dates:	
04-02-15 Resubmittal	TLM
07-02-15 Resubmittal	TLM
03-18-16 Resubmittal	TLM
06-15-16 Resubmittal	TLM/KWK
10-25-16 Resubmittal	KWK

Tree Protection Management Plan

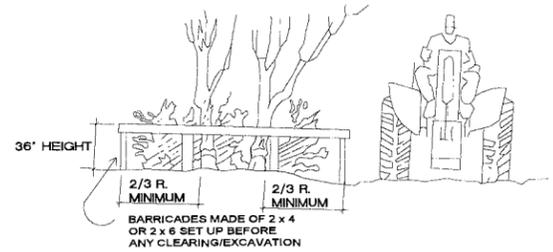
Prior to clearing any of the property for development, the contractor will do the following items:

Clearly identify and mark all trees to be preserved consistent with the approved Landscape Plan.

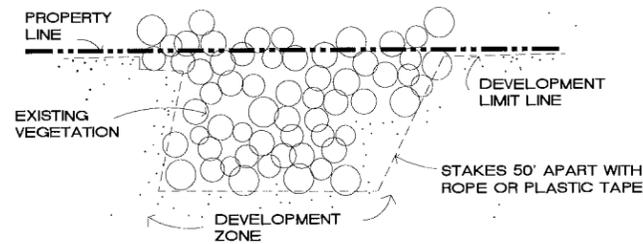
Install appropriate protective barriers around individual and groups of trees to be preserved.

A suitable protective barrier of metal, wood or other material shall be placed around individual protected trees:

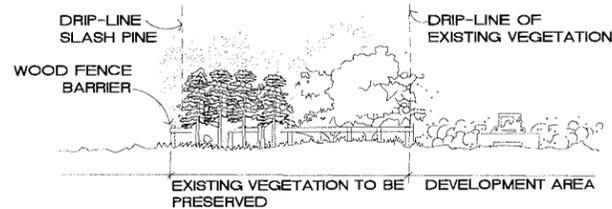
- a distance of 6' or more from all species of mangroves
- a distance of 6' or more, or at a distance outside of 2/3 of the radius of the dripline, whichever is greater, from all protected hardwoods
- a distance of 6' or more, or at a distance outside of 2/3 of the radius of the dripline, whichever is greater, of all protected conifers



Unless conditioned in the vegetation removal permit, groups of trees or areas of vegetation to be preserved shall not require protective barriers. These areas will be marked by stakes installed at a maximum of 50' apart with rope or plastic tape attached to said stakes around the perimeter of the protected area.



Sturdy wood posts and rails shall be used to ensure that barricades can withstand construction activity.



Protective barriers or markings shall remain in place until they are authorized to be removed by staff or receipt of a CO.

There shall be limited development within tree preservation areas:

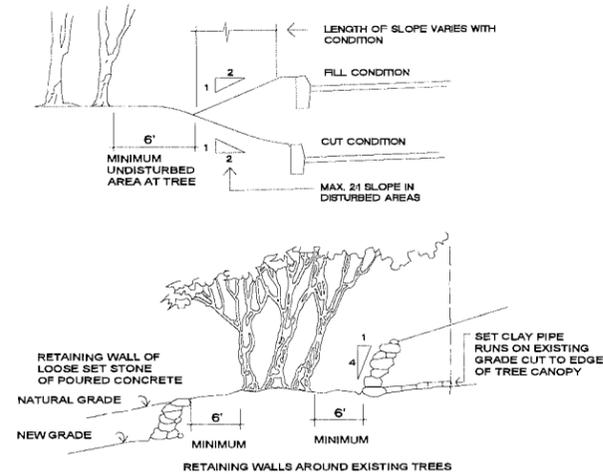
- maintained in its natural state
- provide permeable landscape natural. i.e., grass, mulch conform to governing landscape code.

There will be no attachment of signs, etc. to vegetation unless of a non-damaging character.

Light machinery or hand-labor is to be used if vegetation is to be installed in preservation areas.

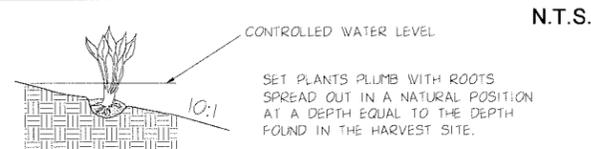
No grade changes shall be made within tree preservation areas, which require trenching or cutting of roots unless conditioned. Utility lines shall be installed to protect root systems as much as possible.

No removal of soil or fill in tree preservation areas shall occur.



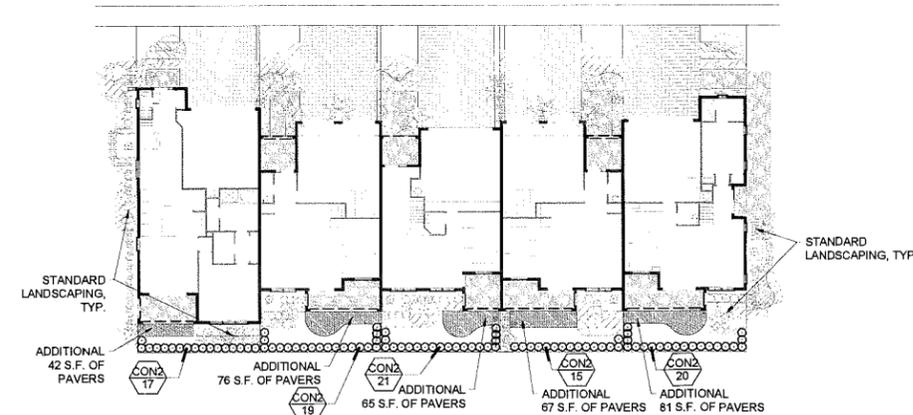
No clearing shall commence until all protection devices are installed, inspected and approved by the Zoning Division and Environmental Resource Management Department.

AQUATIC BARE ROOT PLANTING DETAIL



OPTIONAL ADDITIONAL LANDSCAPING & PATIO EXTENSION FOR INDIVIDUAL UNITS

SCALE: 1" = 20'

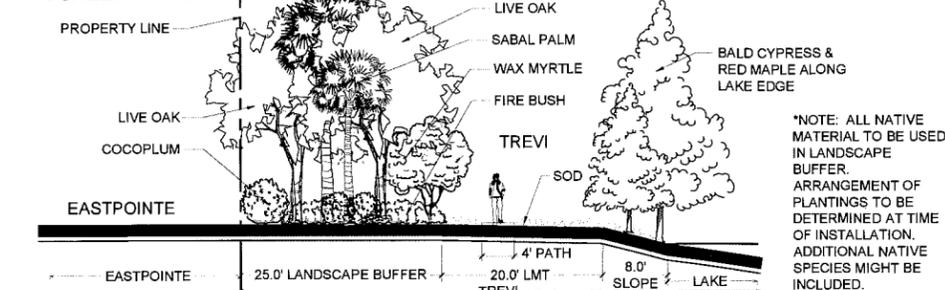


PLANT SCHEDULE OPTIONAL LANDSCAPING			
SHRUB CODE: 071	SYMBOL: [Symbol]	COMMON NAME: [Name]	REMARKS: [Remarks]
CONC: 12	CONCRETE	7' DIA. 36" HT. x 24" SFR. 24" O.C. FOR TO BASE, DENSE STRIP	

* TOTAL PLANT QUANTITY IF OPTIONAL LANDSCAPING WAS PLACED ON ALL UNITS OF A UNIT BUILDING. REFER TO PLANT QUANTITIES PER UNIT TYPICAL AS INDICATED ON PLAN.

WEST BUFFER CROSS SECTION (AGAINST EASTPOINTE)

SCALE: 1" = 10'



*NOTE: ALL NATIVE MATERIAL TO BE USED IN LANDSCAPE BUFFER. ARRANGEMENT OF PLANTINGS TO BE DETERMINED AT TIME OF INSTALLATION. ADDITIONAL NATIVE SPECIES MIGHT BE INCLUDED.

LITTORAL PLANTING NOTES:

1. Contractor to verify location and size of littoral shelf area and immediately coordinate with the Landscape Architect. If discrepancies are found.
2. Littoral zone to be provided with a minimum of 6" of a sand topsoil mix prior to installation of material for those areas that do not have adequate soil conditions to ensure plant survivorship.
3. All littoral planting is to match approved planting plan. Contractor to verify dimensions and required offsets of planting areas prior to installation of material.
4. All bank slopes are to be treated with Round-Up or equal prior to installation or relocation of material.
5. All plants dug and removed from natural habitats must be free of exotics prior to installation in order to prevent seeding.
6. All marsh plants must be free of exotic plants (Hydrilla, Torpedo Grass, Etc.) prior to delivery to jobsite.
7. Contractor to remove all dead and browning leaves prior to installation.
8. Field collected littoral plants to be installed within 36 hours after being dug to insure vigorous root growth after installation.
9. All bare root material shall be kept sufficiently moist and thoroughly wrapped in cloth, burlap, or equal material.
10. All upland bank slopes and relocation areas to be mulched with pine straw immediately after planting.
11. Landscape contractor to coordinate temporary irrigation water source for upland planting areas prior to installation of material.

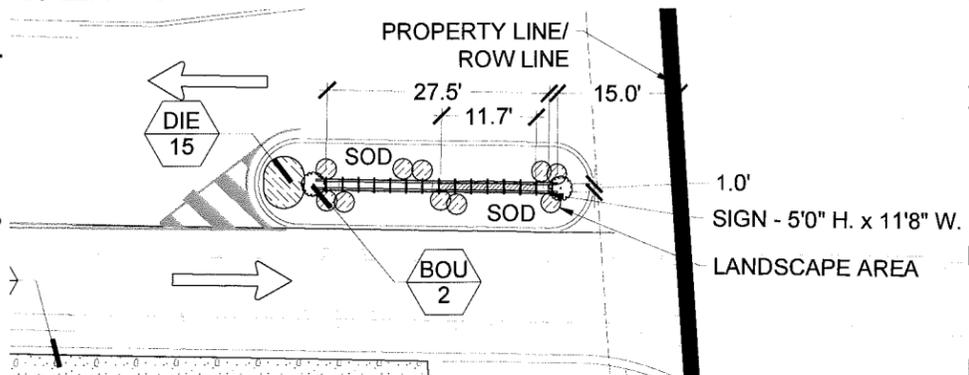
EXISTING TREES TO REMAIN & POINT VALUE:

Trevi Isle: Tree Preservation Point Calculations			
Landscape Plan 06.11.2015			
Tree #	Species Type	Size / DBH	Native Species Point Value
1	Pine	10"	25
2	Pine	15"	30
3	Pine	10"	25
4	Pine	14"	29
5	Pine	14"	29
6	Oak	12"	27
7	Pine	6"	21
8	Pine	15"	30
9	Cabbage Palm	10"	39
10	Oak	24"	39
11	Pine	6"	21
12	Pine	8"	23
13	Cabbage Palm	8"	3.3
14	Pine	10"	25
15	Pine	10"	25
16	Oak	6"	21
17	Pine	10"	25
18	Pine	6"	21
19	Oak	34"	49
20	Cabbage Palm	10"	3.3
21	Oak	8"	23
22	Pine	15"	30
23	Pine	13"	28
24	Cabbage Palm	8"	3.3
25	Oak	6"	21
26	Pine	10"	25
27	Oak	15"	30
28	Oak	10"	25
29	Oak	15"	30
30	Oak	7"	22
31	Oak	6"	21
32	Oak	13"	28
33	Cabbage Palm	12"	3.3
34	Oak	30"	45
35	Cabbage Palm	14"	3.3
36	Oak	6"	21
37	Oak	19"	34
38	Oak	40"	55
39	Maple	6"	21
40	Maple	10"	25
41	Cabbage Palm	15"	3.3
42	Oak	20"	35
43	Maple	8"	23
44	Maple	10"	25
45	Cabbage Palm	6"	3.3
46	Maple	6"	21
47	Maple	8"	23
48	Cabbage Palm	15"	3.3
49	Maple	7"	22
50	Oak	10"	25
51	Maple	12"	27
52	Cabbage Palm	12"	3.3
53	Maple	8"	23
54	Cabbage Palm	4"	3.3
55	Maple	13"	28
56	Oak	13"	28
57	Oak	15"	30
58	Oak	8"	23
59	Cabbage Palm	14"	3.3
60	Pine	6"	21
61	Pine	7"	22
62	Pine	9"	24
63	Pine	7"	22
64	Cabbage Palm	8"	3.3
65	Pine	14"	29
66	Pine	14"	29
67	Pine	13"	28
68	Cabbage Palm	14"	3.3
69	Oak	14"	29
70	Oak	8"	23
71	Pine	8"	23
72	Oak	22"	37
73	Pine	12"	27
74	Oak	6"	21
75	Oak	20"	35
76	Cabbage Palm	13"	3.3
77	Pine	16"	31
78	Oak	20"	35

79	Oak	42"	57
80	Pine	14"	29
81	Pine	9"	24
82	Oak	32"	47
83	Pine	14"	29
84	Oak	15"	30
85	Cabbage Palm	14"	3.3
86	Pine	16"	31
87	Pine	20"	35
88	Cabbage Palm	12"	3.3
89	Oak	7"	22
90	Oak	12"	27
91	Cabbage Palm	12"	3.3
92	Cabbage Palm	12"	3.3
93	Oak	8"	23
94	Cabbage Palm	14"	3.3
95	Cabbage Palm	14"	3.3
96	Cabbage Palm	12"	3.3
97	Cabbage Palm	14"	3.3
98	Cabbage Palm	10"	3.3
99	Oak	17"	32
100	Oak	17"	32
101	Oak	12"	27
102	Oak	32"	47
103	Oak	24"	39
104	Oak	24"	39
105	Oak	7"	22
106	Oak	9"	24
107	Oak	9"	24
108	Pine	9"	24
109	Oak	6"	21
110	Pine	16"	31
111	Oak	13"	28
112	Pine	15"	30
113	Pine	16"	31
114	Oak	10"	25
115	Cabbage Palm	15"	3.3
116	Cabbage Palm	8"	3.3
117	Oak	22"	37
118	Oak	34"	49
119	Oak	8"	23
120	Cabbage Palm	6"	3.3
121	Oak	8"	23
122	Cabbage Palm	12"	3.3
123	Pine	14"	29
124	Oak	6"	21
125	Pine	10"	25
126	Oak	16"	31
127	Oak	16"	31
128	Pine	15"	30
129	Pine	10"	25
130	Pine	16"	31
131	Pine	12"	27
132	Oak	9"	24
133	Oak	12"	27
134	Oak	10"	25
135	Oak	20"	35
141	Oak	13"	28
143	Oak	15"	30
144	Oak	20"	35
145	Oak	25"	40
149	Oak	20"	35
TOTAL TREE PRESERVATION POINTS:			3298.1

ENTRY LANDSCAPE

SCALE: 1" = 10'



**SECTION 02950
TREES, SHRUBS AND GROUND COVER**

PART I - GENERAL

By bidding on this project and/or signing a contract for landscape work, the Contractor acknowledges that he/she has read and understood these specifications in their entirety, that he/she has inspected the site, and that he/she will abide by all plans, specifications, and conditions found herein. Any concerns within the specifications or on the plant list, including unavailability of materials, are to be brought to the attention of the Landscape Architect prior to bid submission.

1.01 WORK INCLUDED

- A. Contractor shall obtain or ensure that all necessary permits have been granted to the Owner for work on the Owner's properties or in any adjacent easements prior to commencement of work.
- B. All planning and construction work shall be executed as shown on the provided drawings, schedules, and specifications.
- C. Any additional work or materials required to install landscape elements as called for on the plans, specifications or plant list shall be provided and installed by the Contractor.
- D. Finish Grade Elevations: 2 inch below top of pathway edging.
- E. The Contractor shall be fully responsible for all work until final acceptance by the Owner. The Contractor shall protect all materials and work against injury and shall provide and maintain all necessary guards for the protection of the public. He shall be held responsible for any negligence during the execution of the work.

1.02 QUALITY ASSURANCE

- A. All work specified herein shall be performed by a single firm specializing in landscape work. The Landscape Architect and the Owner retain the right to approve any proposed subcontractors prior to awarding the contract.
- B. Ship landscape materials with certificates of inspection required by governing authorities. Comply with all regulations applicable to landscape materials.
- C. Package standard products with manufacturers certified analysis. For other materials, provide analysis by recognized laboratory made in accordance with methods established by the Association of Official Agricultural Chemists, wherever applicable.
- D. Provide trees, palms, shrubs and groundcover grown in a recognized nursery in accordance with good horticultural practice. Materials must be healthy and vigorous, free of disease, insects, eggs, larvae, and defects such as decay, rot, knots, sun scald, injuries, abrasions, and poor or unusual form. No collected material will be permitted unless specific written approval is granted.
- E. Do not make substitutions. If specified landscape material is not available at time of planting, submit proof of non-availability and provide a list of proposed equivalent material. Once authorized, adjustments to the contract will be made. Owner is not financially responsible for unauthorized substitutions.
- F. Plant materials of larger size than specified may be used if acceptable to Landscape Architect and if sizes of root balls are increased proportionately. Installation of larger sizes will not increase contract amount unless specifically authorized by Owner.
- G. Owner and Landscape Architect reserve the right to inspect, approve or reject at any time plant materials or work either at the nursery or at the site which does not meet the condition in the plans, plant list or specifications.
- H. The Contractor shall be responsible for planting the landscape in complete accordance with all applicable codes, ordinances, and laws. Any modification made to comply with local laws and ordinances, after the bid is awarded, shall be completed at the Contractor's expense at no additional cost to the Owner.

1.03 SUBMITTALS

- A. Certification: Submit certificates of inspections as required by governmental authorities, and manufacturers or vendor's certified analysis for soil amendments and fertilizer materials. Submit other data substantiating that materials comply with specified requirements.
- B. Submit vendor's certified statement for each grass seed mixture required, stating botanical and common name, percentage by weight, and percentage of purity, germination, and weed seed for each grass seed species.
- C. Planting Schedule: Submit planting schedule showing schedule dates for each type of planting in each area of site.
- D. Maintenance Instructions: Submit typewritten procedures for maintenance of landscape work, through final acceptance.

1.04 DELIVERY, STORAGE AND HANDLING

- A. Packaged Materials: Deliver packaged materials in original containers showing manufacturer's guaranteed weight analysis and name of manufacturer. Protect materials from damage and deterioration during delivery and storage.
- B. Trees, shrubs, and ground covers: Provide freshly dug trees, palms, and shrubs. Do not prune prior to delivery. All plants shall be handled and stored so that they are adequately protected from drying out, from sun or wind burn, and from any other injury at all times. Any plant determined to be wilted or burned may be rejected at any time, whether in the ground or not. Plants shall be handled only by their containers or root balls, not by stems or trunks. Trees that are spruced or scarred during delivery, storage, or planting will be rejected. The on-site storage area shall be approved prior to the delivery of any plant materials. Do not bend or bind plants in such a manner as to damage bark, break branches, or destroy natural shape. Provide protective covering during delivery.
- C. Deliver plant materials after preparations for planting are complete, and plant immediately. Roots or balls of all plants shall be adequately protected at all times from sun and/or wind. Balled and burlapped plants cannot be planted immediately upon delivery shall be set on the ground and protected by having soil, wet peat, or other acceptable material covering the roots or balls keeping them moist.
- D. Do not remove container grown stock from containers until planting time.
- E. Label at least one tree, one palm and one shrub of each variety with a securely attached waterproof tag bearing legible designation of botanical and common name, if requested by Owner.
- F. Sod: Time delivery so that sod will be placed within 24 hours after stripping. Protect sod against drying and breaking of rolled strips.

1.05 JOB CONDITIONS

- A. Proceed with and complete landscape work as rapidly as portions of site become available.
- B. Utilities: Determine location of overhead and underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, as required. Forty eight (48) hours prior to digging, call the appropriate Utility Authority to have all utilities identified and marked in order to avoid conflicts.
- C. Protection of Existing Structures: All existing buildings, walks, walls, paving, piping, and other items of construction and planting already completed or otherwise shall be protected from damage. All damage resulting from negligence shall be repaired or replaced, including but not limited to marks on pavers and cracks within existing walkways caused by the Contractor. The Owner may, at his discretion have any damage repaired by others and subsequently costs back-charged to the Contractor.
- D. Protection of Existing Plant Material: The Contractor shall be responsible for all unauthorized cutting or damage to existing trees or shrubs caused by careless operation of equipment, stockpiling of materials, etc. This shall include compaction by driving or parking inside the drip-line of any tree, or spilling of oil, gasoline, or other deleterious materials within the drip-line of any tree. No materials shall be burned.
- E. Excavation: When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify Landscape Architect before planting.

PART II - EXECUTION

2.01 TOPSOIL

- A. The Contractor is required to obtain a soil sample and perform a soil analysis test to determine the existing soil composition and conclude whether it complies with the composition criteria below.
- B. Where topsoil does not meet the specified limits within the project site, it shall be furnished. Throughout all parts of site where finish grades and contour lines differ from existing contour lines, bring to finish grade contours shown on "Grading Plan".
- C. Topsoil shall be friable, fertile soil with representative characteristics of local soils. It shall be free of heavy clay, marl, stone, extraneous lime, plant roots, refuse and/or solid waste, sticks, brush, construction demolition debris, and any other deleterious materials. There shall be no noxious weeds or weed seeds (i.e., nut grass, Bermuda grass and the like). In no case shall there be more than five percent (5%) by dry weight of clay lumps or stones larger than 1". It shall test in the pH range of 6.0 to 7.2 and shall contain no substances that will impede plant growth. The Contractor shall have topsoil laboratory tested at his expense and approved by Landscape Architect or Owner prior to material delivery.

Topsoil shall conform to the following specifications:

COMPONENTS	DRY WEIGHT MEASURE	PARTICLE SIZE
Organic Matter	2% - 7%	
Silt/Clay	2% - 10%	<0.074 mm
Sand	85% - 98%	0.075 - 3.00 mm
Gravel	0% - 5%	4.75 mm - 1 inch

The analysis shall also show the following ranges:

Sulfate salt	<2 - 1.0mm/ho/cm
Nitrogen	25-100 PPM
Phosphorus	26 - 39 PPM
Potassium	50 - 250 PPM
Calcium	500 - 2500 PPM
Magnesium	50 - 500 PPM
Iron	2.5 - 25 PPM
Manganese	2.5 - 25 PPM
Zinc	2.5 - 25 PPM
Copper	1.3 - 5 PPM
Boron	0.5 - 1.5 PPM
Sulphur	15 - 200 PPM
Chlorine	less than 100 PPM
Sodium	less than 10
Nematodes	none

2.02 SOIL AMENDMENTS AND FERTILIZERS

- A. Peat Moss: Peat moss shall be a commercial, baled sphagnum material, free of woody material, minerals, or foreign matter, with a pH range of 3.0 - 5.5.
- B. Sand: Sand shall be clean, sharp, and free of all deleterious material.
- C. Lime: Natural limestone (Dolomite) containing not less than 85% of total carbonates, ground so that not less than 90% passes a 10-mesh sieve and not less than 50% passes a 100-mesh sieve.
- D. Humus Soil Conditioner: Consisting of yard trimmings and biosolids co-compost.
- E. Fertilizer: Fertilizer shall be a commercial grade, granular, slow release "pre-plant" type fertilizer.
 - 1. Fertilizer shall be delivered to the site in the original unopened container, bearing the manufacturer's guaranteed analysis. Any opened, caked, or damaged fertilizer will be rejected.
 - 2. Tree, palm, shrub and grass fertilizer shall be "UF (University of Florida) Formula" product 8-21-0 or 8-21-13 with minor elements as an all-purpose fertilizer, or equal, and applied according to the manufacturer's direction.
 - 3. Application of fertilizer shall be consistent with the current recommendations of the Green Industries - Best Management Practices.
 - 4. Fertilizer shall be applied by an individual who has successfully completed the GI-BMP program and holds a current Urban Fertilizer License or as required by the State and Local Ordinances.

2.03 WATER

- A. All water necessary for planting and maintenance shall be of satisfactory quality to sustain adequate growth of plants and shall not contain harmful, natural or man-made elements detrimental to plants.

2.04 OTHER LANDSCAPE PRODUCTS

- A. Mulch: Mulch shall be shredded Malaleuca, Eucalyptus, Grade "A" Pine Bark Nuggets, or approved equal, free of foreign materials and weed seeds. Minimum depth after setting shall be 3".
- B. Guying and Bracing: Tree guying and bracing shall be the responsibility of the Contractor in accordance with the planting details to insure stability and maintain plants in an upright position.
- C. Anti-desiccant: Anti-desiccant shall be "WilPro" or equal, if specified on plans.
- D. Tree Wound Paint: Tree wound paint shall be an asphaltic base paint containing an antibacterial agent, specially prepared for tree surgery work.
- E. Super Absorbent Polymer: "Terra Sorb" or approved equal as packaged in 3 oz. Handy Pac composed of synthetic acianide copolymer, potassium, acrylate. Particle size of 1.0 mm to 3.0 mm and absorbent rate of 300 times its weight in water, if specified on plans.

Apply dry, using the following amounts:

- 1. For trees and palms up to 36" diameter root ball, use one 3 oz. Handy Pac.
- 2. For trees and palms over 36" diameter root ball use two 3 oz.
- 3. Handy Pacs: Broadcast throughout planting hole and backfill as per manufacturers specifications.

For container grown plants:

Container Size	Application Rate
1 Gallon	1 Handy Pac / 9 Containers
3 Gallons	1 Handy Pac / 4 Containers
7-10 Gallons	1 Handy Pac / 2 Containers
20 Gallons	1 Handy Pac / 1 Container

2.05 PLANT MATERIAL

- A. Plant list is part of this specification section. The Contractor shall be responsible for furnishing and installing all plant materials shown on the drawings and plant list. In case of conflict between the two documents, the plant list shall rule.
- B. Quality: Trees, palms, shrubs, and other plants shall be Florida #1 or better as defined in the latest edition of Grades and Standards for Nursery Plants, Florida Department of Agriculture and Consumer Services. Multi-trunked trees will not be accepted unless they are specifically specified in the planting plans. All plants shall have a normal habit of growth and shall be sound, healthy, and vigorous. Trees shall have normal well-developed branching structures and vigorous root systems that are not root or container bound.
 - 1. Balled and burlapped plants (BB or b&b) shall be dug with firm, natural balls of earth, of sufficient depth and diameter to include the fibrous and feeding roots. Plants with cracked, dry, or broken balls will not be accepted, nor will plants with root balls of insufficient size.
 - 2. All plants, other than those collected on site, shall be nursery grown in accordance with good horticultural practices and under climatic conditions similar to the site for at least two years. Transplanting or root pruning shall have taken place during growth.
- C. Size: Plant sizes shown in the plant list are minimums. When a shrub size is given by height and spread and by container size, the larger of the two shall rule. All trees and shrubs shall be measured from their branches as in a normal position. Spread dimensions specified refer to the main body of the plant and not from extreme branch tip to tip. Height is measured from the soil line to the average height of the canopy. Measurement does not include any terminal growth; the container or root ball is also not included.

Unless otherwise specified, the determining measurement for trees shall be caliper, which shall be measured 6" above the ground for trees up to 4" in caliper, and 12" above the ground for trees over 4" caliper.

2.06 GRASS MATERIALS

- A. Types: Sod type shall be as specified on the provided landscape plan and associated plant schedule.
- B. Dimensions: The sod shall be taken up in commercial size rectangles, preferably 12-inch x 24-inch.
- C. Measurement: Sod shall be measured on the basis of square footage. Contractor shall be responsible for complete coverage based on the square footage shown on plans; therefore, Contractor shall factor in cutting and shrinkage of materials.
- D. The sod shall be sufficient to provide a dense stand of live grass. The sod shall be live, fresh and uninjured, at the time of planting. It shall be a soil mat of sufficient thickness, at least 2" thick, adhering firmly to the roots to withstand all necessary handling. It shall be free of weeds and other grasses. It shall be planted as soon as possible after being dug, and shall be shaded and kept moist from the time it is dug until it is planted. After approval, the area marked for sod shall be harvested shall be closely mowed and raked as necessary to remove excessive top growth and debris.

2.07 REJECTION, SUBSTITUTION, AND RELOCATION

- A. All plants not conforming to the requirements herein specified shall be considered defective and such plants shall be marked as rejected and removed from the site whether in the ground or not, at the Contractor's expense. Such removal shall take place immediately and new plants shall be brought in as replacements. The plant materials must meet all applicable inspections required by law.
- B. The Owner or Landscape Architect also reserves the right to require that plants be relocated after installation if their initial installation does not conform to the plans or the intent of the plans, or if the original location poses an unforeseen threat to other facilities, human life, health, or safety, or to site utilities. Such relocation shall be at the Contractor's expense.

PART III - EXECUTION

3.01 GENERAL

- A. Proceed with and complete landscape work as rapidly as portions of the site become available.
- B. No planting shall be done until all operations in conjunction with the installation of the sprinkler system have been completed, final grades have been established, planting areas have been properly graded and prepared.
- C. Adverse Conditions: When conditions potentially detrimental to plant growth are encountered during work, such as rubble or refuse fill, adverse drainage conditions, or obstructions, notify Owner or Landscape Architect before planting.
- D. Work Scheduling: Work is to be scheduled to establish a logical sequence of steps for completion of each type and phase of a landscape work, in such a way as to conform with, and avoid damage and conflict with, other disciplines on site.
- E. Coordination with Sod/Lawn: Plant trees, palms, and shrubs only after final grades are established, and prior to sodding or lawn establishment. If any planting must be done after lawn work, protect lawn/sod areas during planting and promptly repair any resulting damage.
- F. Timing
 - 1. Planting work shall not be started until the final subgrade has been established, berms have been constructed and fine finished grading completed.
 - 2. Under no conditions shall work be done if wet weather or soil conditions are not satisfactory.
- G. Clean-up:
 - 1. At all times during the construction and installation, the site shall be maintained in a clean, orderly and safe condition. Streets and pavements shall be kept clean. Materials and equipment for planting work shall be limited to the quantity required for the particular phase of work currently underway on the job site.
 - 2. Protect landscape work and materials from damage due to landscape installation and maintenance operations, operations by other contractors and trades, and trespassers. Maintain protection during installation, Maintenance and Establishment periods. Treat, repair or replace damaged landscape work as directed.

3.02 SOIL PREPARATION

- A. Grading and soil preparation work shall be performed only during periods when best results can be obtained. If the moisture content of the soil is high enough that work would damage soil structure, grading and tilling operations shall be suspended.

- B. Before mixing in soil amendments, clean topsoil of roots, plants, sods, stones, clay lumps, and other extraneous materials harmful or toxic to plant growth. Apply Herbicide for weed control as needed.

- C. Mix specified soil amendments and fertilizers with topsoil at rates specified. Delay mixing of fertilizer if planting will not follow placing of planting soil within a few days.

- D. For planting beds, mix planting soil either prior to planting or apply on surface of topsoil and mix thoroughly before planting.

- 1. Mix lime with dry soil prior to mixing of fertilizer.
- 2. Prevent lime from contacting roots of acid-loving plants.

- E. Unless drawings indicate otherwise, berms shall not exceed a 3:1 slope. Berms near buildings or in potentially troublesome drainage situations shall be checked for correct drainage by the project Engineer or Owner prior to planting.

- F. Tree and shrub planting beds which fall within or near parking lot areas shall be completely excavated and back-filled with topsoil. All shell-rock or other base materials, and all subsoil and debris, shall be completely removed from beneath such planting areas, to a minimum depth of 24".

- G. All trees and/or shrub planting areas within 36" of building foundations, and any other planting areas where significant buried construction debris is encountered, shall be excavated to a minimum depth of 24" and backfilled with topsoil as specified elsewhere in these specifications.

3.01 TILLING

- A. Before mixing, soil of roots, plants, clay lumps, stones in excess of 1" in diameter, and other extraneous or potentially harmful materials.
- B. After all soil conditioning (and topsoil if called for on plans) has been spread at specified rates, the areas to be planted should be thoroughly rototilled to a depth of six (6) inches. Plowing or discing is not an acceptable substitute for rotary-tilling.

- 1. If the sprinkler system is installed after grading and tilling is completed, the backfill shall be refilled in the affected areas.

- 2. When the subsoil, grading, topsoil addition, soil conditioning, and tilling have been accomplished, all areas so treated shall be compacted and settled by application of heavy irrigation to a minimum depth of twelve (12) inches. Erosion scars shall be repaired.

3.04 FINE FINISH GRADING

- A. When preliminary grading has been completed and the soil has dried sufficiently to be readily worked, all lawn and planting areas shall be graded to the elevations indicated on the Engineering Plans. The top four (4) inches shall be completely free of stones larger than one (1) inch. Grades not otherwise indicated shall be uniform levels or slopes between points where elevations are given. Positive drainage away from buildings shall always be maintained. Surface drainage shall be directed as indicated on the drawings by remodeling surfaces to facilitate the natural run-off of water. All depressions where water will stand, all voids, erosion, settled trenches and excavations, and all ridges and rises shall be amended and/or removed leaving a smooth, even finish grade. If additional amended topsoil is required to accomplish the intent of this specification, it shall be according to the foregoing specifications for topsoil.

- 1. All area shall be graded so that the final grades are 2" below adjacent paved areas, sidewalks, valve boxes, mowing strips, clean-outs, drains, etc., with appropriate adjustments for varying sod thicknesses. The intent is for water always to drain away from paving into lawn/sod areas.
- 2. Eliminating all erosion scars prior to beginning planting.
- 3. The Owner and/or his representative shall approve all final finish grades prior to planting.
- B. Prior to fine grading or the installation of plant material the Contractor shall obtain certification that the project area is at the grade levels proposed by the Civil Engineer or Landscape Architect. The Contractor shall be responsible for the grade the lawn and planting areas to bring the rough grade up to final finished grade allowing for thickness of sod and/or mulch depth.

3.05 PLANTING TREES AND PALMS

- A. Layout individual tree locations and areas for multiple plantings. Stake all locations and outline areas; then secure Landscape Architect's acceptance before the start of planting work.
- B. Prior to preparation of free pits, ascertain the location of all electrical cables, all conduits, all utility lines, oil tanks and supply lines, so that proper precautions may be taken not to disturb or damage any existing conditions. Properly maintain and protect existing utilities. Should such underground or overhead obstructions be encountered that interfere with planting, the Contractor will inform the Landscape Architect or Owner's representative and shall be consulted as to the adjustment of the location of plants to clear such obstruction or the relocation of the obstruction.
- C. Tree pit locations shall be staked by the Contractor and approved by the Owner or Landscape Architect before digging. Pits shall be excavated to the depth and width indicated and all subsoil removed.
- D. Protect all areas from excessive compaction by foot traffic or machinery when bringing trees to the planting area.
- E. All excavated holes shall have vertical sides with roughened surfaces and shall be of a size that is at least twice the width of the original plant container or ball. In all cases the holes shall be large enough to permit installing and planting without damaging the roots or root ball.
- F. The soil shall be sufficient to provide a dense stand of live grass. The sod shall be live, fresh and uninjured, at the time of planting. It shall be a soil mat of sufficient thickness, at least 2" thick, adhering firmly to the roots to withstand all necessary handling. It shall be free of weeds and other grasses. It shall be planted as soon as possible after being dug, and shall be shaded and kept moist from the time it is dug until it is planted. After approval, the area marked for sod shall be harvested shall be closely mowed and raked as necessary to remove excessive top growth and debris.
- G. Tree pits shall be backfilled with a topsoil mixture as specified elsewhere in these specifications. Palm tree pits will be backfilled with a mixture of up to 95% sand and 5% organic material.
- H. Add fertilizer to tree pits as specified elsewhere in these specifications.
- I. Set balled and burlapped stock on a layer of 50% native soil and 50% topsoil compacted to a depth of 2". Loosen burtop from top of sides of the ball but no burtop shall be pulled from underneath. Remove non-organic binding material (if any) from tree ball. Immediately cut any damaged roots with clean shears. Using a plumb to assure that the tree is properly upright, begin filling the hole and tamping the fill material. When the hole is 2/3 filled, water thoroughly and probe with a stick to be sure that no air pockets remain. Re-plumb, complete filling the hole, re-lamp, and water again.
- J. Set container-grown stock as above, taking care not to damage roots when removing the container.
- K. During planting, do not cover the top of the root ball with the soil mixture. All roots, wires, burlap and mesh etc. shall be removed from the rootball. No synthetic burlap is allowed on any plant material. Synthetic burlap is unacceptable for rootballs. Trees shall be planted so that the top of the root ball is 2" above final grade. Allow for settling. Any trees resting deeper or higher must be either reset or replaced at the discretion of the Owner or Landscape Architect. The Watering Program specified in the Landscape Plans.
- L. Create a watering basin around each tree at least as wide as the root ball in diameter formed by a circular ridge of soil at least 6" high.
- M. Each planting basin shall be mulched to a minimum depth of 3" (after settling). Mulch shall not be applied until the tree has been thoroughly watered and two days have elapsed. Mulch should be placed so that it is not in direct contact with trunks.
- N. All trees are to be staked or guyed per these specifications. All stakes shall be painted a conspicuous color or shall be flagged for visibility and public safety; guy wires shall be flagged.
- O. Pains shall be planted per above specifications.

3.06 PLANTING SHRUBS, VINES, AND GROUND COVERS

- A. The locations of all plants, bed outlines and all other areas to be planted shall be clearly marked with agricultural gypsum or landscape marking paint then approved by the Owner or Landscape Architect before any holes are dug.
- B. No planting shall be done until the area concerned has been satisfactorily prepared in accordance with these specifications.
- C. No more plants shall be distributed in the planting area on any work day than can be planted and watered in that day.
- D. Unless otherwise indicated, all plants shall be planted in pits, centered as called for on the plant list, and set in 24" depth of topsoil as specified elsewhere in these specifications to such depth that the soil line of the plants will match the surrounding grade after settling. Plants shall be planted in a vertical position and oriented to give the best possible appearance or relationship to adjacent structures or features. Remove all inorganic containers or binding. All damaged roots shall be cut away cleanly. Planting soil shall be placed and compacted carefully to fill all voids and avoid root injury. When the hole is 2/3 filled, water thoroughly. The hole shall then be filled to finish grade and a shallow saucer shall be formed around each bed.
- E. After settling, soil shall be added as needed to bring the hole to grade level.
- F. Azaleas and other ericaceous and acid-loving plants shall be backfilled with a mixture of 20% topsoil and 80% acid peat. They shall be set so that the bases of the plants are slightly higher than they grew in the container or nursery after settling. At no time shall lime in any form be brought into contact with the plants or their roots. Mulch with pine straw unless noted otherwise.
- F. Add fertilizer to plants as outlined in section 2.02.
- G. Vines shall be planted in pits containing at least 2 cubic feet of prepared topsoil. They shall be planted in the same manner as shrubs, and shall be mulched. Vines stems shall be fastened to walls, trellises, etc. as specified in the drawings.
- H. Groundcover plants shall be laid out in their proposed planting locations without being removed from their containers after the soil is properly prepared per these specifications. Planting methodology is the same as for shrubs and trees.
- I. Any plants which, after settling, rest significantly higher or even slightly lower than they grew in the nursery or container are subject to resetting or replacement at the discretion of the OWNER or Landscape Architect. Such work shall be at the Contractor's expense.
- J. If called for in the plans, landscape edging shall be installed as specified.
- K. All planting beds and individual plantings shall be mulched with a minimum of 3" (after settling) of mulch as specified in this document. Mulch shall be free of weed seeds and other foreign matter.

3.07 ANNUAL AND SEASONAL COLOR BEDS

- A. Beds shall be mounded to a height 6" on top of the existing grade and composed of 50% topsoil and 50% compost.
- B. Soil shall be covered with 1/2" - 1" deep layer of Pine Finies Mulch or comparable product.

3.08 PRUNING

- A. All pruning shall be done in the presence of, and with the approval of, the Owner or

- Landscape Architect. Only clean, sharp tools designed for the purpose shall be used. The goal of pruning is always to preserve and enhance the natural character of the plant. Pruning shall be done per modern horticultural practice (see National Arborist Standards, latest edition).
- B. Pruning shall be limited to the minimum necessary to remove injured twigs, branches, and fronds, to compensate for root loss suffered during digging and transplanting, and to thin and shape shrubs and trees. In no case shall more than 1/3 of the branching structure be removed. Damaged, scarred, frayed, split, or skinned twigs, branches, or limbs shall be pruned back to the next sound outside lateral bud, branch or limb. The terminal bud or leader shall never be removed.
- C. Prune trees and shrubs to retain required height and spread. Remove the minimal amount of wood necessary on flowering trees and shrubs. Remove only dead or dying fronds from palms. Cuts over 3/4" in diameter shall be treated with wet wound paint; all exposed living tissue shall be covered with latex paint.
- D. Existing Trees: If indicated on drawings, Contractor shall prune and thin existing trees on site. The use of climbing spurs is prohibited. All diseased, dead branches and those interfering with healthy plant growth shall be removed. Also, remove root suckers, low branches, and any others as directed by the Owner or Landscape Architect. Cuts shall be flush with the trunk or limb and shall be painted with tree paint. Remove any nails, wires, etc. fastened to the tree.

3.09 PLANTERS - DECORATIVE OR STRUCTURAL

- A. If specified, landscaping in planters shall be installed using the following method:
 - 1. Install 4" deep layer of fine crushed stone in bottom of planter.
 - 2. Install filter fabric over stone layer. Turn up edges of fabric all around.
 - 3. Install planting soil mix over filter fabric to within 3/16" of top for planter. Do not compact planting soil.
 - 4. Install plant material as specified elsewhere in these specifications.
 - 5. Install 3" of mulch over planting soil.

3.10 SODDING NEW LAWNS

- A. The Contractor shall sod all areas indicated and noted on the drawings. No sodding shall occur until areas to be sodded are cleared of any rough grass, weeds and debris, the ground brought to an even grade and specified amendments have been added. See details for specific amendments as per sod type.
- B. Whenever a suitable sod is available and is ready for sodding the Contractor shall, when directed by the Landscape Architect, proceed at once with the sodding of the available areas. Sodding shall be incorporated into the project at the earliest practical time in the life of the contract. No sod which has been cut for more than seventy two (72) hours shall be used unless specifically authorized by the Landscape Architect or Owner after his careful inspection thereof. Any sod which is not planted within twenty four (24) hours after cutting shall be stacked in an approved manner and maintained properly moistened.
- C. The sod shall be placed on the prepared surface, with edges in close contact, and shall be firmly and smoothly embedded by light tamping with appropriate tools. Sod shall be rolled with 200 lb. roller at least once, under the supervision of the Landscape Architect or Owner. Where sodding is used in drainage ditches, sod panels shall be set in a staggered pattern, such as to avoid a continuous seam along the line of flow. Offsets of individual strips shall not exceed six (6) inches. At the inside of the curbs, sod shall abut squarely and evenly.
- E. In eliminating all erosion scars prior to beginning planting.
- F. Any pieces of sod which, after placing, show an appearance of extreme dryness shall be replaced from the same source. Where placement of new sod abuts existing sodded areas, new sod must be placed in such a manner as to produce an even transition to existing sodded areas.
- H. It shall be the responsibility of the Contractor to bring the sod edge in a neat, clean manner to the edge of all paving and shrub areas.

PART IV MAINTENANCE, ESTABLISHMENT AND WARRANTY PERIODS

4.01 MAINTENANCE AND ESTABLISHMENT PERIOD

- A. The Maintenance Period shall begin immediately after each plant is planted, and the Contractor shall continuously maintain all areas involved in this contract during the progress of the work.
- B. The Establishment Period shall begin on the first day after all planting and installation of all landscape elements is completed and initially accepted. The Contractor shall continuously maintain all areas from initial acceptance until final acceptance by the Owner. The Establishment Period shall continue for not less than ninety (90) continuous calendar days. Hurricane cut Sabal Palms shall have an Establishment Period of not less than one hundred and eighty (180) continuous calendar days. The Establishment Period will end at the time the project is given final acceptance. An inspection shall be made by the Owner or Landscape Architect to accept the completed work and issue a determination of substantial completion. Inspections may be performed on all or partially completed phased work under the Contract, as directed by the Owner.
- C. Maintenance of new plantings shall consist of, but not necessarily be limited to, pruning, watering, mulching, pinching, lightening or replacing guys and stakes, resetting plants to proper grades or upright positions, fertilizing and applying sprays as necessary to combat insects and disease, litter control, rolling, turning and replanting.
- D. Planting areas and plants shall be protected at all times against damage or injury. The duration of the maintenance and establishment periods. If any plants are injured or damaged, they shall be treated, replaced or re-planted at the discretion of the Owner or Landscape Architect at no additional cost. The Contractor is responsible for acts of vandalism or theft during the maintenance and establishment period unless this responsibility is assumed in writing by another party.
- E. Reentry and vehicular traffic from all lawn and planting areas after seeding and planting operations. Erection signs and barriers if required and remove when lawn and plantings are well established and accepted by Owner.
- F. The Contractor shall be responsible for maintaining adequate protection of the site. Areas damaged by the Landscape Contractor or his equipment, or the men or equipment of his Subcontractors, shall be repaired at the Landscape Contractor's expense.
- G. The Contractor is responsible for keeping all plant materials adequately watered after installation even if the irrigation system is not operational. Plants shall receive a thorough watering immediately after planting. Afterwards, plants shall be watered during the hot weather months and shall be removed from the rootball. No synthetic burlap is allowed on any plant material. Synthetic burlap is unacceptable for rootballs. Trees shall be planted so that the top of the root ball is 2" above final grade. Allow for settling. Any trees resting deeper or higher must be either reset or replaced at the discretion of the Owner or Landscape Architect. The Watering Program specified in the Landscape Plans.
- H. The Landscape Contractor is responsible for keeping all plant materials adequately fertilized throughout the Maintenance and Establishment Periods. Fertilizer shall be applied at a rate to keep plant materials healthy. All fertilizer shall be done under the direction of a licensed fertilizer operator.
- I. The Landscape Contractor shall control disease and pest infestations in the planting area. Upon approval, the Contractor shall implement the control measures, exercising extreme caution in using hazardous materials and taking all necessary steps to protect others on and near the job site. All disease and pest control shall be done under the direction of a licensed disease and pest control operator.
- J. Herbicide Weed Control: All landscape areas shall be free of nut grass, torpedog grass, and other noxious weeds until final acceptance of work.

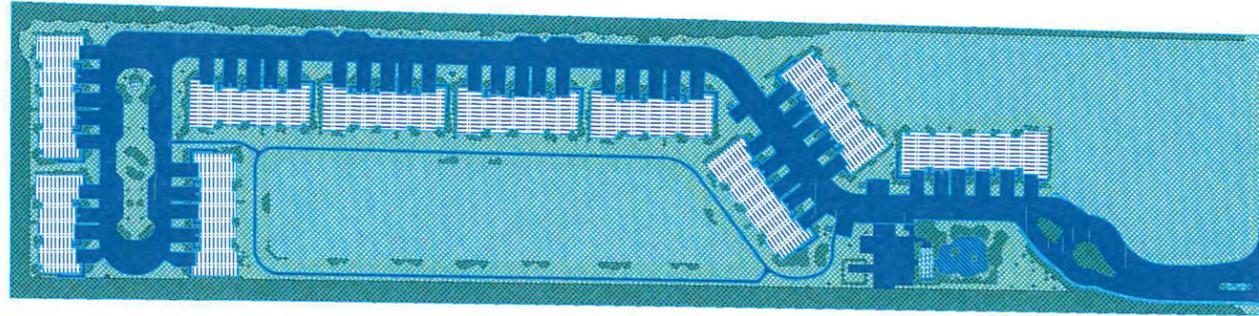
- 1. "Round-up" shall be applied to all planting areas as needed and determined on-site by the Owner for weed control. Apply per manufacturers specifications.
- 2. "Ronstar" pre-emergent or OWNER - approved equal, shall be applied 2 weeks before planting. Apply per manufacturers specifications.
- 3. Apply "Fusilade" in all areas where torpedog grass has emerged. Apply per manufacturers specifications.
- 4. Apply "Basagran" or "Maraq" in all areas where nutgrass has emerged. Apply per manufacturers specifications.

- K. Mowing of turf will commence ten (10) days after installation. The height of cut will be 3". After the first cut, the Contractor shall adjust the frequency of mowing so that at each operation no more than 1/3 of the grass blade is removed per cutting.
- L. Between the 15th and 20th day of the Establishment Period, the Contractor shall re-sod all spots or areas where the lawn where normal turf growth is not evident. Turf must be well established and free of bare spots and weeds to the satisfaction of the OWNER or Landscape Architect prior to final acceptance. All planted areas other than lawn shall be watered at intervals of not more than ten (10) days.
- M. Application of fertilizer to be done between the fortieth (40) and fiftieth (50) day of the establishment period. Landscape Architect or Owner are to be notified a minimum of forty eight (48) hours in advance.
- N. Improper maintenance or poor condition of any planting at the time of the termination of the scheduled Establishment Period may cause postponement of the final acceptance of the completed material found to be defective, and shall be replaced. Vines stems shall be fastened to walls, trellises, etc. as specified in the drawings.
- O. Inspection and Final Acceptance:

- 1. In all cases the Landscape Architect will perform an initial and final inspection at the beginning and end of the Establishment Period, respectively. It is the responsibility of the Contractor to notify the Owner or Landscape Architect of the beginning and end of this period and to submit a written request for an inspection ten (10) days in advance.
- 2. Following inspection, the Landscape Architect will prepare a listing of outstanding items to be addressed prior to final acceptance.

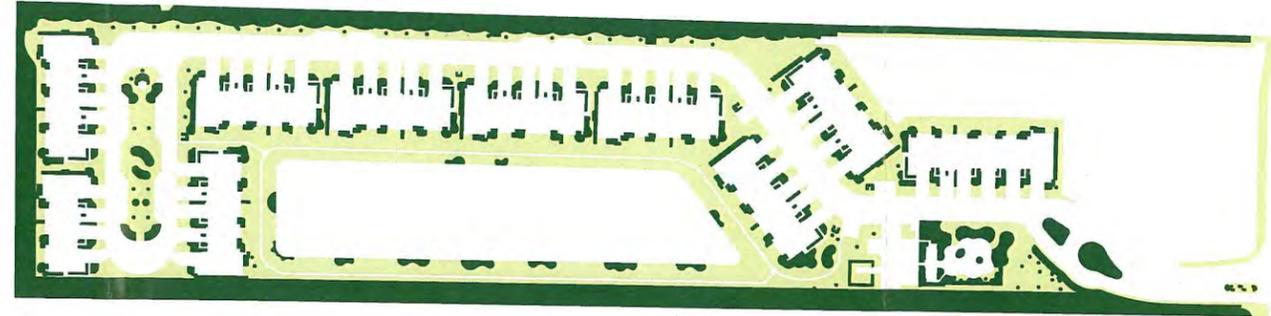
Net Site Area

12.50 Ac.
544,339.6428 SF
100%



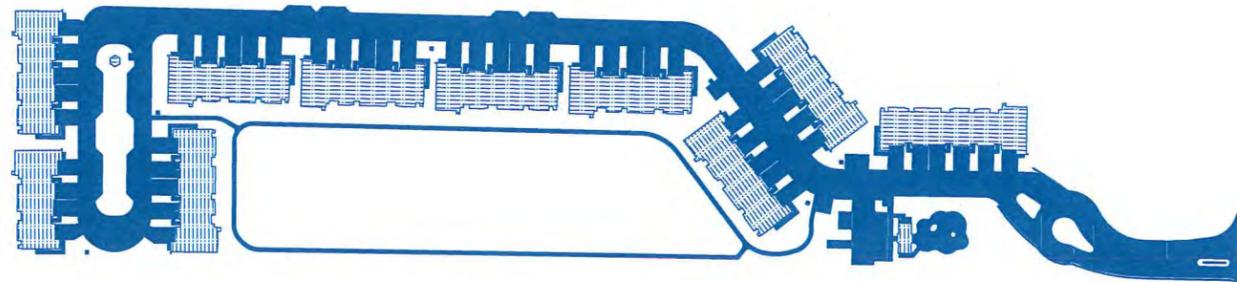
Landscape Area

4.65 Ac.
202,765.5279 SF
37.25%



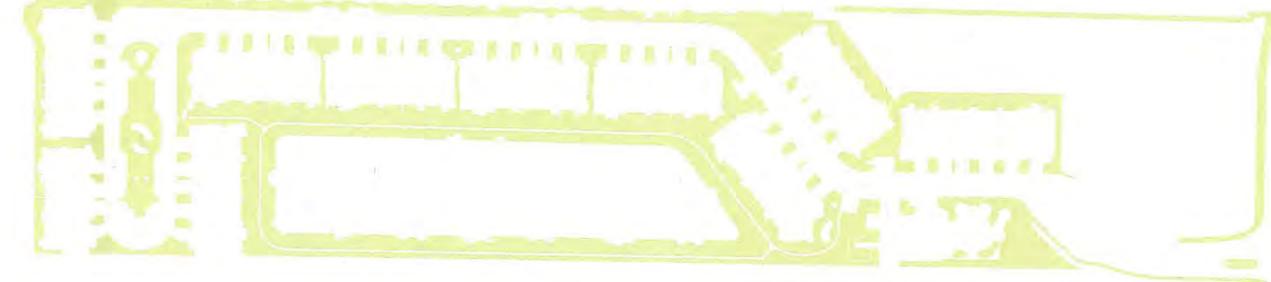
Impervious Area

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192,909.8391 SF
35.44%



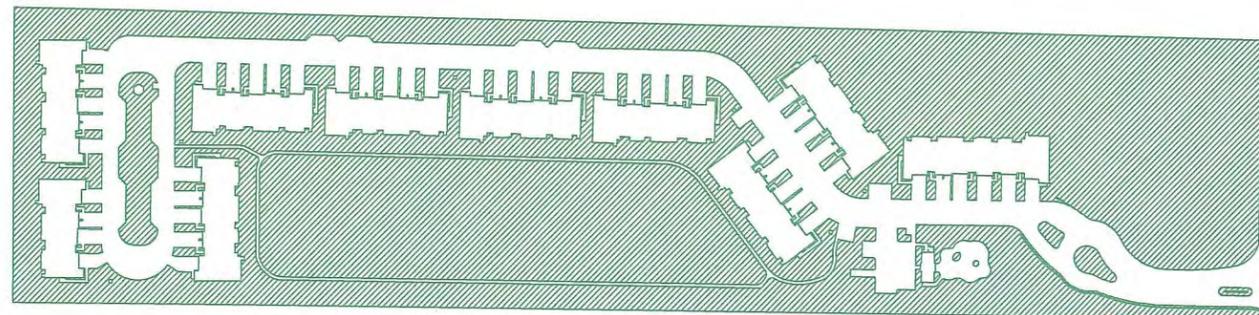
Sod Area

2.46 Ac.
107,136.4064 SF
52.84%



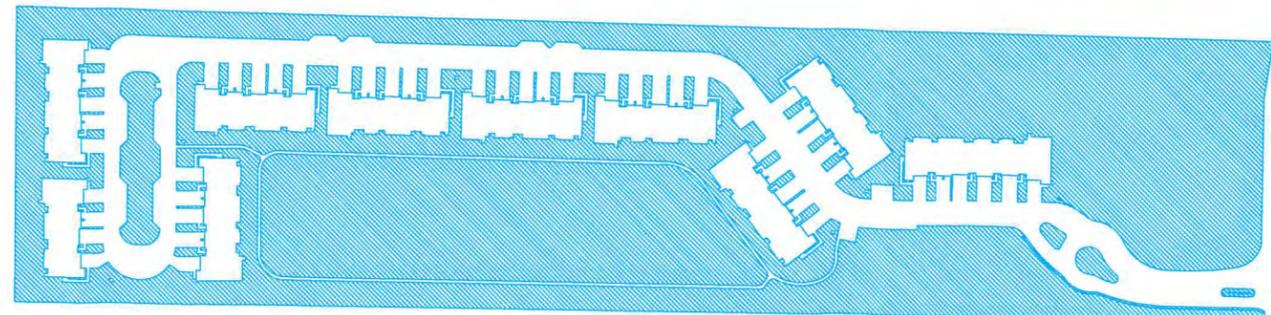
Pervious Area

8.07 Ac.
351,429.8037 SF
64.56%



Open Space

8.25 Ac.
359,264.7631 SF.
66.00 %



**urban
design
kil day**
STUDIOS

Urban Planning & Design
Landscape Architecture
Communication Graphics

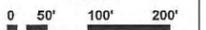
610 Clematis Street, Suite CU02
West Palm Beach, FL 33401
561.366.1100 FAX 561.366.1111
www.udkstudios.com
#LCC000035

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firm, or corporation without the written
permission of the designer.

Trevi Isle
Palm Beach Gardens, FL
Open Space Plan



NORTH



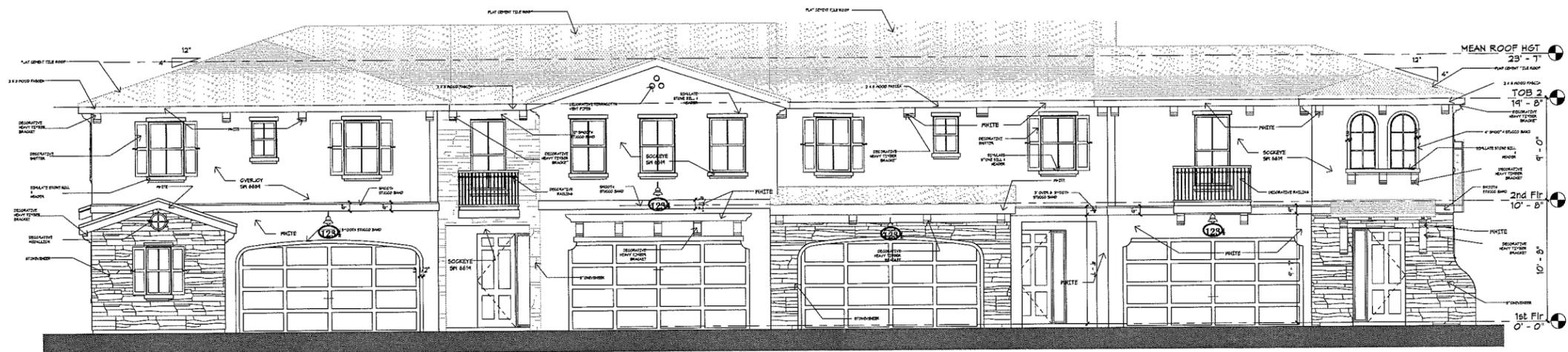
Scale: 1" = 100'-0"

Date: 09-09-13
Project No.: 06-039.003
Designed By: SCM
Drawn By: SCM/KWK
Checked By: AB

Revision Dates:
04-02-15 Submittal SCM
05-13-16 Resubmittal KWK
06-16-16 Resubmittal KWK
10-25-16 Resubmittal KWK

OS-1
of 1

See notes on these sheets for details of construction, materials, and finishes. All dimensions are in feet and inches unless otherwise noted. All elevations are shown in black lines on a white background. All elevations are shown in black lines on a white background. All elevations are shown in black lines on a white background.



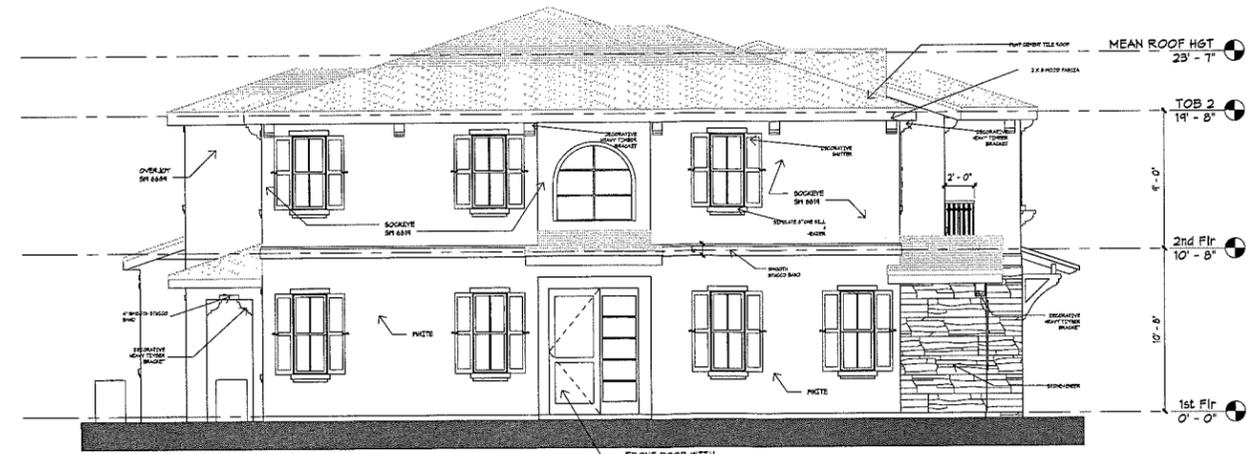
1 FRONT ELEVATION
3/16" = 1'-0"

SOPHIA BUILDING COLOR		
UPPER BODY	OVERLAY	SH 68H
LOWER BODY	EXTRA WHITE	SH 100S
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SH 100S
SHUTTER	ROCK GARDEN	SH 615
GARAGE DOOR	BLACK BEAM	SH 603

LUCIA BUILDING COLOR		
UPPER BODY	SOCKETE	SH 68H
LOWER BODY	EXTRA WHITE	SH 100S
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SH 100S
SHUTTER	ROCK GARDEN	SH 615
GARAGE DOOR	BLACK BEAM	SH 603

KALYNDIA BUILDING COLOR		
UPPER BODY	OVERLAY	SH 68H
LOWER BODY	EXTRA WHITE	SH 100S
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SH 100S
SHUTTER	ROCK GARDEN	SH 615
GARAGE DOOR	BLACK BEAM	SH 603

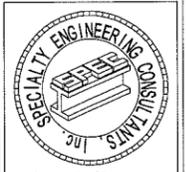
SANCIA BUILDING COLOR		
UPPER BODY	SOCKETE	SH 68H
LOWER BODY	EXTRA WHITE	SH 100S
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SH 100S
SHUTTER	ROCK GARDEN	SH 615
GARAGE DOOR	BLACK BEAM	SH 603



2 LEFT SIDE ELEVATION
3/16" = 1'-0"

4-UNIT ELEVATIONS
PROJECT INFORMATION
TREVII ISLE

CLIENT INFORMATION
KENNEDY HOMES, LLC
6400 N. CONGRESS AVE
SUITE 2175
BOCA RATON, FL 33487



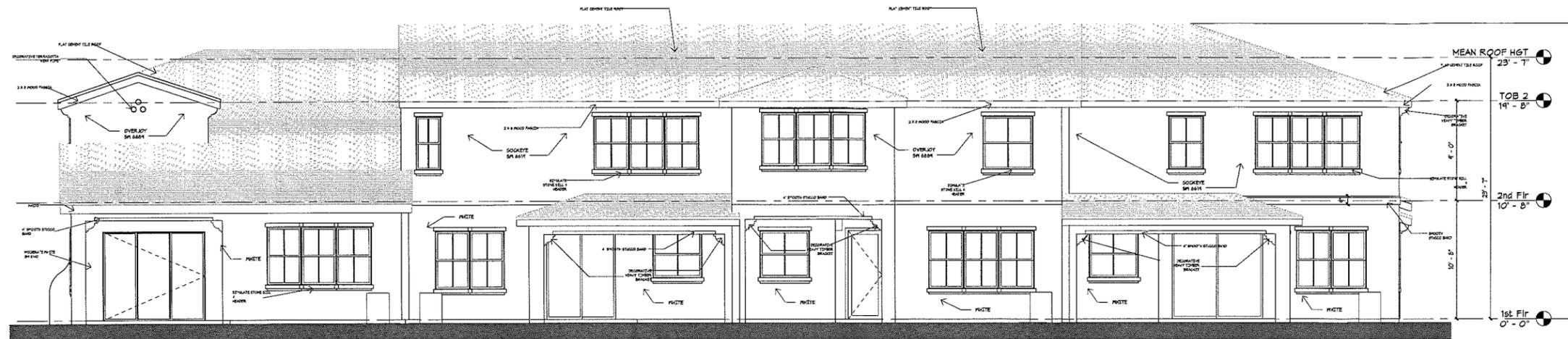
SPECIALTY ENGINEERING
CONSULTANTS, P.C.
5300 NW 20th Ave.
Fort Lauderdale, FL 33309
PH: 954.584.1133
FAX: 954.584.1133

DATE: 05/30/13
SCALE: AS SHOWN
DRAWN BY: Checker
CHECKED BY: Author

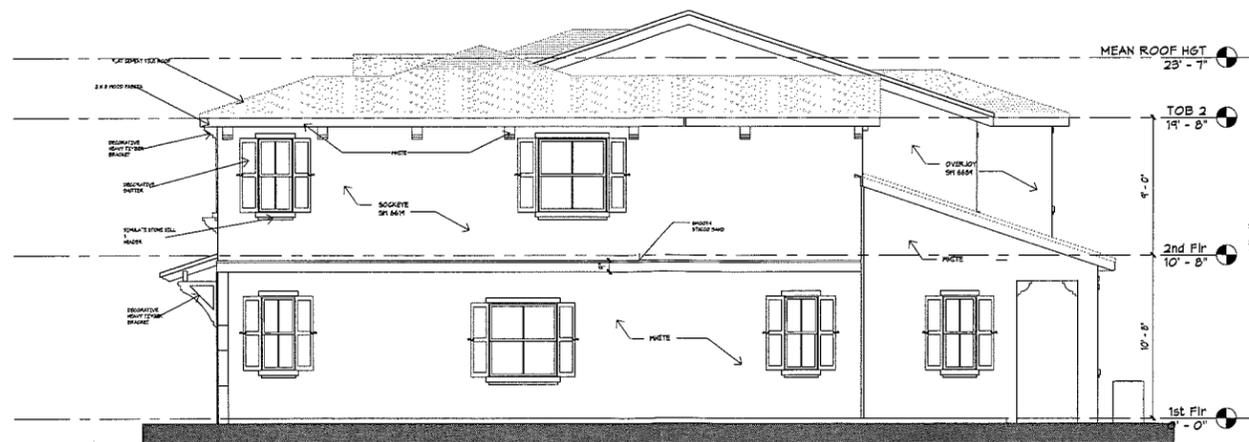
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As shown on these drawings, the contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for ensuring that all work is completed in accordance with the applicable building codes and regulations. The contractor shall be responsible for ensuring that all work is completed in a timely and efficient manner. The contractor shall be responsible for ensuring that all work is completed in a safe and sound manner. The contractor shall be responsible for ensuring that all work is completed in a professional and courteous manner. The contractor shall be responsible for ensuring that all work is completed in a high-quality and durable manner. The contractor shall be responsible for ensuring that all work is completed in a cost-effective and efficient manner. The contractor shall be responsible for ensuring that all work is completed in a manner that meets the needs and expectations of the client. The contractor shall be responsible for ensuring that all work is completed in a manner that is consistent with the highest standards of the industry. The contractor shall be responsible for ensuring that all work is completed in a manner that is consistent with the highest standards of the profession. The contractor shall be responsible for ensuring that all work is completed in a manner that is consistent with the highest standards of the community. The contractor shall be responsible for ensuring that all work is completed in a manner that is consistent with the highest standards of the world.



① REAR ELEVATION
3/16" = 1'-0"



② RIGHT SIDE ELEVATION
3/16" = 1'-0"

4-UNIT ELEVATIONS

SHEET INFORMATION

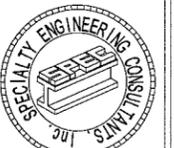
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2115
BOCA RATON, FL 33487



SPECIALTY ENGINEERING CONSULTANTS, INC.

1500 N. W. 10th Ave.

Fort Lauderdale, FL 33304

PAUL ROBERTSON, P.E., P.E.C.C. 17

PAUL ROBERTSON, P.E., P.E.C.C. 17

PAUL ROBERTSON, P.E., P.E.C.C. 17

FILE NAME:

REA =

DATE 05/07/14

REVIEWED BY Checker

APPROVED BY Author

REVISION

NO. DESCRIPTION

DATE

BY

DATE

BY

DATE

BY

DATE

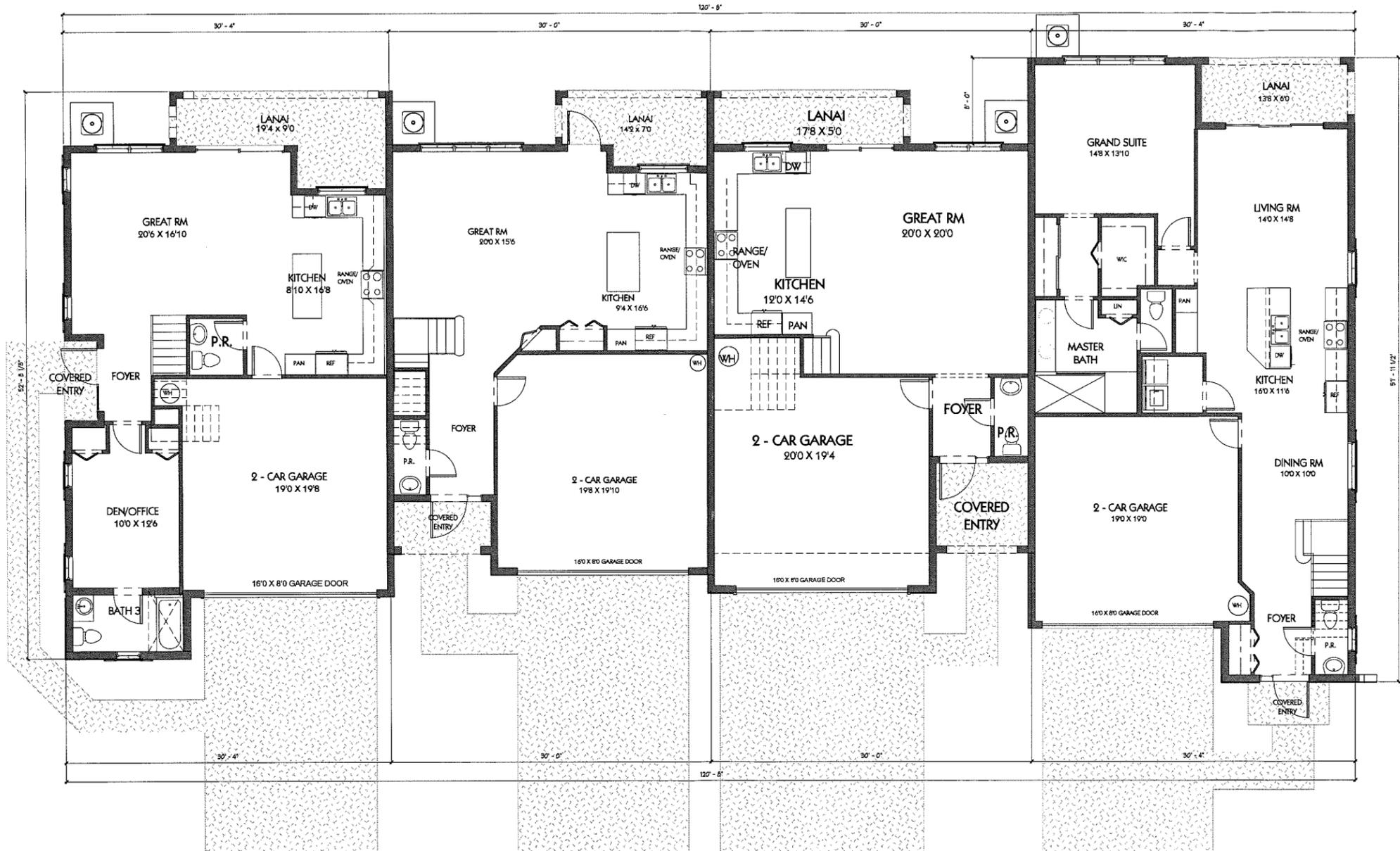
BY

DATE

SHEET #

A4

Be sure to check carefully and do not sign or seal until you have checked the drawings for accuracy and completeness. The architect is not responsible for errors or omissions in the drawings or for any consequences arising therefrom. The architect's liability is limited to the professional services provided. The architect is not responsible for any construction or other costs or for any delays or other consequences arising therefrom. The architect's liability is limited to the professional services provided. The architect is not responsible for any construction or other costs or for any delays or other consequences arising therefrom. The architect's liability is limited to the professional services provided.



1 1st Flr
3/16" = 1'-0"

Sophia

AREA CALCULATION	
Comments	Area
1ST FLR A/C AREA	885 SF
2ND FLR A/C AREA	1154 SF
	2044 SF
ENTRY AREA	22 SF
GARAGE AREA	400 SF
LANAI AREA	136 SF
	555 SF
Grand total	2602 SF

Lucia

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	711 SF
2ND FLOOR AREA	1195 SF
	1946 SF
ENTRY AREA	45 SF
GARAGE AREA	414 SF
LANAI AREA	41 SF
	555 SF
Grand total	2401 SF

Kalynda

AREA CALCULATION	
Comments	Area
1ST FLOOR A/C AREA	646 SF
2ND FLOOR A/C AREA	1073 SF
	1769 SF
ENTRY AREA	75 SF
GARAGE A/C AREA	445 SF
LANAI AREA	43 SF
	613 SF
Grand total	2382 SF

Sancia

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	1200 SF
2ND FLOOR AREA	753 SF
	1953 SF
BALCONY AREA	14 SF
ENTRY AREA	31 SF
GARAGE AREA	383 SF
LANAI AREA	26 SF
	514 SF
Grand total	2467 SF

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4-UNIT BUILDING

PROJECT INFORMATION

TREVI ISLE

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2175
BOCA RATON, FL 33487



SPECIALTY ENGINEERING
CONSULTING, P.C.
1500 NW 101 AVE.
PLANTATION, FL 33424
PH: 561-344-1111
FAX: 561-344-1111
55' 75' 844' 0000'
15' 75' 252' 0000'

DATE: 08/17/2014
CHECKER: [Signature]
AUTHOR: [Signature]

REVISION: []

SHEET #

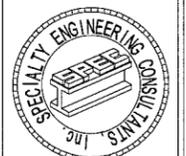
A1

NO PART OF THESE PLANS IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

4-UNIT BUILDING
SHEET INFORMATION

PROJECT INFORMATION
TREVI ISLE

CLIENT INFORMATION
KENNEDY HOMES, LLC
6400 N. CONGRESS AVE
SUITE 2115
BOCA RATON, FL 33487



SPECIALTY ENGINEERING
CONSULTANTS, INC.
1500 NW 30th Ave.
P.O. Box 10000
Fort Lauderdale, FL 33324
DATE PREPARED: 08/17/14
BY: JLS
CHECKED: JLS

TITLE NAME:

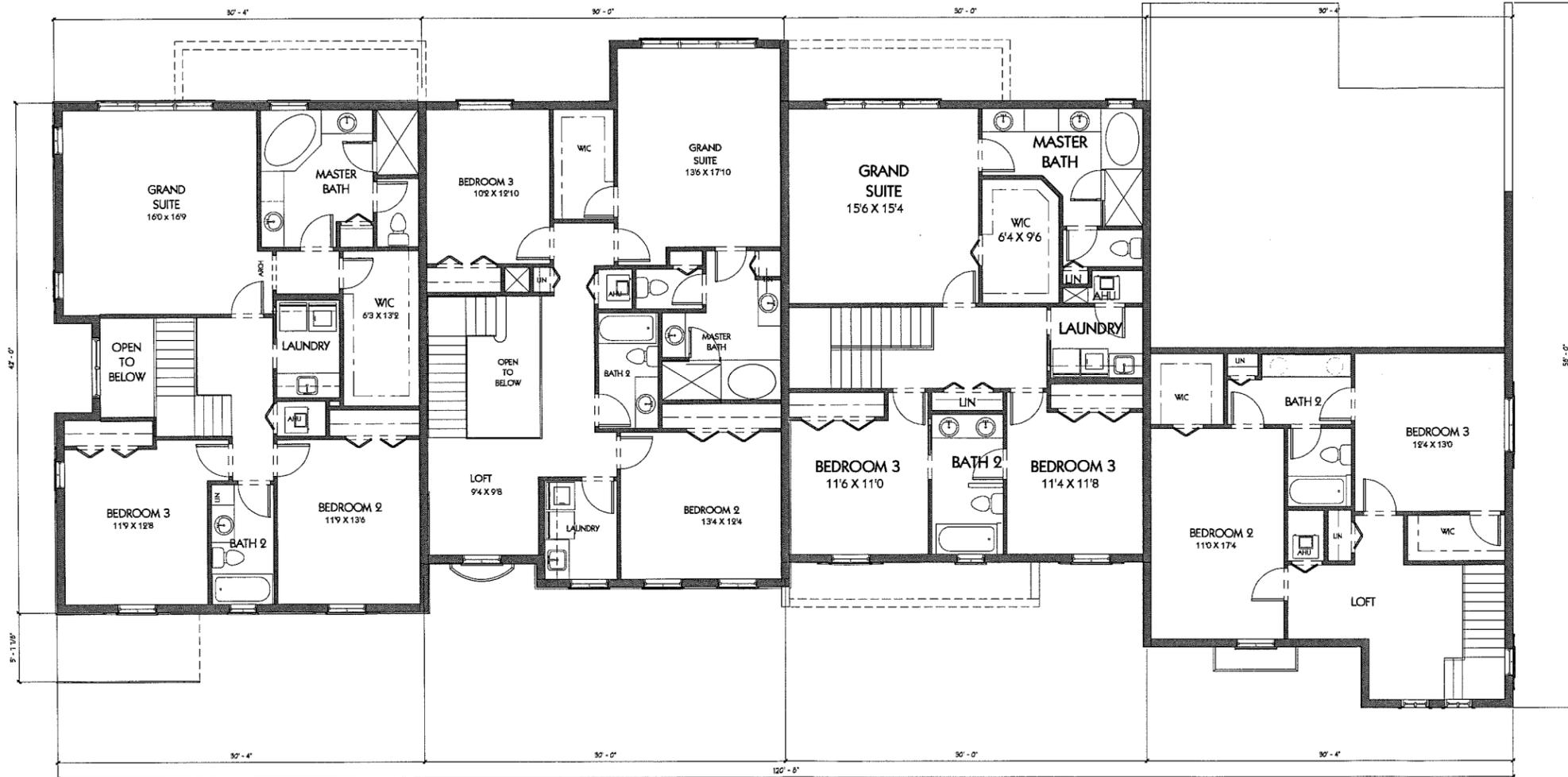
SCALE:

DATE: 08/17/14

REVISION: Checker

REVISION: Author

REVISION:



1 2nd Flr
3/16" = 1'-0"

Sophia

AREA CALCULATION	
Comments	Area
1ST FLR A/G AREA	885 SF
2ND FLR A/G AREA	1154 SF
	2044 SF
ENTRY AREA	22 SF
GARAGE AREA	400 SF
LANAI AREA	136 SF
	558 SF
Grand total	2602 SF

Lucia

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	711 SF
2ND FLOOR AREA	1195 SF
	1946 SF
ENTRY AREA	45 SF
GARAGE AREA	419 SF
LANAI AREA	91 SF
	555 SF
Grand total	2401 SF

Kalynda

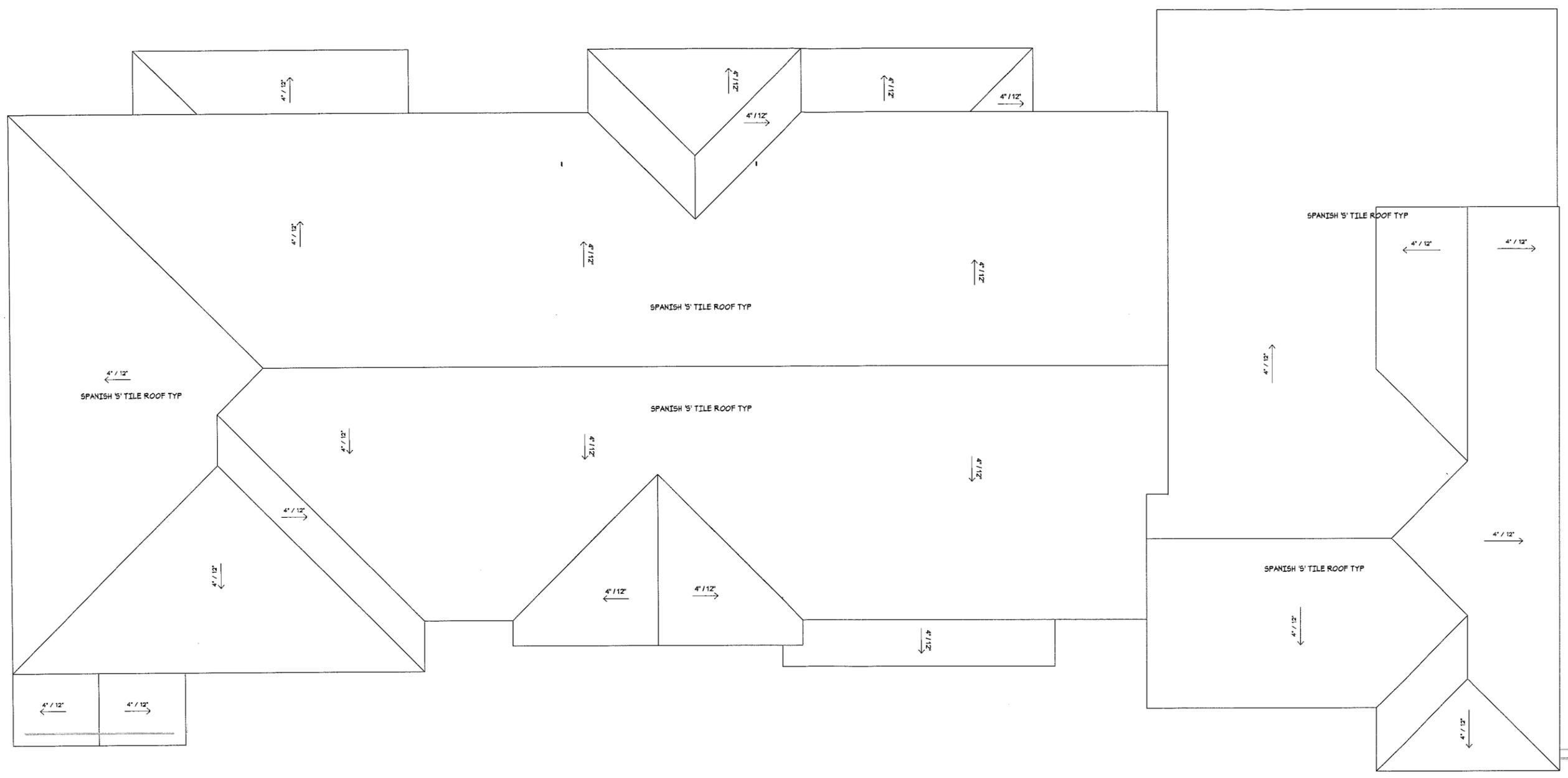
AREA CALCULATION	
Comments	Area
1ST FLOOR A/G AREA	646 SF
2ND FLOOR A/G AREA	1073 SF
	1764 SF
ENTRY AREA	75 SF
GARAGE A/G AREA	445 SF
LANAI AREA	93 SF
	613 SF
Grand total	2382 SF

Sancia

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	1200 SF
2ND FLOOR AREA	753 SF
	1953 SF
BALCONY AREA	14 SF
ENTRY AREA	31 SF
GARAGE AREA	383 SF
LANAI AREA	86 SF
	514 SF
Grand total	2467 SF

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See notes on these drawings for details and specifications. The contractor shall be responsible for obtaining all necessary permits and approvals. The architect shall not be responsible for the construction of the roof system.



1 ROOF PLAN
1/4" = 1'-0"

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ROOF PLAN

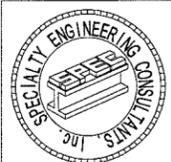
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2115
BOCA RATON, FL 33487



SPECIALTY ENGINEERING
CONSULTING, INC.
3900 SW 101 AVE.
FT. LAUDERDALE, FL 33409
PH: 754.887.7411 FAX: 754.887.7412
55' 750' 5/16" 000000
18' 752' 0000 0000

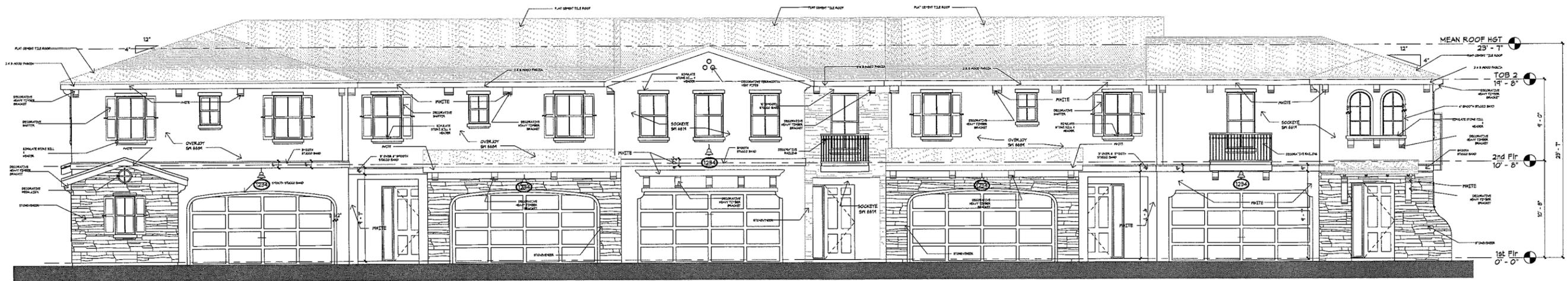
FILE NAME:	
DATE:	
DATE:	05/07/14
BY:	Checker
CHKD BY:	Author

REVISION

DATE
BY

SHEET #
A5

See notes on these specifications for details of construction and materials. All work shall be in accordance with the latest editions of the International Building Code and the Florida Building Code. All materials and workmanship shall be of the highest quality and shall be approved by the local building department. The contractor shall be responsible for obtaining all necessary permits and for compliance with all applicable laws and regulations.



SOPHIA BUILDING COLOR

UPPER BODY	SOCKETE	SN 8811
LOWER BODY	EXTRA WHITE	SN 1003
ROOF	FLAT TILE	6R27
FASCIA	EXTRA WHITE	SN 1003
SHUTTER	BLACK GARDEN	SN 8195
GARAGE DOOR	BLACK BEAM	SN 8008

KALYNDIA BUILDING COLOR

UPPER BODY	OVERJOY	SN 8881
LOWER BODY	EXTRA WHITE	SN 1003
ROOF	FLAT TILE	6R27
FASCIA	EXTRA WHITE	SN 1003
SHUTTER	BLACK GARDEN	SN 8195
GARAGE DOOR	BLACK BEAM	SN 8008

LUCIA BUILDING COLOR

UPPER BODY	SOCKETE	SN 8811
LOWER BODY	EXTRA WHITE	SN 1003
ROOF	FLAT TILE	6R27
FASCIA	EXTRA WHITE	SN 1003
SHUTTER	BLACK GARDEN	SN 8195
GARAGE DOOR	BLACK BEAM	SN 8008

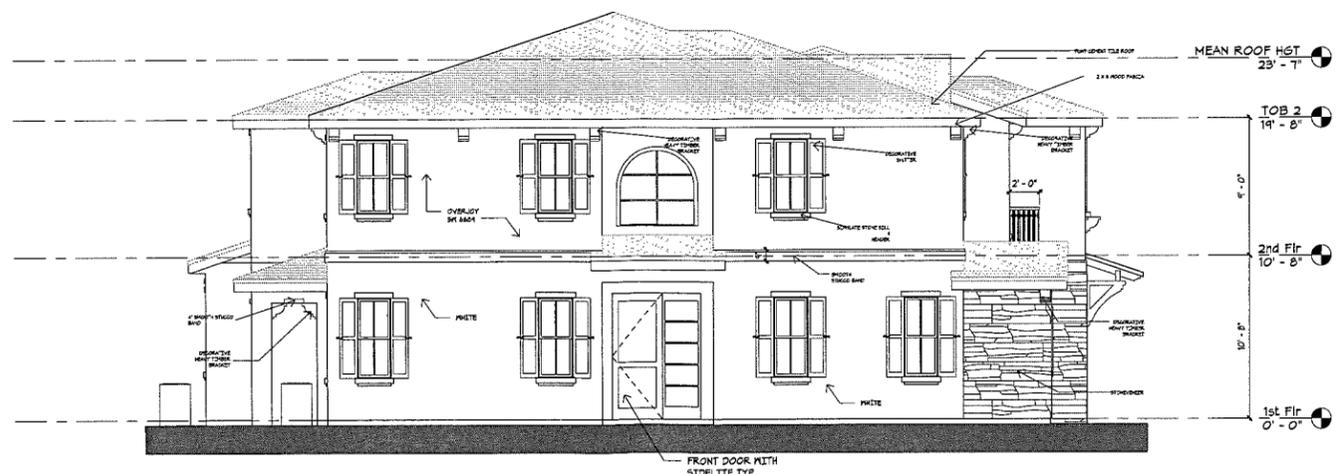
KALYNDIA BUILDING COLOR

UPPER BODY	OVERJOY	SN 8881
LOWER BODY	EXTRA WHITE	SN 1003
ROOF	FLAT TILE	6R27
FASCIA	EXTRA WHITE	SN 1003
SHUTTER	BLACK GARDEN	SN 8195
GARAGE DOOR	BLACK BEAM	SN 8008

SANCIA BUILDING COLOR

UPPER BODY	SOCKETE	SN 8811
LOWER BODY	EXTRA WHITE	SN 1003
ROOF	FLAT TILE	6R27
FASCIA	EXTRA WHITE	SN 1003
SHUTTER	BLACK GARDEN	SN 8195
GARAGE DOOR	BLACK BEAM	SN 8008

① FRONT ELEVATION
3/16" = 1'-0"



② LEFT SIDE ELEVATION
3/16" = 1'-0"

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5-UNIT TYPE 1 ELEVATION

SHEET INFORMATION

PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2175
BOCA RATON, FL 33487



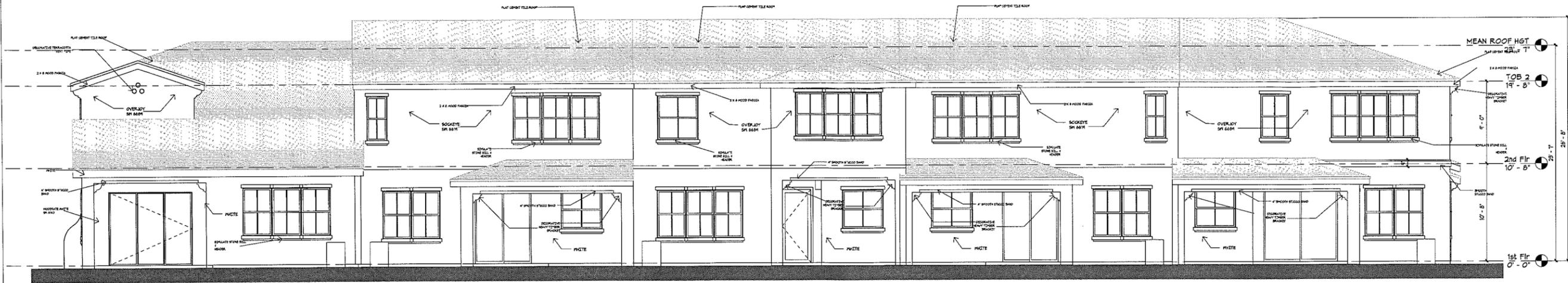
SPECIALTY ENGINEERING
CONSULTING, INC.
5900 NW 101 AVE.
SUITE 200
FORT LAUDERDALE, FL 33424
PAUL SCHWARTZ, P.E.
F. LA. #10007
10/15/12 JSC/RA

FILE NAME:	
DATE:	08/17/14
BY:	Checker
CHKD BY:	Author
REVISED:	

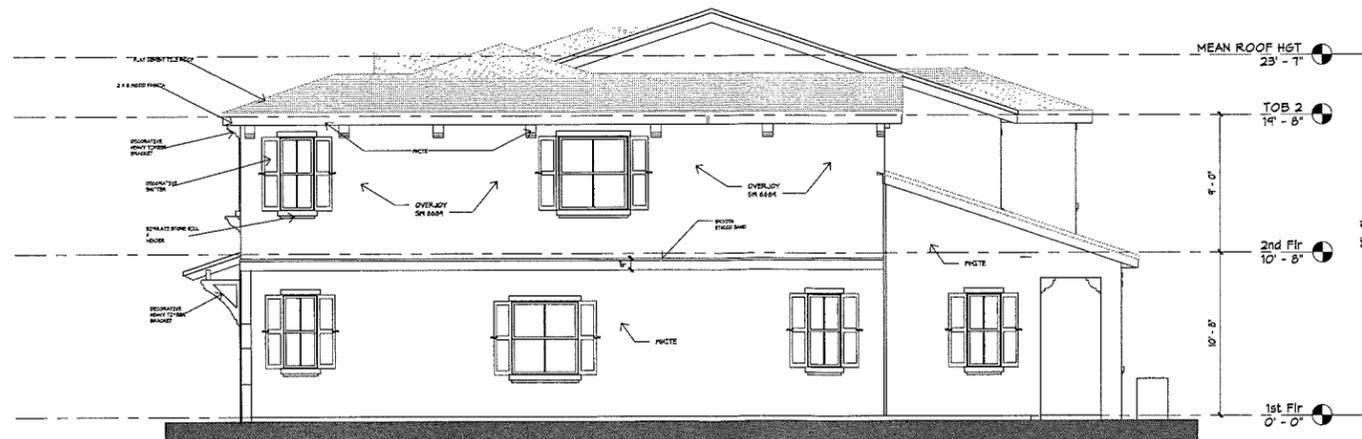
SHEET #

A7

See note on these sheets. As a minimum, a 1/2" thick gypsum board shall be installed on all interior walls and ceilings. The gypsum board shall be installed in accordance with the manufacturer's instructions. The gypsum board shall be installed over a metal lath and scratch coat. The gypsum board shall be installed over a metal lath and scratch coat. The gypsum board shall be installed over a metal lath and scratch coat.



1 REAR ELEVATION
3/16" = 1'-0"



2 RIGHT SIDE ELEVATION
3/16" = 1'-0"

I:\KENNEDY\LOS_ARBORES\FINAL_PLANS\5_UNIT_BUILDING_TYPE1_08162016.rvt

5-UNIT TYPE 1 ELEVATION

SHEET INFORMATION

PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2115
BOCA RATON, FL 33467



SPECIALITY ENGINEERING
CONSULTANTS, INC.
1300 NW 101st Ave.
Suite 200
Palm Beach Gardens, FL 33418
Phone: 561-353-1111
Fax: 561-353-1112

FILE NUMBER

SCALE

DATE 08/17/14

BY Checker

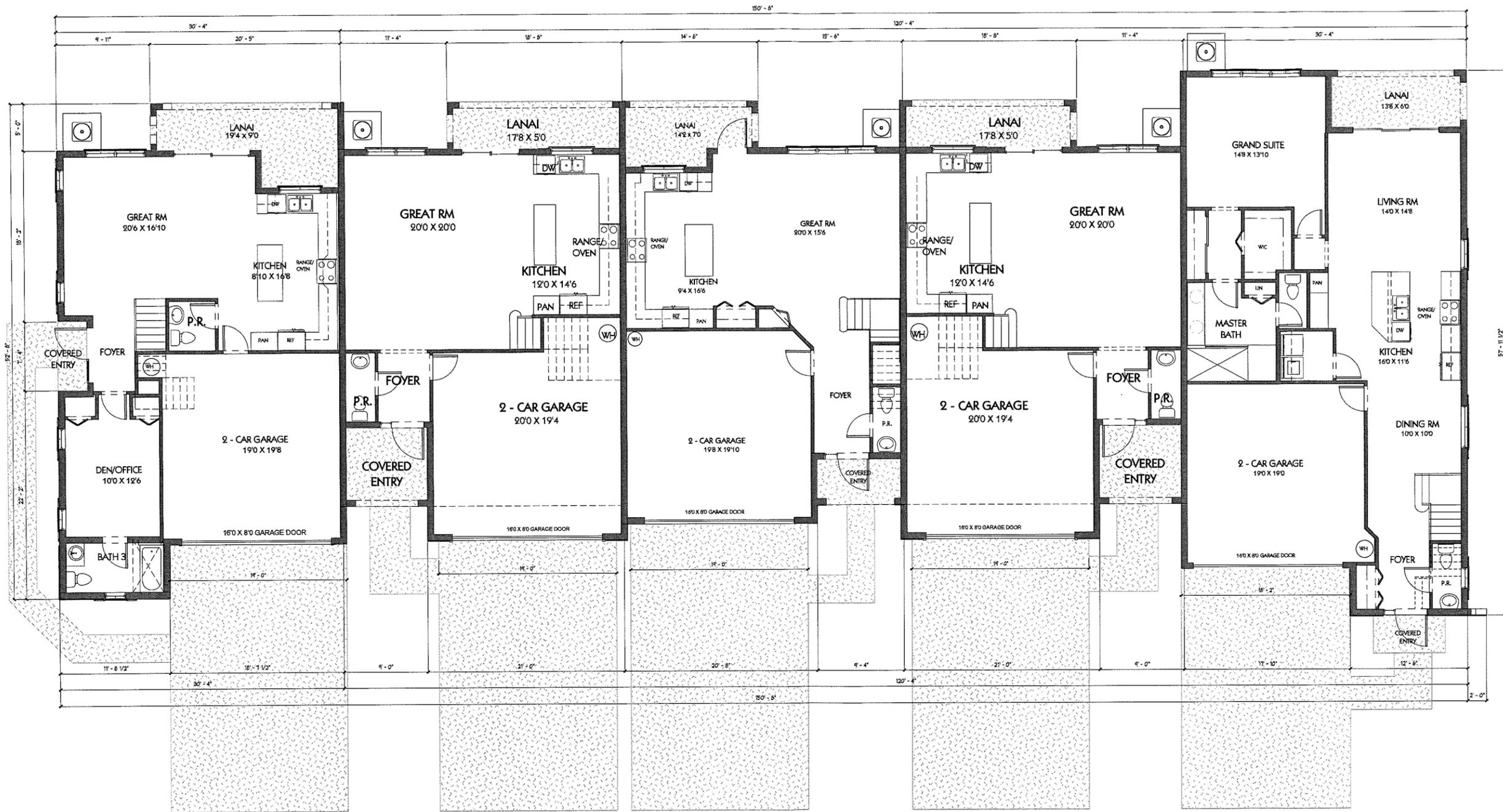
DATE Author

REVISION

SHEET #

A7.1

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1st Flr
3/16" = 1'-0"

Sophia
4 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLR A/C AREA	885 SF
2ND FLR A/C AREA	1154 SF
	2044 SF
ENTRY AREA	22 SF
GARAGE AREA	400 SF
LANAI AREA	136 SF
	558 SF
Grand total	2602 SF

Kalynda
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR A/C AREA	696 SF
2ND FLOOR A/C AREA	1073 SF
	1769 SF
ENTRY AREA	75 SF
GARAGE A/C AREA	445 SF
LANAI AREA	43 SF
	613 SF
Grand total	2382 SF

Lucia
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	711 SF
2ND FLOOR AREA	1135 SF
	1846 SF
ENTRY AREA	45 SF
GARAGE AREA	414 SF
LANAI AREA	41 SF
	559 SF
Grand total	2401 SF

Kalynda
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR A/C AREA	696 SF
2ND FLOOR A/C AREA	1073 SF
	1769 SF
ENTRY AREA	75 SF
GARAGE A/C AREA	445 SF
LANAI AREA	43 SF
	613 SF
Grand total	2382 SF

Sancia
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	1200 SF
2ND FLOOR AREA	753 SF
	1953 SF
BALCONY AREA	14 SF
ENTRY AREA	31 SF
GARAGE AREA	383 SF
LANAI AREA	86 SF
	514 SF
Grand total	2467 SF

5-UNIT BUILDING TYPE 1

SHEET INFORMATION

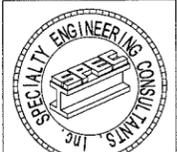
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2175
BOCA RATON, FL 33487



SPECIALTY ENGINEERING, INC.

12000 FLORIDA STATE ROAD 1

BOCA RATON, FL 33487

DATE: 08/17/2014

PROJECT: TREVI ISLE

FILE: 140817-01-01-01

DATE: 08/17/2014

BY: J. J. JONES

15' 10" 1/2" 1/2" 1/2" 1/2"

15' 10" 1/2" 1/2" 1/2" 1/2"

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SHEET #

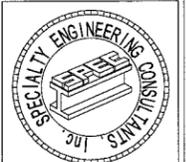
A5

I:\KENNEDY\LOS_ARBORS\FINAL_PLANS\5_UNIT_BUILDING_TYPE1.rvt

Be sure to check all dimensions and details of this plan against the approved building permit. The contractor is responsible for verifying the accuracy of all dimensions and details shown on this plan. The architect is not responsible for any errors or omissions on this plan.

5-UNIT BUILDING TYPE 1
PROJECT INFORMATION
TREVI ISLE

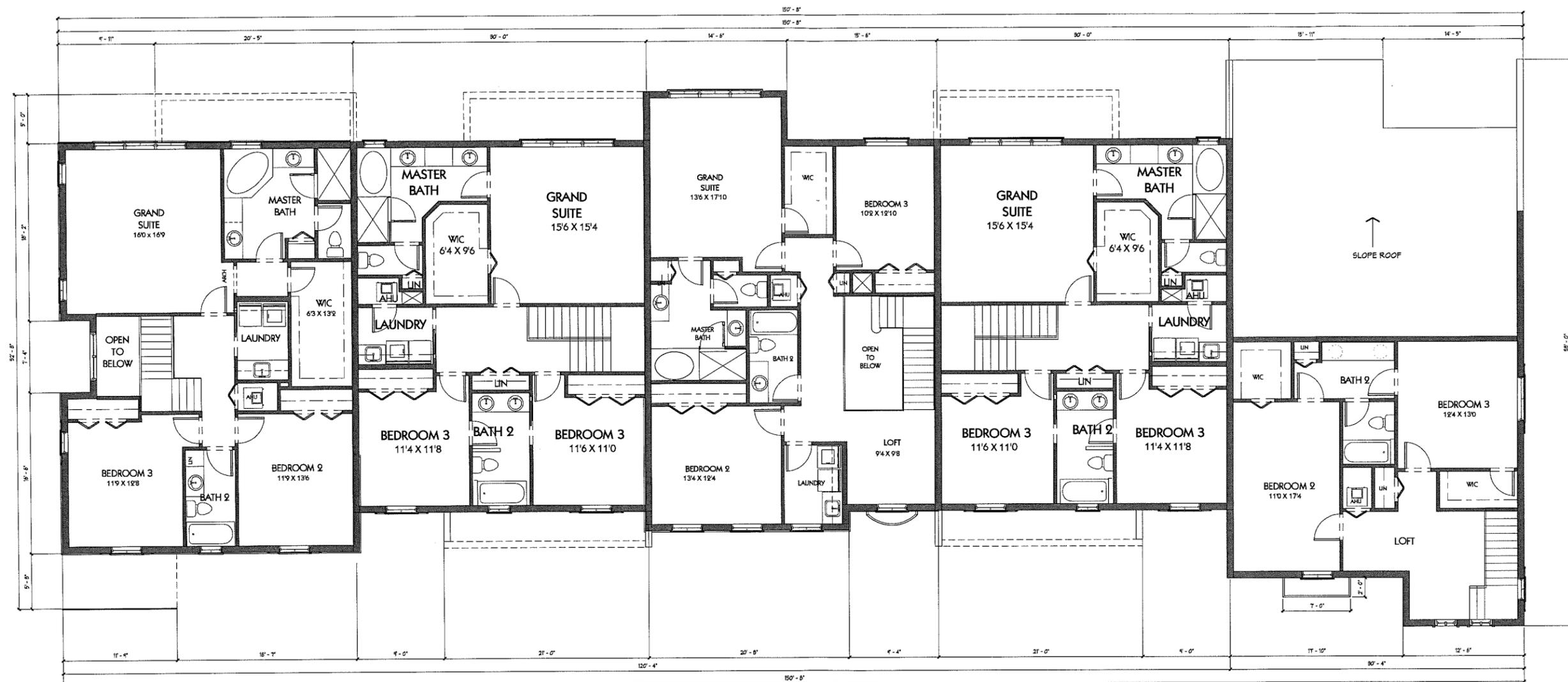
CLIENT INFORMATION
KENNEDY HOMES, LLC
6400 N. CONGRESS AVE
SUITE 2115
BOCA RATON, FL 33487



SPECIALTY ENGINEERING & PLANNING, INC.
CORPORATE SUITE 100
3900 SW 10th Ave.
Fort Lauderdale, FL 33309
PH: 754.584.1111
FAX: 754.584.1112

FILE NAME:
SHEET #
DATE: 05/07/14
BY: Checker
DRAWN BY: Author

REVISION:
DATE: 05/07/14
BY: [Signature]
SHEET # **A6**



① 2nd Flr
3/16" = 1'-0"

Sophia
4 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLR A/C AREA	885 SF
2ND FLR A/C AREA	1154 SF
	2044 SF
ENTRY AREA	22 SF
GARAGE AREA	400 SF
LANAI AREA	136 SF
	558 SF
Grand total	2602 SF

Kalynda
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR A/C AREA	696 SF
2ND FLOOR A/C AREA	1073 SF
	1769 SF
ENTRY AREA	75 SF
GARAGE A/C AREA	445 SF
LANAI AREA	49 SF
	619 SF
Grand total	2382 SF

Lucia
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	711 SF
2ND FLOOR AREA	1135 SF
	1846 SF
ENTRY AREA	45 SF
GARAGE AREA	419 SF
LANAI AREA	91 SF
	559 SF
Grand total	2401 SF

Kalynda
3 BEDROOM

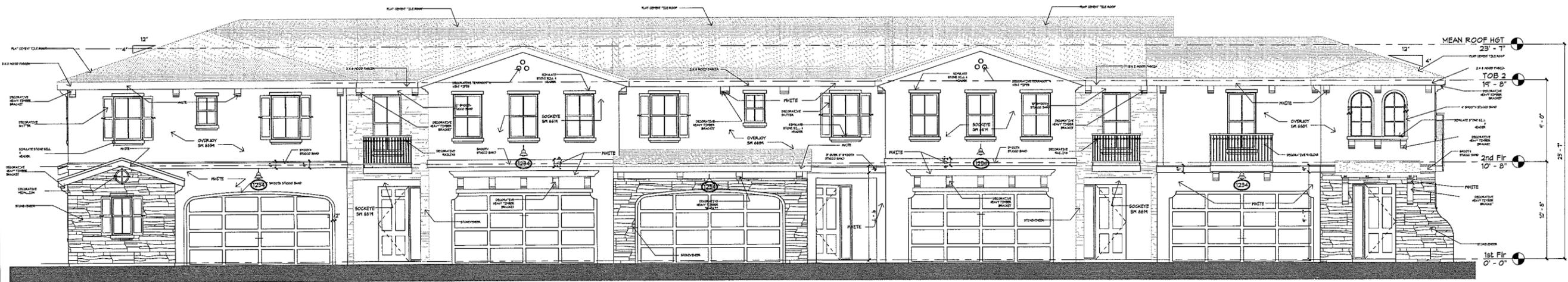
AREA CALCULATION	
Comments	Area
1ST FLOOR A/C AREA	696 SF
2ND FLOOR A/C AREA	1073 SF
	1769 SF
ENTRY AREA	75 SF
GARAGE A/C AREA	445 SF
LANAI AREA	49 SF
	619 SF
Grand total	2382 SF

Sancia
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	1200 SF
2ND FLOOR AREA	753 SF
	1953 SF
BALCONY AREA	14 SF
ENTRY AREA	31 SF
GARAGE AREA	383 SF
LANAI AREA	86 SF
	514 SF
Grand total	2467 SF

I:\KENNEDY\LOS_ARBORS\FINAL_PLANS\5_UNIT_BUILDING_TYPE1.rvt

By use of these elevations and details, the contractor shall be held responsible for the proper construction of the building. The contractor shall be held responsible for the proper construction of the building. The contractor shall be held responsible for the proper construction of the building.



① FRONT ELEVATION
3/16" = 1'-0"

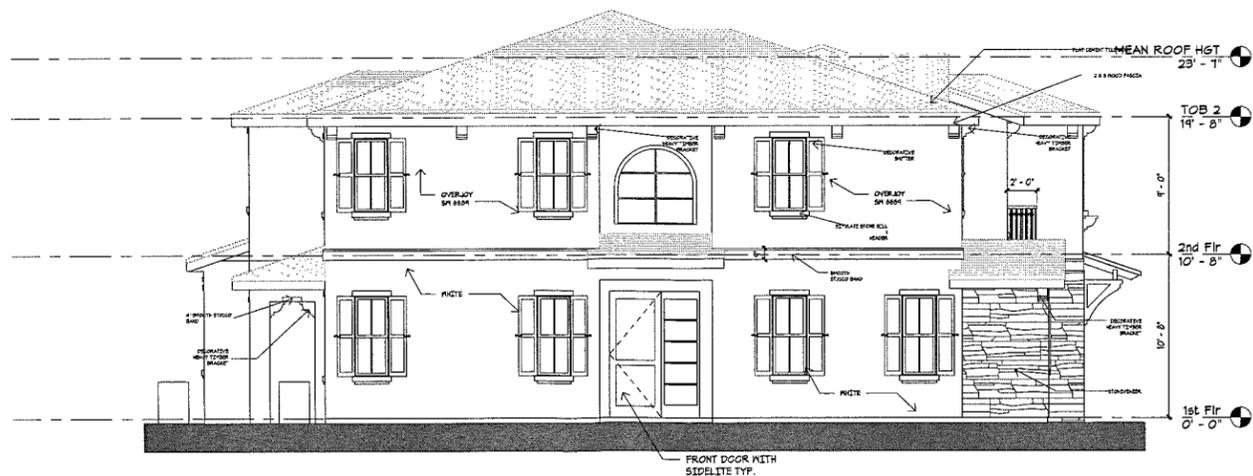
SOPHIA BUILDING COLOR		
UPPER BODY	OVERLAY	SP 6614
LOWER BODY	EXTRA WHITE	SP 1003
ROOF	FLAT TILE	GREY
FASCIA	EXTRA WHITE	SP 1003
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAM	SP 6005

LUCIA BUILDING COLOR		
UPPER BODY	SOCKETE	SP 6614
LOWER BODY	EXTRA WHITE	SP 1003
ROOF	FLAT TILE	GREY
FASCIA	EXTRA WHITE	SP 1003
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAM	SP 6005

KALYNDIA BUILDING COLOR		
UPPER BODY	OVERLAY	SP 6614
LOWER BODY	EXTRA WHITE	SP 1003
ROOF	FLAT TILE	GREY
FASCIA	EXTRA WHITE	SP 1003
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAM	SP 6005

LUCIA BUILDING COLOR		
UPPER BODY	SOCKETE	SP 6614
LOWER BODY	EXTRA WHITE	SP 1003
ROOF	FLAT TILE	GREY
FASCIA	EXTRA WHITE	SP 1003
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAM	SP 6005

SANCIA BUILDING COLOR		
UPPER BODY	OVERLAY	SP 6614
LOWER BODY	EXTRA WHITE	SP 1003
ROOF	FLAT TILE	GREY
FASCIA	EXTRA WHITE	SP 1003
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAM	SP 6005



② LEFT SIDE ELEVATION
3/16" = 1'-0"

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5-UNIT TYPE 2 ELEVATIONS

SHEET INFORMATION

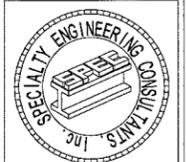
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2175
BOCA RATON, FL 33487



SPECIALTY ENGINEERING
CORPORATION, INC.
1500 NW 30th Ave.
Fort Lauderdale, FL 33309
PAID FOR BY: KENNEDY HOMES, LLC
F. 04. 1500277

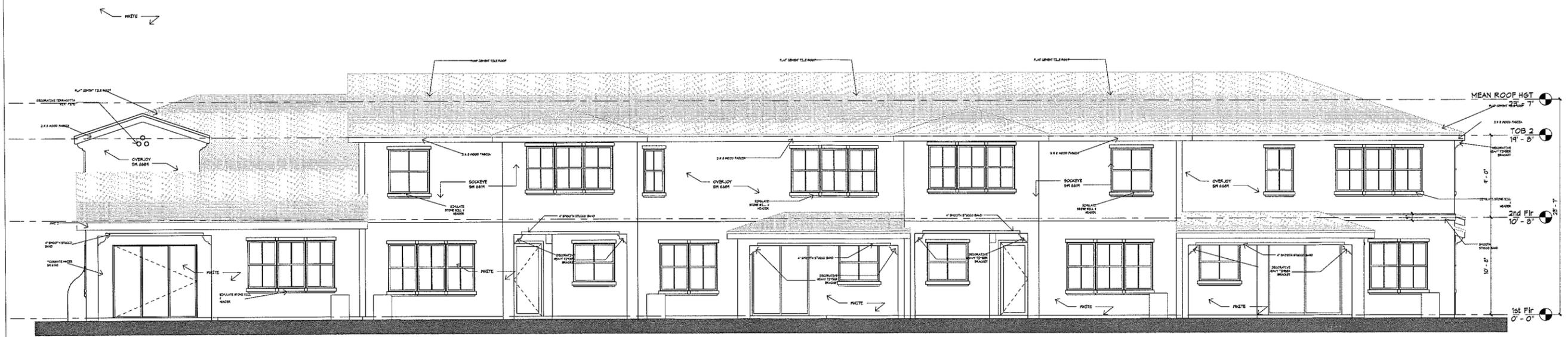
DATE: 08/17/14
BY: J. M. Checker
CHECKED BY: Author

REVISION

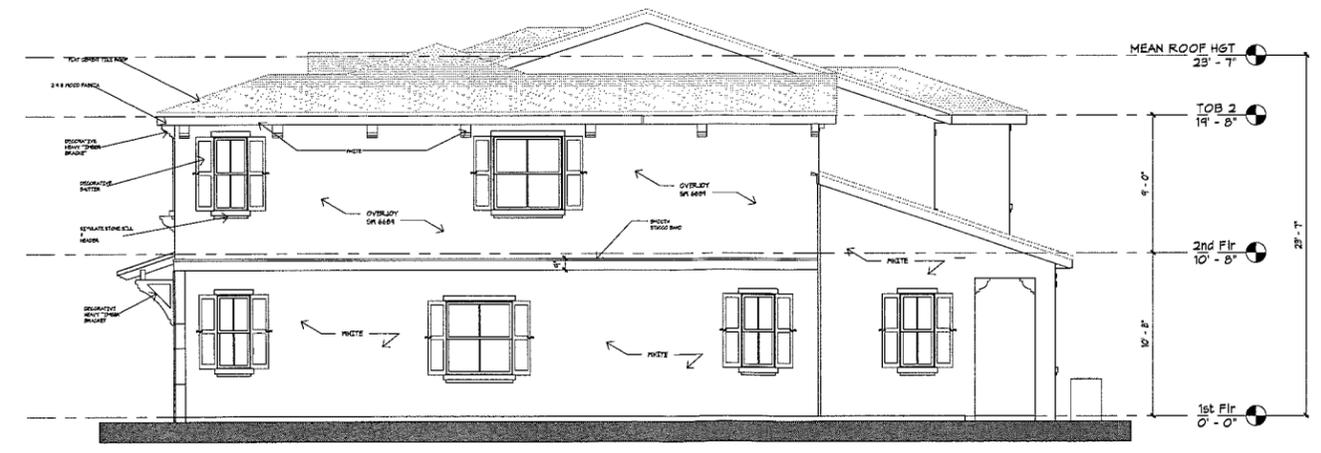
DATE: 08/17/14

SHEET #
A11

By use of these specifications and drawings, the contractor shall be held responsible for the proper interpretation and execution of the same. The architect shall not be held responsible for the contractor's failure to comply with the specifications and drawings. The architect shall not be held responsible for the contractor's failure to obtain the necessary permits and approvals from the appropriate authorities. The architect shall not be held responsible for the contractor's failure to obtain the necessary insurance. The architect shall not be held responsible for the contractor's failure to obtain the necessary bonding. The architect shall not be held responsible for the contractor's failure to obtain the necessary licenses. The architect shall not be held responsible for the contractor's failure to obtain the necessary permits and approvals from the appropriate authorities. The architect shall not be held responsible for the contractor's failure to obtain the necessary insurance. The architect shall not be held responsible for the contractor's failure to obtain the necessary bonding. The architect shall not be held responsible for the contractor's failure to obtain the necessary licenses.



1 REAR ELEVATION
3/16" = 1'-0"



2 RIGHT SIDE ELEVATION
3/16" = 1'-0"

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5-UNIT TYPE 2 ELEVATIONS

SHEET INFORMATION

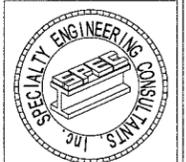
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2175
BOCA RATON, FL 33487



SPECIALITY ENGINEERING
CONSULTING S, INC.
5300 NW 24th Ave.
P.O. Box 1000
Palm Beach, FL 33404
PAUL F. BROWNE, PAUL F. BROWNE
F.L.A. #13424
EST. 1992
1515 N.W. 10th Ave. #44

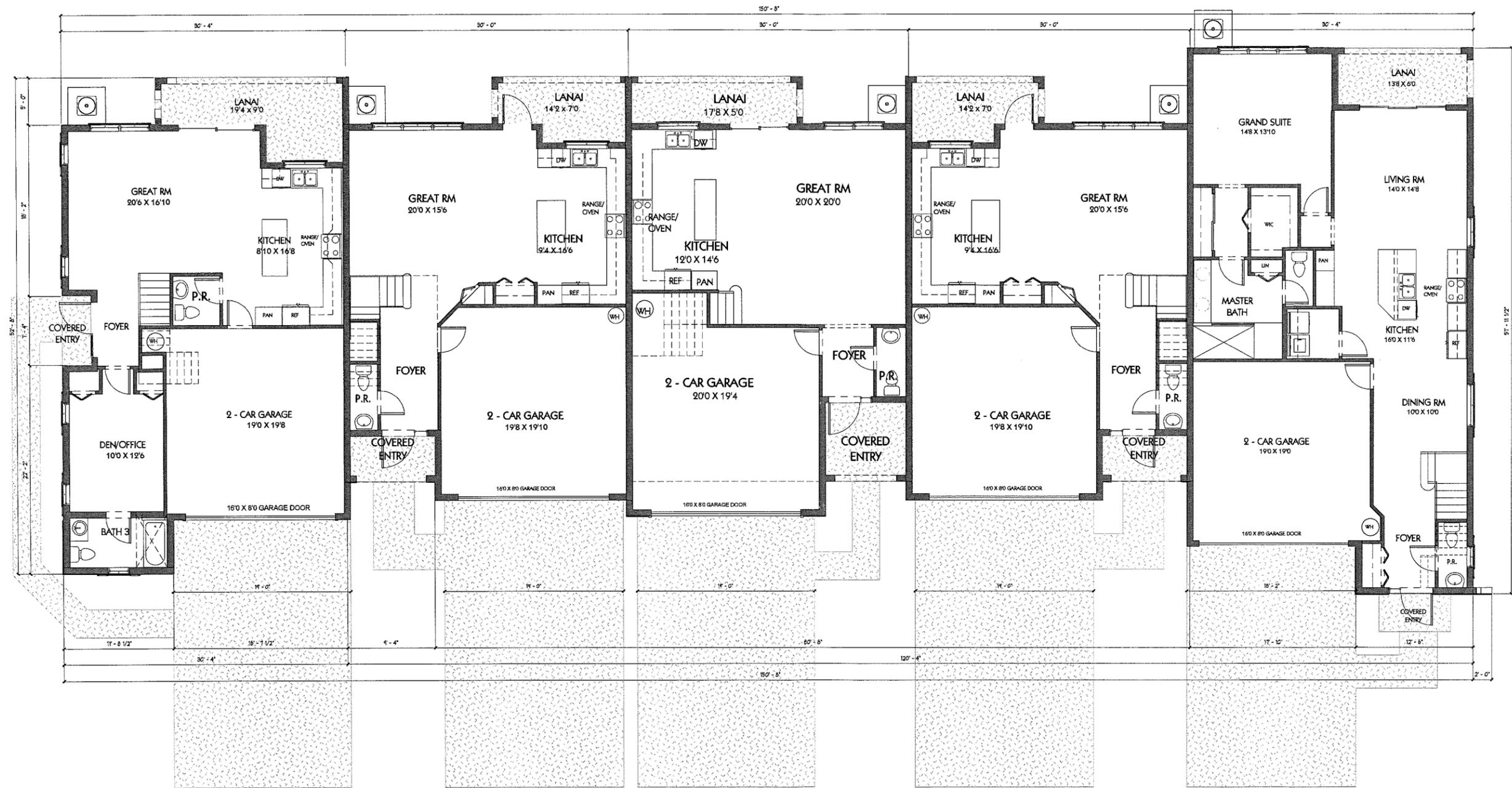
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SCALE:	
DATE:	08/17/14
REVISED BY:	Checker
DRAWN BY:	Author

REVISION:

DATE: 08/17/14
DRAWN BY: Author

SHEET #
A11.1

For use of these drawings, it is understood that the user shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user shall also be responsible for providing all necessary information and data to the architect. The architect shall not be responsible for any errors or omissions in these drawings, or for any consequences arising therefrom. The user shall indemnify and hold the architect harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of these drawings, whether or not such claims, damages, and expenses are caused in whole or in part by the negligence of the architect.



1 1st Flr
3/16" = 1'-0"

Sophia

4 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLR A/G AREA	885 SF
2ND FLR A/G AREA	1151 SF
	2044 SF
ENTRY AREA	22 SF
GARAGE AREA	400 SF
LANAI AREA	136 SF
	558 SF
Grand total	2602 SF

Lucia

3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	711 SF
2ND FLOOR AREA	1195 SF
	1946 SF
ENTRY AREA	45 SF
GARAGE AREA	419 SF
LANAI AREA	41 SF
	555 SF
Grand total	2401 SF

Kalynda

3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR A/G AREA	896 SF
2ND FLOOR A/G AREA	1073 SF
	1769 SF
ENTRY AREA	75 SF
GARAGE A/G AREA	445 SF
LANAI AREA	93 SF
	619 SF
Grand total	2382 SF

Lucia

3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	711 SF
2ND FLOOR AREA	1195 SF
	1946 SF
ENTRY AREA	45 SF
GARAGE AREA	419 SF
LANAI AREA	41 SF
	555 SF
Grand total	2401 SF

Sancia

3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	1200 SF
2ND FLOOR AREA	753 SF
	1953 SF
BALCONY AREA	14 SF
ENTRY AREA	31 SF
GARAGE AREA	383 SF
LANAI AREA	86 SF
	514 SF
Grand total	2467 SF

5-UNIT BUILDING TYPE 2

SHEET INFORMATION

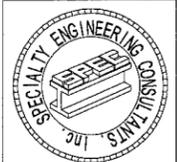
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2115
BOCA RATON, FL 33487



SPECIALITY ENGINEERING SYSTEMS, INC.
12587
STATE OF FLORIDA
LICENSE NO. 12587
PAUL P. CAHILL
P.E., P.L.C.
08/17/2014

TITLE NAME:
SCALE:
DATE: 08/17/2014
REVISED BY: Checker
DRAWN BY: Author

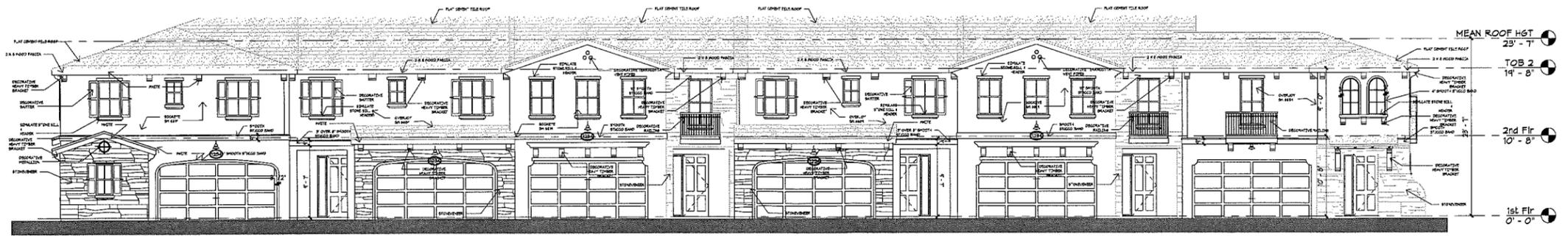
REVISION:

SHEET #

A9

I:\KENNEDY\LOS_ARBOR\FINAL_PLANS\5_UNIT_BUILDING_TYPE2_COLOR\FINAL

See City of ...
 See City of ...



SOPHIA BUILDING COLOR		
UPPER BODY	SOFFIT	SP 6414
LOWER BODY	EXTRA WHITE	SP 1006
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SP 1006
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAN	SP 6008

KALYNDA BUILDING COLOR		
UPPER BODY	OVERLAY	SP 6414
LOWER BODY	EXTRA WHITE	SP 1006
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SP 1006
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAN	SP 6008

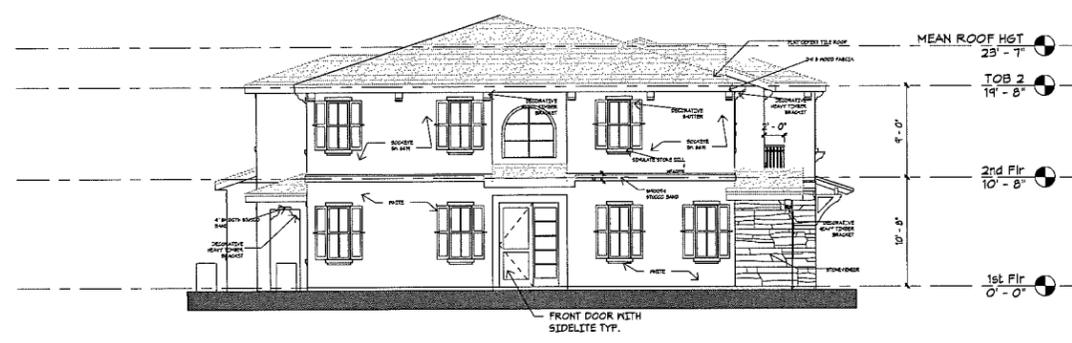
LUCIA BUILDING COLOR		
UPPER BODY	SOFFIT	SP 6414
LOWER BODY	EXTRA WHITE	SP 1006
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SP 1006
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAN	SP 6008

KALYNDA BUILDING COLOR		
UPPER BODY	OVERLAY	SP 6414
LOWER BODY	EXTRA WHITE	SP 1006
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SP 1006
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAN	SP 6008

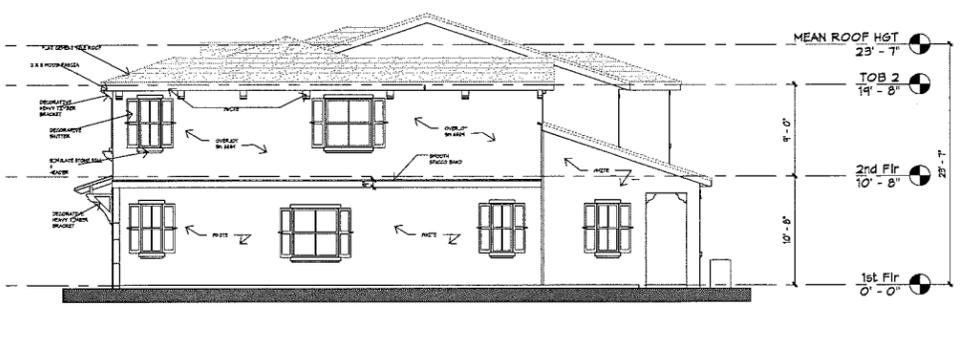
LUCIA BUILDING COLOR		
UPPER BODY	SOFFIT	SP 6414
LOWER BODY	EXTRA WHITE	SP 1006
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SP 1006
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAN	SP 6008

SANCIA BUILDING COLOR		
UPPER BODY	OVERLAY	SP 6414
LOWER BODY	EXTRA WHITE	SP 1006
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SP 1006
SHUTTER	ROCK GARDEN	SP 6195
GARAGE DOOR	BLACK BEAN	SP 6008

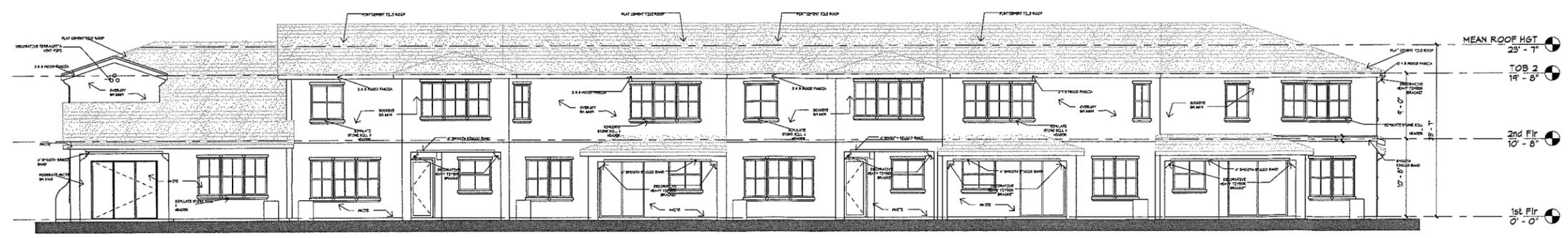
1 FRONT ELEVATION
 1/8" = 1'-0"



2 LEFT SIDE ELEVATION
 1/8" = 1'-0"



3 RIGHT SIDE ELEVATION
 1/8" = 1'-0"

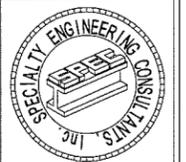


4 REAR ELEVATION
 1/8" = 1'-0"

I:\KENNEDY\LOS_ARBORS\FINAL_PLANS\6_UNIT_BUILDING_TYP1.rvt

6-UNIT ELEVATIONS
 PROJECT INFORMATION
 TREVIS ISLE

KENNEDY HOMES, LLC
 6400 N. CONGRESS AVE
 SUITE 2115
 BOCA RATON, FL 33487



SPECIAL ENGINEERING
 CONSULTING, P.C.
 1390 SW 90th Ave.
 Suite 201
 Fort Lauderdale, FL 33424
 PAUL F. FOWLER, P.E. License No. 125524
 F. D. License No. 125524

DATE: 10/07/2015
 TIME: 10:07:17
 USER: J...
 PLOT NAME:
 SCALE:
 DATE: 10/07/2015
 TIME: 10:07:17
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 PLOT NAME:
 SCALE:

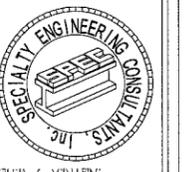
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 SCALE:
 SHEET #
A11

Use of these plans is limited to the project and location specified on the title block. Any other use, including reproduction, is prohibited. The user assumes all liability for any errors or omissions. The user shall indemnify and hold the architect harmless from all claims, damages, and expenses, including reasonable attorneys' fees, arising from any such use. The user shall also defend, indemnify and hold the architect harmless from all claims, damages, and expenses, including reasonable attorneys' fees, arising from any such use. The user shall also defend, indemnify and hold the architect harmless from all claims, damages, and expenses, including reasonable attorneys' fees, arising from any such use.

6-UNIT BUILDING
SHEET INFORMATION

PROJECT INFORMATION
TREVI ISLE

CLIENT INFORMATION
KENNEDY HOMES, LLC
6400 N. CONGRESS AVE
SUITE 2115
BOCA RATON, FL 33497



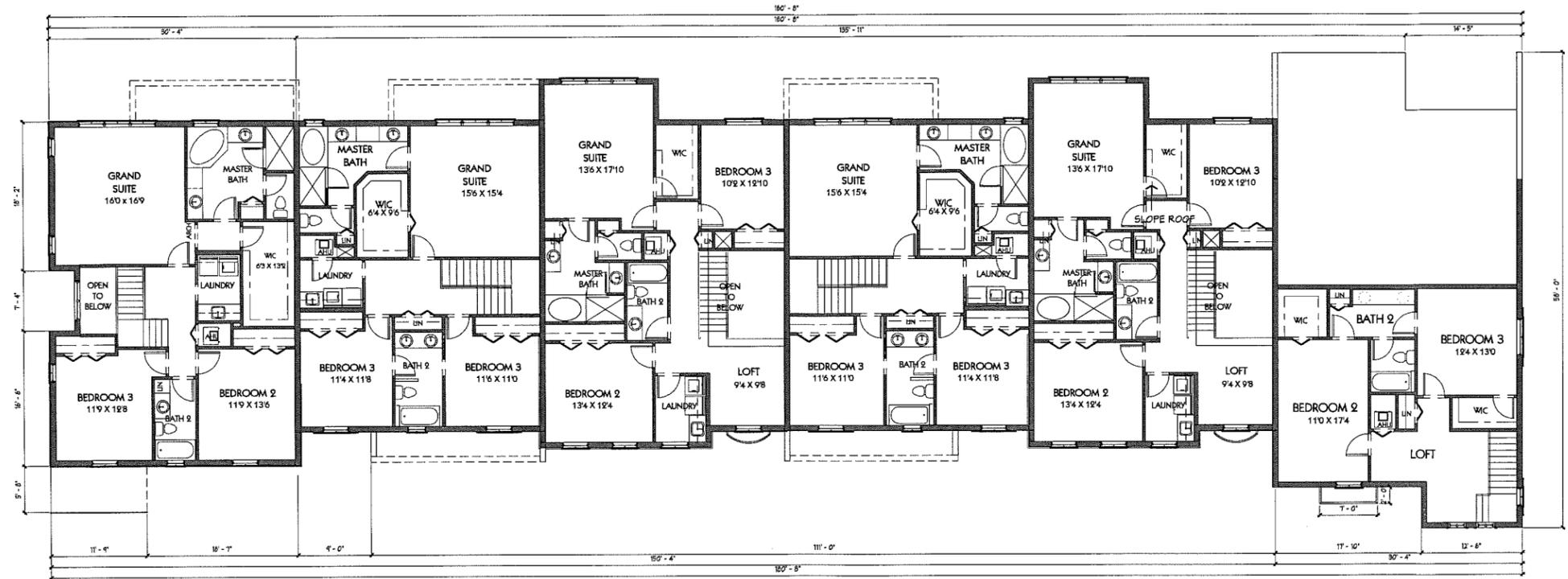
SPECIALTY ENGINEERING
CORPORATION
1500 NW 101 AVE.
SUITE 2115
BOCA RATON, FL 33429
PAUL FROHART
F. DE. 120217
15' 752 8410 0000P
15' 122 2042 000

FILE NAME:
SCA =
DATE 10/01/2015
CHECKER
AUTHOR

REVISION

Comments	Area
1ST FLOOR AREA	1200 SF
2ND FLOOR AREA	753 SF
	1953 SF
BALCONY AREA	14 SF
ENTRY AREA	31 SF
GARAGE AREA	303 SF
LANAI AREA	86 SF
	514 SF
Grand total	2467 SF

SHEET #
A10



① 2nd Flr
1/8" = 1'-0"

Sophia
4 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLR A/C AREA	885 SF
2ND FLR A/C AREA	1154 SF
	2044 SF
ENTRY AREA	22 SF
GARAGE AREA	400 SF
LANAI AREA	136 SF
	558 SF
Grand total	2602 SF

Kalynnda
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR A/C AREA	696 SF
2ND FLOOR A/C AREA	1073 SF
	1769 SF
ENTRY AREA	75 SF
GARAGE A/C AREA	445 SF
LANAI AREA	93 SF
	613 SF
Grand total	2382 SF

Lucia
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	711 SF
2ND FLOOR AREA	1135 SF
	1946 SF
ENTRY AREA	45 SF
GARAGE AREA	419 SF
LANAI AREA	91 SF
	555 SF
Grand total	2401 SF

Kalynnda
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR A/C AREA	696 SF
2ND FLOOR A/C AREA	1073 SF
	1769 SF
ENTRY AREA	75 SF
GARAGE A/C AREA	445 SF
LANAI AREA	93 SF
	613 SF
Grand total	2382 SF

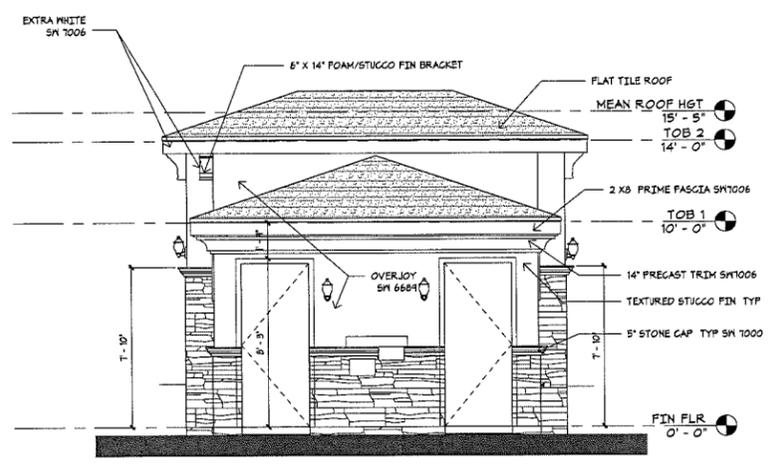
Lucia
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	711 SF
2ND FLOOR AREA	1135 SF
	1946 SF
ENTRY AREA	45 SF
GARAGE AREA	419 SF
LANAI AREA	91 SF
	555 SF
Grand total	2401 SF

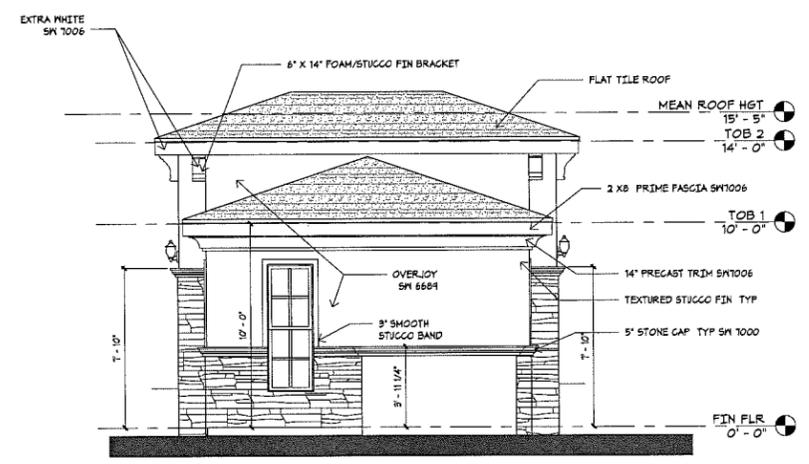
Sancia
3 BEDROOM

AREA CALCULATION	
Comments	Area
1ST FLOOR AREA	1200 SF
2ND FLOOR AREA	753 SF
	1953 SF
BALCONY AREA	14 SF
ENTRY AREA	31 SF
GARAGE AREA	303 SF
LANAI AREA	86 SF
	514 SF
Grand total	2467 SF

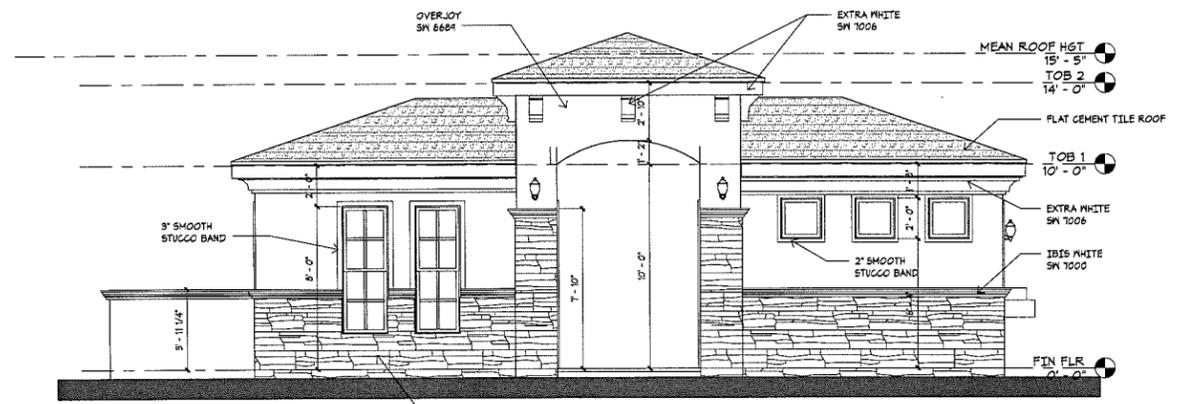
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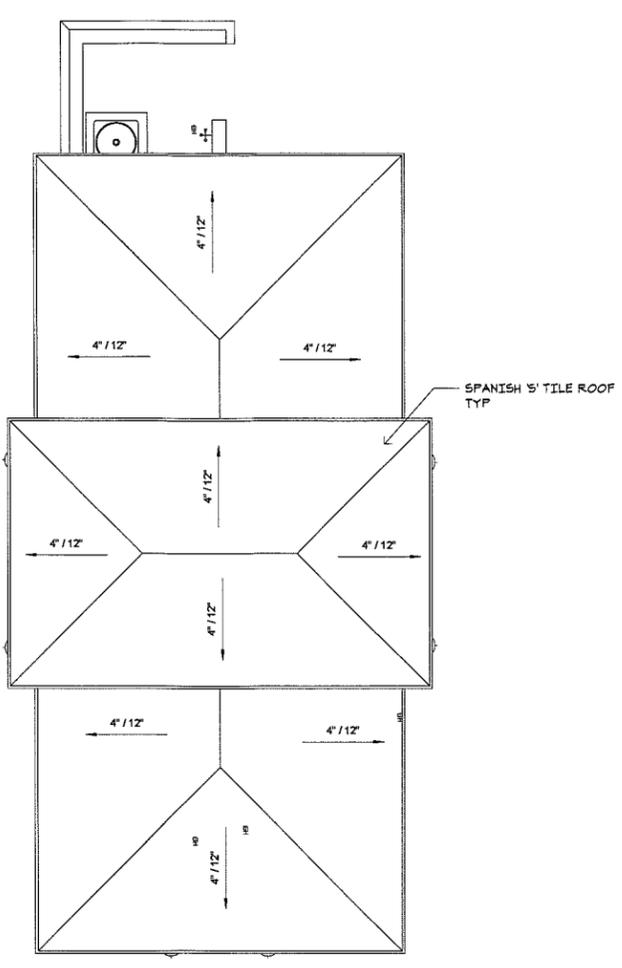
1 LEFT SIDE
1/4" = 1'-0"



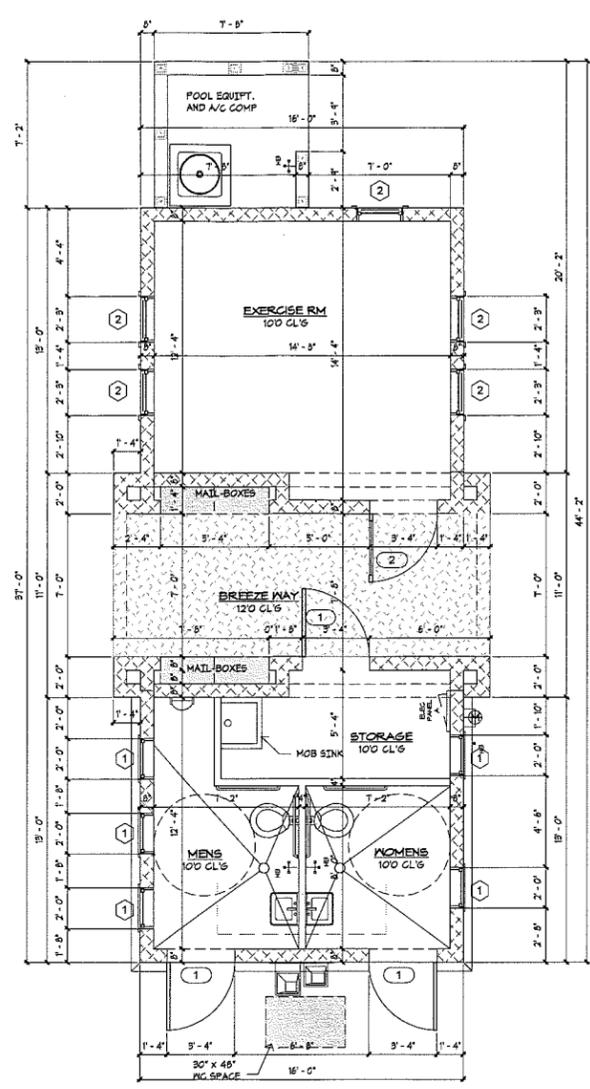
3 RIGHT SIDE
1/4" = 1'-0"



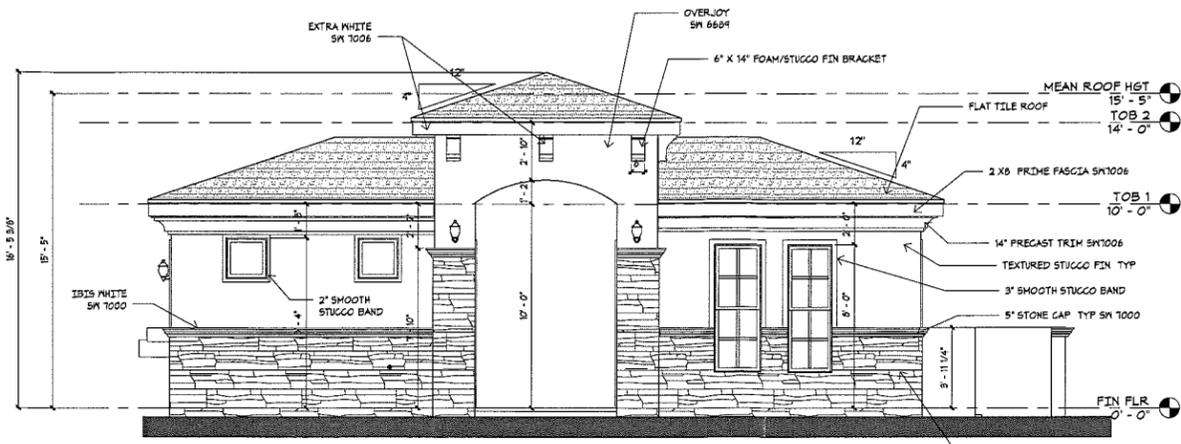
2 REAR
1/4" = 1'-0"



6 ROOF PLAN
1/4" = 1'-0"



5 FIN FLR
1/4" = 1'-0"



4 FRONT
1/4" = 1'-0"

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CLUBHOUSE

SHEET INFORMATION

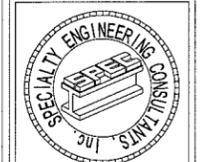
PROJECT INFORMATION
TREVI ISLE

PALM BEACH GARDEN,
FLORIDA

CLIENT INFORMATION

KENNEDYHOMES, LLC

6400 CONGRESS AVE,
BOCA RATON, FLORIDA



SPECIALTY ENGINEERING CONSULTANTS, Inc

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DADE - BROWARD - PALM BEACH
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FILE NAME:

SCALE:

DATE 05/15/2014

RVD. BY Checker

DRWN. BY Author

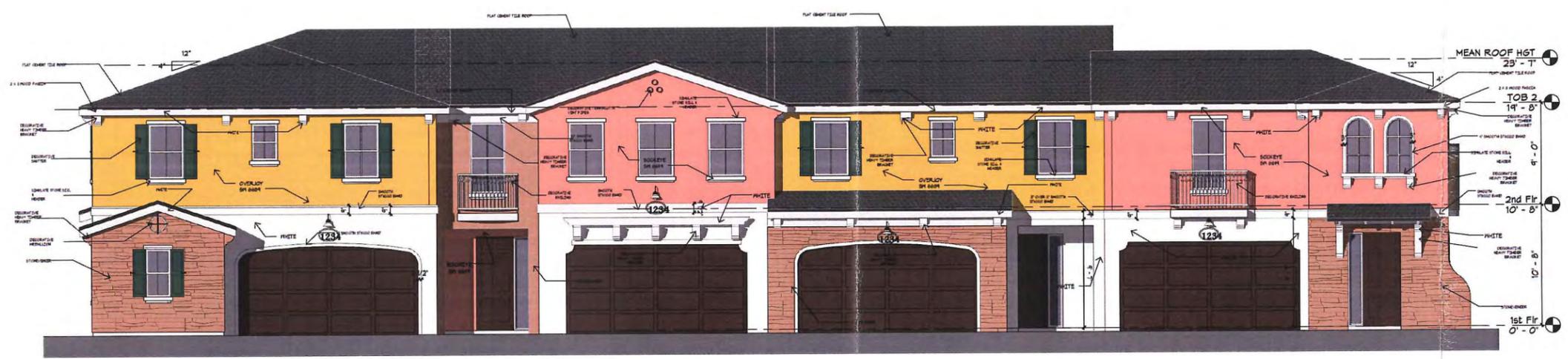
REVISION

SEAL
GARY McDUGLE, PE FL#66214

SHEET #

A-13

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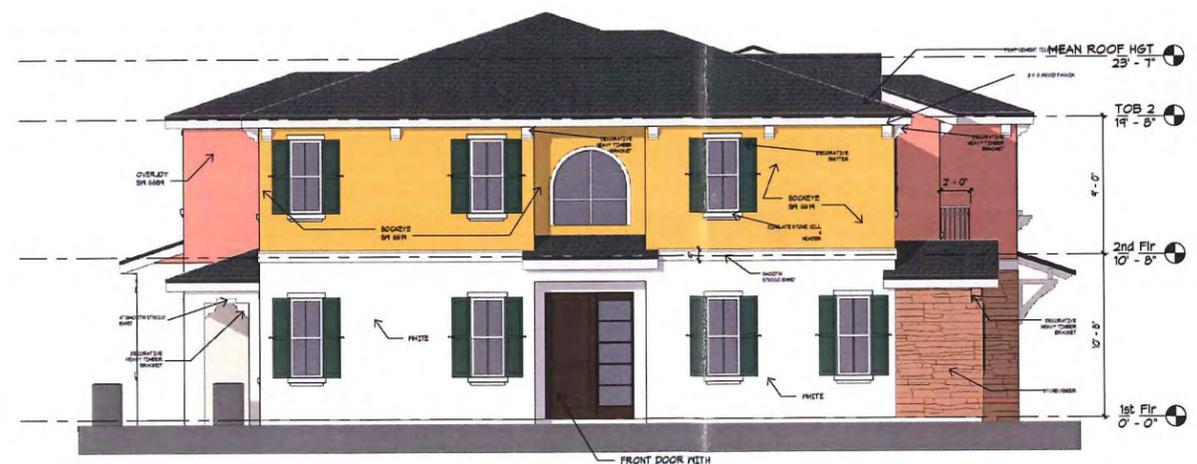
1 FRONT ELEVATION
3/16" = 1'-0"

SOPHIA BUILDING COLOR		
UPPER BODY	OVERLAY	SH SHDR
LOWER BODY	WHITE	SH ---
ROOF	FLAT TILE	SH ---
FACGA	WHITE	SH ---

LUCIA BUILDING COLOR		
UPPER BODY	SOCCRETE	SH SHDR
LOWER BODY	WHITE	SH ---
ROOF	FLAT TILE	SH ---
FACGA	WHITE	SH ---

KALYNDY BUILDING COLOR		
UPPER BODY	OVERLAY	SH SHDR
LOWER BODY	WHITE	SH ---
ROOF	FLAT TILE	SH ---
FACGA	WHITE	SH ---

SANCIA BUILDING COLOR		
UPPER BODY	SOCCRETE	SH SHDR
LOWER BODY	WHITE	SH ---
ROOF	FLAT TILE	SH ---
FACGA	WHITE	SH ---



2 LEFT SIDE ELEVATION
3/16" = 1'-0"

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ELEVATIONS

SHEET INFORMATION

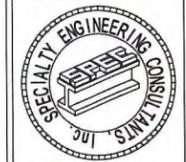
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2115
BOCA RATON, FL 33481



SPECIALTY ENGINEERING
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361 - 732 - 5447 FAX

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SCALE:
DATE: 11/07/2016
RVD. BY: Checker
DRWN. BY: Author

REVISION:
SEAL:
GARY MCGUIRE, PE FL #56214

SHEET #
A3

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1 REAR ELEVATION
3/16" = 1'-0"



2 RIGHT SIDE ELEVATION
1/4" = 1'-0"

I:\KENNEDY\LOS_ARBORS\FINAL_PLANS\4_UNIT_BUILDING2A\Recovery1.rvt

ELEVATIONS

SHEET INFORMATION

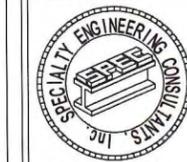
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

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A4

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5-UNIT TYPE 1 ELEVATION

SHEET INFORMATION

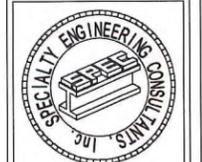
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
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BOCA RATON, FL 33487



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SCALE:
DATE: 11/07/2016
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DRAWN BY: Author

REVISION

SEAL: GARY MCDONALD, PE FL #50214

SHEET # **A7**



SOPHIA BUILDING COLOR

UPPER BODY	SOCKETE	SH 8814
LOWER BODY	EXTRA WHITE	SH 3023
ROOF	FLAT TILE	GREY
FASCIA	EXTRA WHITE	SH 3023
SHUTTER	ROCK GARDEN	SH 8118
GARAGE DOOR	BLACK BEAN	SH 8023

KALYNDA BUILDING COLOR

UPPER BODY	OVERLAY	SH 8814
LOWER BODY	EXTRA WHITE	SH 3023
ROOF	FLAT TILE	GREY
FASCIA	EXTRA WHITE	SH 3023
SHUTTER	ROCK GARDEN	SH 8118
GARAGE DOOR	BLACK BEAN	SH 8023

LUCIA BUILDING COLOR

UPPER BODY	SOCKETE	SH 8814
LOWER BODY	EXTRA WHITE	SH 3023
ROOF	FLAT TILE	GREY
FASCIA	EXTRA WHITE	SH 3023
SHUTTER	ROCK GARDEN	SH 8118
GARAGE DOOR	BLACK BEAN	SH 8023

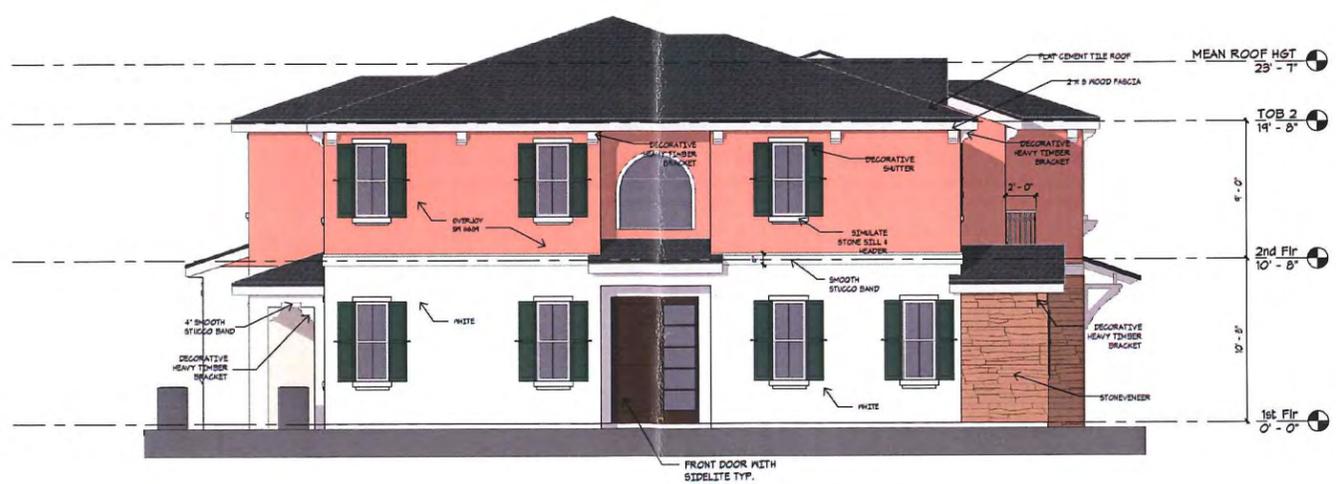
KALYNDA BUILDING COLOR

UPPER BODY	OVERLAY	SH 8814
LOWER BODY	EXTRA WHITE	SH 3023
ROOF	FLAT TILE	GREY
FASCIA	EXTRA WHITE	SH 3023
SHUTTER	ROCK GARDEN	SH 8118
GARAGE DOOR	BLACK BEAN	SH 8023

SANICIA BUILDING COLOR

UPPER BODY	SOCKETE	SH 8814
LOWER BODY	EXTRA WHITE	SH 3023
ROOF	FLAT TILE	GREY
FASCIA	EXTRA WHITE	SH 3023
SHUTTER	ROCK GARDEN	SH 8118
GARAGE DOOR	BLACK BEAN	SH 8023

① FRONT ELEVATION
3/16" = 1'-0"



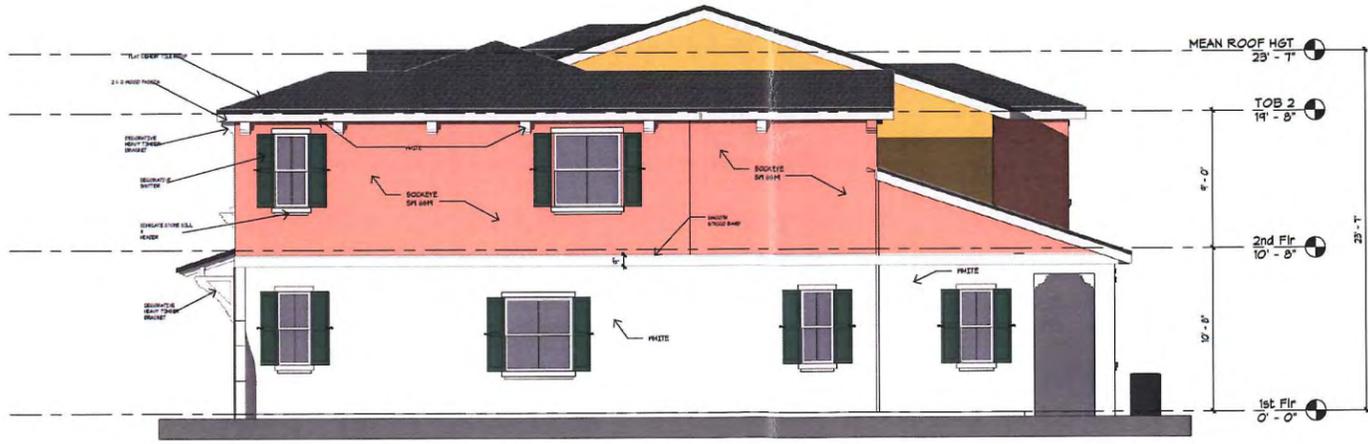
② LEFT SIDE ELEVATION
3/16" = 1'-0"

I:\KENNEDY\LOS_ARBORS\FINAL_PLANS\5_UNIT_BUILDING_TYPE1_08162016.rvt

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1 REAR ELEVATION
3/16" = 1'-0"



2 RIGHT SIDE ELEVATION
3/16" = 1'-0"

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5-UNIT TYPE 1 ELEVATION

SHEET INFORMATION

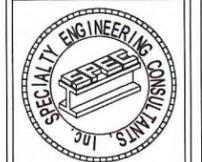
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
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BOCA RATON, FL 33467



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FL. CA. #003217
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DRWN. BY:	Author
REVISION:	

SEAL
GARY MCGONIGLE, PE FL #50214

SHEET #
A7.1

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1 FRONT ELEVATION
3/16" = 1'-0"

SOPHIA BUILDING COLOR		
UPPER BODY	OVERLAY	SH 6894
LOWER BODY	EXTRA WHITE	SH 1008
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SH 1008
SHUTTER	ROCK GARDEN	SH 618
GARAGE DOOR	BLACK BEAM	SH 6039

LUCIA BUILDING COLOR		
UPPER BODY	SOCIETY	SH 6814
LOWER BODY	EXTRA WHITE	SH 1008
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SH 1008
SHUTTER	ROCK GARDEN	SH 618
GARAGE DOOR	BLACK BEAM	SH 6039

KALYNDA BUILDING COLOR		
UPPER BODY	OVERLAY	SH 6894
LOWER BODY	EXTRA WHITE	SH 1008
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SH 1008
SHUTTER	ROCK GARDEN	SH 618
GARAGE DOOR	BLACK BEAM	SH 6039

LUCIA BUILDING COLOR		
UPPER BODY	SOCIETY	SH 6814
LOWER BODY	EXTRA WHITE	SH 1008
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SH 1008
SHUTTER	ROCK GARDEN	SH 618
GARAGE DOOR	BLACK BEAM	SH 6039

SANGIA BUILDING COLOR		
UPPER BODY	OVERLAY	SH 6894
LOWER BODY	EXTRA WHITE	SH 1008
ROOF	FLAT TILE	GRY
FASCIA	EXTRA WHITE	SH 1008
SHUTTER	ROCK GARDEN	SH 618
GARAGE DOOR	BLACK BEAM	SH 6039



2 LEFT SIDE ELEVATION
3/16" = 1'-0"

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5-UNIT TYPE 2 ELEVATIONS

SHEET INFORMATION

PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

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DRAWN BY: Author

REVISION

SEAL
GARY MAGDOOLE, PE FL #00214

SHEET #
A11

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① REAR ELEVATION
3/16" = 1'-0"



② RIGHT SIDE ELEVATION
3/16" = 1'-0"

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5-UNIT TYPE 2 ELEVATIONS

SHEET INFORMATION

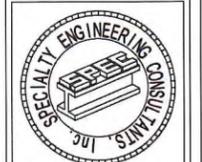
PROJECT INFORMATION

TREVI ISLE

CLIENT INFORMATION

KENNEDY HOMES, LLC

6400 N. CONGRESS AVE
SUITE 2115
BOCA RATON, FL 33487



SPECIALTY ENGINEERING CONSULTANTS, INC.
1589 SW 36th AVE
SUITE 210
BOCA RATON, FL 33426
DADE - BRYANARD - PALM BEACH
FL, CA, 2002217
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561 - 752 - 5542 FAX

FILE NAME:
SCALE:
DATE: 11/07/2016
RVD. BY: Checker
DRAWN BY: Author

REVISION

SEAL
GARY MCDONALD, PE FL #50114

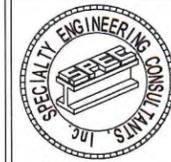
SHEET #
A11.1

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6-UNIT ELEVATIONS
SHEET INFORMATION

PROJECT INFORMATION
TREVI ISLE

CLIENT INFORMATION
KENNEDY HOMES, LLC
6400 N. CONGRESS AVE
SUITE 2115
BOCA RATON, FL 33487



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646 - 6704 - 6462 PALM BEACH
FL CA #00217
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561 - 752 - 5542 FAX

FILE NAME:
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DATE: 11/07/2016
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DRAWN BY: Author

REVISION:

SEALED BY: GARY MCGOUGH, PE #15214

SHEET # **A11**



SOPHIA BUILDING COLOR		
UPPER BODY	SOCKEYE	SH 68H
LOWER BODY	EXTRA WHITE	SH 100S
ROOF	FLAT TILE	SH 100S
PANCA	EXTRA WHITE	SH 100S
SHUTTER	ROCK GARDEN	SH 61B
GARAGE DOOR	BLACK BEAN	SH 603B

KALYNDIA BUILDING COLOR		
UPPER BODY	OVERLAY	SH 68H
LOWER BODY	EXTRA WHITE	SH 100S
ROOF	FLAT TILE	SH 100S
PANCA	EXTRA WHITE	SH 100S
SHUTTER	ROCK GARDEN	SH 61B
GARAGE DOOR	BLACK BEAN	SH 603B

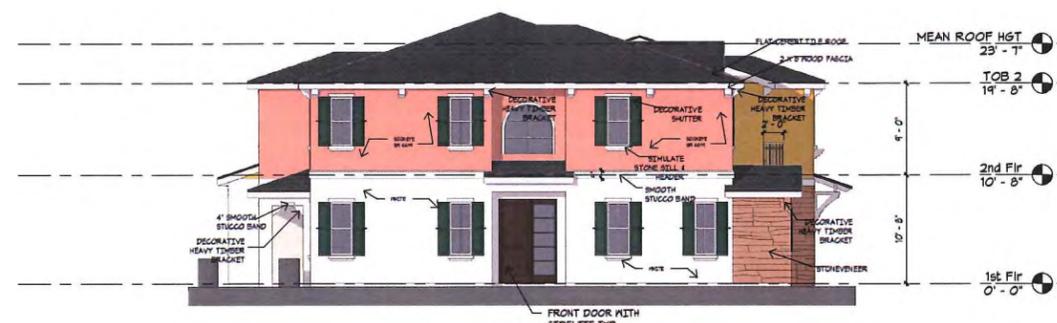
LUCIA BUILDING COLOR		
UPPER BODY	SOCKEYE	SH 68H
LOWER BODY	EXTRA WHITE	SH 100S
ROOF	FLAT TILE	SH 100S
PANCA	EXTRA WHITE	SH 100S
SHUTTER	ROCK GARDEN	SH 61B
GARAGE DOOR	BLACK BEAN	SH 603B

KALYNDIA BUILDING COLOR		
UPPER BODY	OVERLAY	SH 68H
LOWER BODY	EXTRA WHITE	SH 100S
ROOF	FLAT TILE	SH 100S
PANCA	EXTRA WHITE	SH 100S
SHUTTER	ROCK GARDEN	SH 61B
GARAGE DOOR	BLACK BEAN	SH 603B

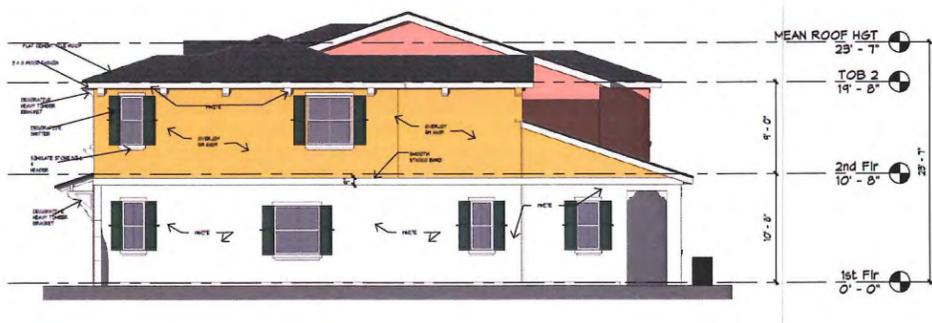
LUCIA BUILDING COLOR		
UPPER BODY	SOCKEYE	SH 68H
LOWER BODY	EXTRA WHITE	SH 100S
ROOF	FLAT TILE	SH 100S
PANCA	EXTRA WHITE	SH 100S
SHUTTER	ROCK GARDEN	SH 61B
GARAGE DOOR	BLACK BEAN	SH 603B

SANCIA BUILDING COLOR		
UPPER BODY	OVERLAY	SH 68H
LOWER BODY	EXTRA WHITE	SH 100S
ROOF	FLAT TILE	SH 100S
PANCA	EXTRA WHITE	SH 100S
SHUTTER	ROCK GARDEN	SH 61B
GARAGE DOOR	BLACK BEAN	SH 603B

① FRONT ELEVATION
1/8" = 1'-0"



② LEFT SIDE ELEVATION
1/8" = 1'-0"

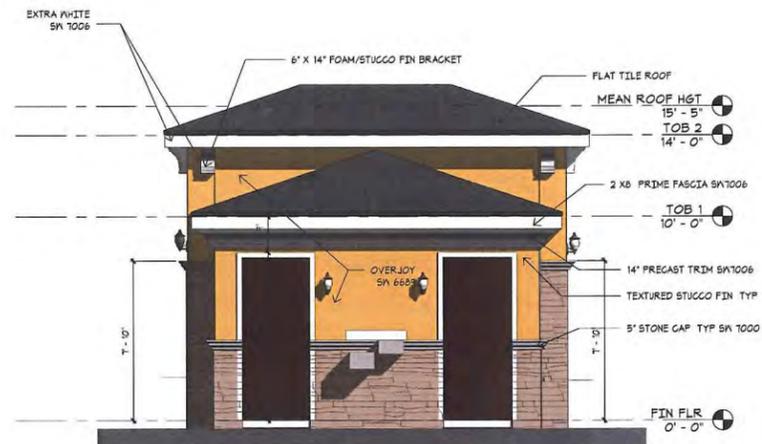


③ RIGHT SIDE ELEVATION
1/8" = 1'-0"

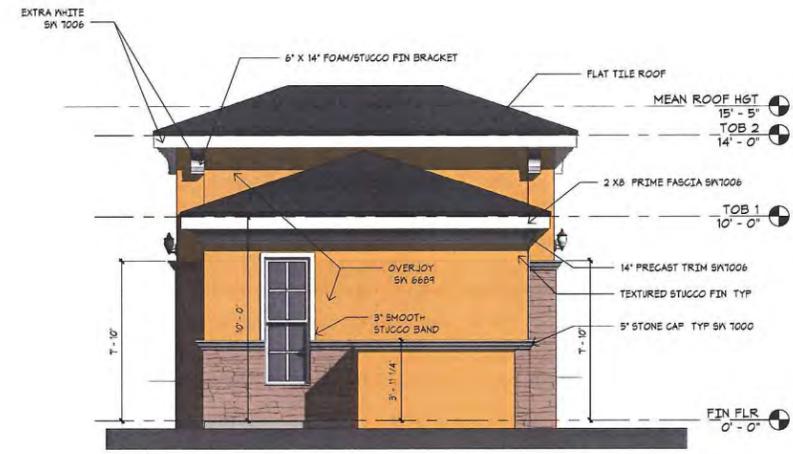


④ REAR ELEVATION
1/8" = 1'-0"

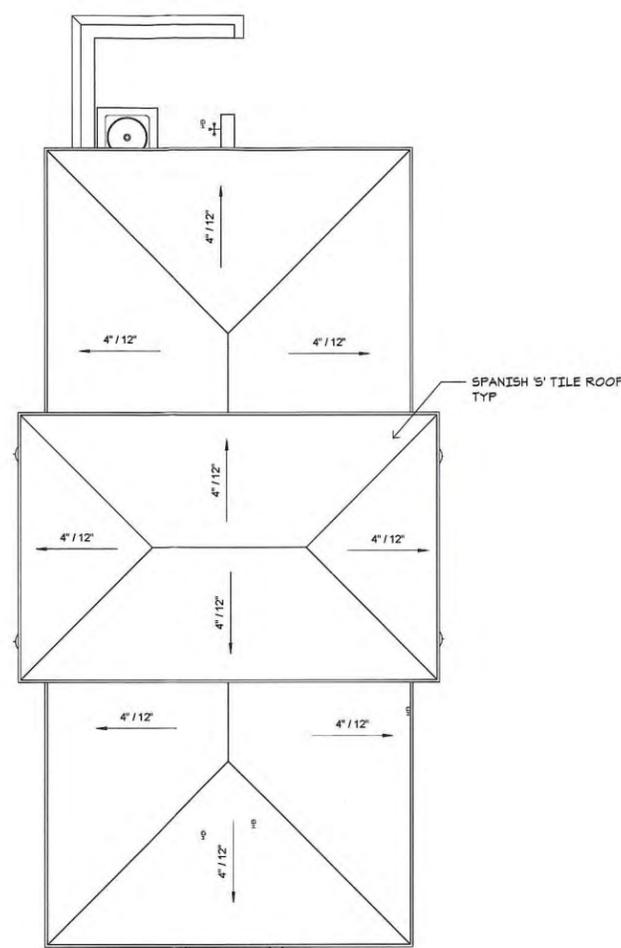
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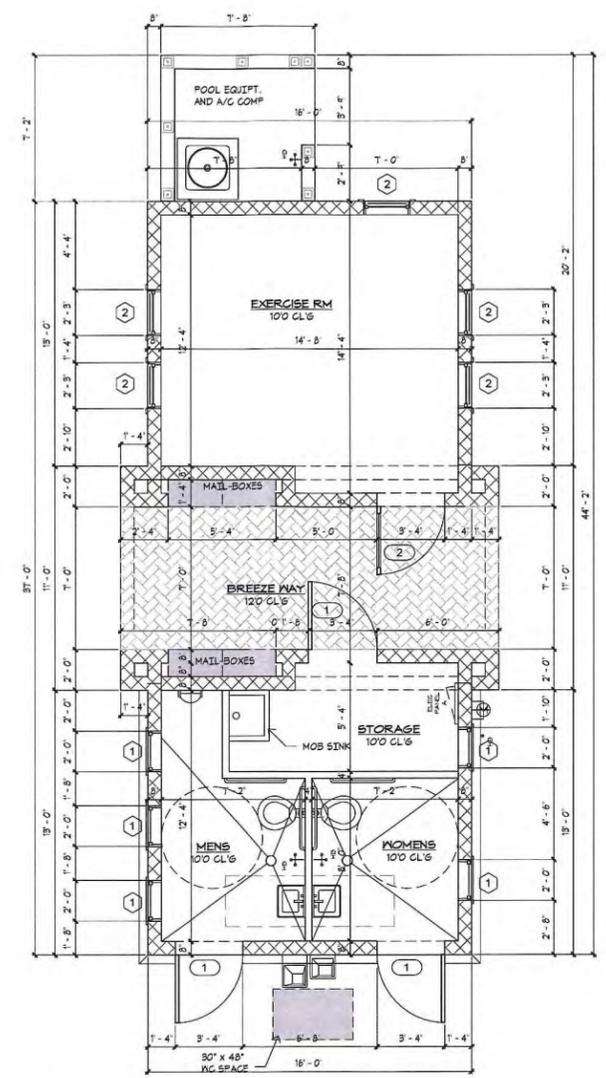
1 LEFT SIDE
1/4" = 1'-0"



3 RIGHT SIDE
1/4" = 1'-0"



6 ROOF PLAN
1/4" = 1'-0"



5 FIN FLR
1/4" = 1'-0"



2 REAR
1/4" = 1'-0"



4 FRONT
1/4" = 1'-0"

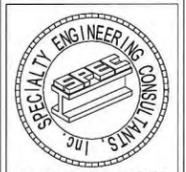
CLIENT INFORMATION

KENNEDYHOMES, LLC
6400 CONGRESS AVE,
BOCA RATON, FLORIDA

PROJECT INFORMATION

CLUBHOUSE
TREVI ISLE
PALM BEACH GARDEN,
FLORIDA

SHEET INFORMATION



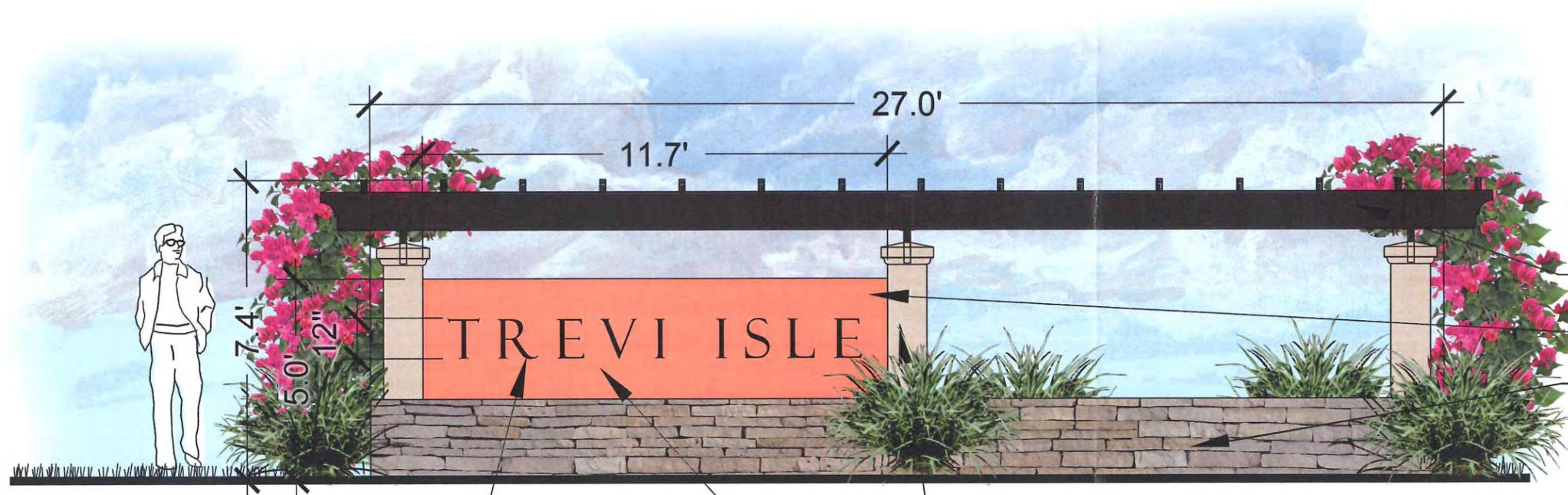
SPECIALTY ENGINEERING
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DADE - BROWARD - PALM BEACH
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FILE NAME
SCALE
DATE 05/15/2014
RVD. BY Checker
DRWN. BY Author

REVISION

SEAL
GARY McDOUGLE, PE FL#5214
SHEET #
A-13

I:KENNEDY-LOS-ARBORS-CABANA.rvt



TRELLIS DETAIL: BLACKBEAN, SW 6006
 SIGN - 5.0' H. x 11.7' W.
 STONE FINISH, GRAY/BROWN
 IN COLOR. NATURAL STONE
 VENEER.

METAL LETTERS;
 BRUSHED NICKEL FINISH

COLUMNS: ANTIQUE WHITE, SW 6119
 SIGN BODY: SOCKEYE SW 6619

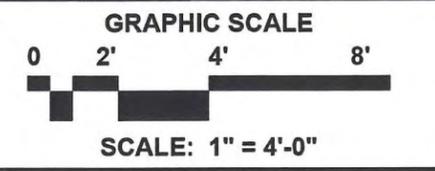
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Trevi Isle
Palm Beach Gardens, FL
Signage Design
11.07.2016

Drawing name: H:\JOBS\Trevi Isle - Hood & Tumpike_06-039\Kennedy Homes_LUP_005\Drawings\Landscape Plan\2016-10-25_LP.dwg



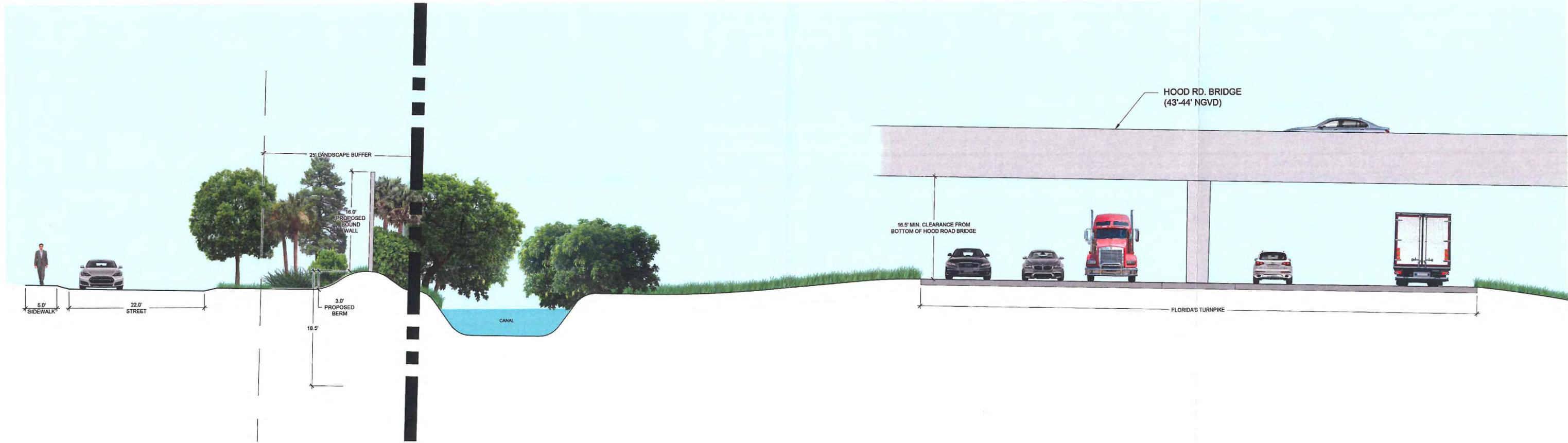
Project No.:	06-039.005
Designed By:	TLM
Drawn By:	TLM
Checked By:	AB



BONNETTE DRIVE

CELADON CIRCLE

HOOD ROAD



25' LANDSCAPE BUFFER

16.0' PROPOSED SOUND WALL

3.0' PROPOSED BERM

18.5'

CANAL

5.0' SIDEWALK

22.0' STREET

16.5' MIN. CLEARANCE FROM BOTTOM OF HOOD ROAD BRIDGE

HOOD RD. BRIDGE (43'-44' NGVD)

FLORIDA'S TURNPIKE



TREVI ISLE



TREVI ISLE



TREVI ISLE

